



ZONING COMMISSION
REVISED AGENDA

Wednesday, October 13th, 2021
Work Session 12:00 PM
Public Hearing 1:00 PM

Work Session

In-Person:
City Hall Conference Room 2020
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Public Hearing

In-Person:
City Council Chamber
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/fortworthtexas/onstage/g.php?MTID=ed3b6cedd5176959e963c943ebd166859>

Meeting/ Access Code: 2552 072 0036

Registration Required

Teleconference

(817) 392-1111 or 1-650-479-3208
Meeting/ Access Code: 2552 072 0036

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99
City of Fort Worth Website Homepage: [Watch Live Online](#)

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:

<https://www.fortworthtexas.gov/government/boards/list-boards-commissions/virtual-meetings>

To view the docket for this meeting visit: <https://www.fortworthtexas.gov/calendar/boards-commission>

Members of the Zoning Commission may be participating remotely in accordance with the Texas Open Meetings Act.

****Any member of the public who wishes to address the Commission regarding an item on the listed agenda must sign up to speak no later than 5:00PM on Monday, October 11th. To sign up, either contact Stephen Murray at Stephen.Murray@fortworthtexas.gov or (817)392-6226, if you would like to participate in-person; or if you would like to participate virtually, register through WebEx in accordance with the directions on the City's website above. Please note that the City of Fort Worth is using a third party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.**

COMMISSION MEMBERS:

Will Northern, Chair, CD 1	_____	Mia Hall, CD 6	_____
Willie Rankin, CD 2	_____	Jacob Wurman, CD 7	_____
Beth Welch, CD 3	_____	Wanda Conlin, Vice Chair, CD 8	_____
Jesse Gober, CD 4	_____	Kimberly Miller, CD 9	_____
Rafael McDonnell, CD 5	_____		

I. WORK SESSION/Lunch 12:00 pm City Council Conference Room 2020

- | | |
|------------------------------------|-----------------------|
| A. Discussion of S.B. 1585 | Justin Newhart |
| B. Overview of Zoning Cases | Staff |

II. PUBLIC HEARING 1:00 PM

CASES HEARD AT THIS PUBLIC HEARING ARE TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, November 9, 2021 AT 6:00 P.M. UNLESS OTHERWISE STATED.

A. CALL TO ORDER

- | | | |
|--|-------|--------------|
| B. APPROVAL OF MEETING MINUTES OF SEPTEMBER 08th, 2021 | _____ | Chair |
|--|-------|--------------|

To view the docket please visit the City Calendar (Boards and Commissions) or visit <http://fortworthtexas.gov/zoning/cases/>

C. CONTINUED CASES

- | | |
|---------------------|-------------|
| 1. ZC-20-159 | CD 4 |
|---------------------|-------------|

- | | |
|---------------------|--|
| a. Site Location: | 1900 E Loop 820 |
| b. Acreage: | 7.62 |
| c. Applicant/Agent: | Just Right Products Inc. |
| d. Request: | From: "A-5" One-Family
To: "PD/E & A-5" Planned Development for "A-5" One-Family and "E" Neighborhood Commercial including warehouse use, production of printed graphics use excluding the following uses: convenience store and liquor or package store; with development standards for bufferyards, screening, and supplemental setbacks with a reduction of parking by 20% on the commercial lot; site plan included |

- | | |
|---------------------|----------------------|
| 2. ZC-21-084 | CD (future) 6 |
|---------------------|----------------------|

- | | |
|---------------------|--|
| a. Site Location: | Generally bounded by Dublin Ridge Drive, McCart Avenue, Cleburne Crowley Road, and Old Cleburne Crowley Road |
| b. Acreage: | 116.77 |
| c. Applicant/Agent: | Shipman Companies LP |
| d. Request: | From: Unzoned
To: "A-5" One-Family |

3. ZC-21-106

CD 7

- a. Site Location: 1700 block Avondale Haslet Road
- b. Acreage: 3.04
- c. Applicant/Agent: Joe Lindsey, JC Lindsey Family LTD Partnership
- d. Request: From: "A-5" One-Family
To: "PD/E" Planned Development for all uses in "E" Neighborhood Commercial excluding the following uses: assisted living facility, nursing home, golf course, indoor amusement, event center or rental hall, drive-in restaurant or business, lodge or civic club, commercial swimming pool, drive-in theatre, movie theatre or auditorium, bed and breakfast inn, business college or commercial school, convenience store, grocery store meat market, large retail store, liquor or package store, mortuary or funeral home, recording studio, taxidermist shop, gasoline sales, recycling collection facility, urban agriculture, storage or display outside with development standards located within Exhibit A, site plan required

4. ZC-21-109

CD 8

- a. Site Location: 1400 & 1410 E Berry St
- b. Acreage: 3.99
- c. Applicant/Agent: N & A Properties, Inc.
- d. Request: From: "MU-1" Low Intensity Mixed-Use
To: "E" Neighborhood Commercial

This case has been withdrawn. No public hearing will be held.

5. ZC-21-111

CD 8

- a. Site Location: 1400 & 1410 E Berry St
- b. Acreage: 3.99
- c. Applicant/Agent: N & A Properties, Inc.
- d. Request: From: "MU-1" Low Intensity Mixed-Use
To: "E" Neighborhood Commercial

6. ZC-21-114

CD 8

- a. Site Location: 120 Riverside Drive, 3115 Chenault Street
- b. Acreage: 0.51
- c. Applicant/Agent: Trotter Enterprises
- d. Request: To: Add Conditional Use Permit (CUP) to allow for machine shop "ER" Neighborhood Restricted and "E" Neighborhood Commercial

This case has been withdrawn. No public hearing will be held.

7. ZC-21-130

CD 6

- a. Site Location: 5400-5600 blocks of Columbus Trail
- b. Acreage: 3.66
- c. Applicant/Agent: Summer Creek Station LLC
- d. Request: From: "PD 471A" Planned Development for uses in "F" General Commercial District, and excluding; Tattoo Parlor, Sexually Oriented Business, Shooting ranges (Indoor), Gambling Facilities, and Pawn Shops. Site Plan required
To: Amend PD 471A to allow auto repair adjacent to residential, site plan included

- 8. ZC-21-139** **CD 3**
- a. Site Location: 2760 Glenrock Drive
 - b. Acreage: 2.39
 - c. Applicant/Agent: Scott Hamilton
 - d. Request: From: "E" Neighborhood Commercial /NASJRB Overlay
To: "I" Light Industrial

This case has been withdrawn. No public hearing will be held.

- 9. ZC-21-148** **CD 5**
- a. Site Location: 5220 E Lancaster Avenue
 - b. Acreage: 1.12
 - c. Applicant/Agent: Espire Enterprises, LLC
 - d. Request: From: "E" Neighborhood Commercial
To: "C" Medium Density Multifamily

- 10. ZC-21-149** **CD 8**
- a. Site Location: 709 & 712 Elmwood Avenue, 709 & 713 E Jefferson
 - b. Acreage: .7452
 - c. Applicant/Agent: Espire Enterprises, LLC
 - d. Request: From: "J" Medium Industrial
To: "UR" Urban Residential

- 11. SP-21-021** **CD 7**
- a. Site Location: 7900-8700 blocks NW Highway 287 (north side)
 - b. Acreage: 8.52
 - c. Applicant/Agent: NTP35 LP
 - d. Request: To: Add Site Plan to PD 1302 for "UR" Urban Residential uses

D. NEW CASES

- 12. ZC-21-119** **CD 3**
- a. Site Location: 1900-2400 blocks Silver Creek Road
 - b. Acreage: 26.17
 - c. Applicant/Agent: Robert Dow/Third Peak/Silver Creek Materials
 - d. Request: From: "AG" Agricultural
To: "I" Light Industrial

- 13. ZC-21-133** **CD 8**
- a. Site Location: 3220 Mitchell Boulevard
 - b. Acreage: 1.08
 - c. Applicant/Agent: James Austin Jr.
 - d. Request: From: "B" Two-Family, "E" Neighborhood Commercial
To: "FR" General Commercial Restricted

- 14. ZC-21-142** **CD 8**
- a. Site Location: 2101 Epps Ave
 - b. Acreage: 0.12
 - c. Applicant/Agent: RLW Residentials LLC
 - d. Request: From: "A-5 One-Family, "FR" General Commercial Restricted
To: "CR" Low Density Multi-family

- 15. ZC-21-150** **CD 2**
- a. Site Location: 2000-2100 blocks Belle Ave
 - b. Acreage: 5.99
 - c. Applicant/Agent: Randol Mill Investment LLC
 - d. Request: From: "A-5" One-Family
To: "R2" Townhouse/Cluster
- 16. ZC-21-151** **CD 2**
- a. Site Location: 2901 Schwartz Ave
 - b. Acreage: 0.60
 - c. Applicant/Agent: Stockyards Masonic Lodge
 - d. Request: From: "A-5" One-Family
To: "E" Neighborhood Commercial
- 17. ZC-21-153** **CD 9**
- a. Site Location: 4612 Houghton & 4613 Diaz Avenues
 - b. Acreage: 0.34
 - c. Applicant/Agent: Melody Becerra & Chamberlain Heights LP
 - d. Request: From: "B" Two-Family
To: "ER" Neighborhood Commercial Restricted
- 18. ZC-21-155** **CD 7**
- a. Site Location: 7617-7621 (odds) Jacksboro Highway
 - b. Acreage: 2.21
 - c. Applicant/Agent: 6824 LP
 - d. Request: From: "E" Neighborhood Commercial
To: "FR" General Commercial Restricted
- 19. ZC-21-157** **CD 9**
- a. Site Location: 2308 Winton Terrace West
 - b. Acreage: 1.35
 - c. Applicant/Agent: James Brooks Jr.
 - d. Request: From: "A-5/DD" One-Family (Demolition Delay Overlay)
To: "A-5/ HC" One Family Historic and Cultural Landmark Overlay
- 20. ZC-21-159** **CD 5**
- a. Site Location: 5336 Ramey Avenue
 - b. Acreage: 0.10
 - c. Applicant/Agent: Sorony Marulanda & Orbin Portillo
 - d. Request: From: "E/SS" Neighborhood Commercial with Stop Six Overlay
To: "AR/SS" One-Family Restricted with Stop Six Overlay
- 21. ZC-21-161** **CD 9**
- a. Site Location: 515-521 (odds) Samuels Avenue
 - b. Acreage: 0.27
 - c. Applicant/Agent: Phillip Stewart
 - d. Request: From: "D" High Density Multifamily, PD 489/ "H" Central Business District/Downtown Urban Design District Overlay
To: "PD/H" Planned Development for "H" Central Business District uses and the Downtown Urban Design District Overlay with a ten (10) story height limit; site plan waiver requested

22. ZC-21-162 **CD 7**

- a. Site Location: 3048 Bailey Dr
- b. Acreage: 11.00
- c. Applicant/Agent: 11120 North Freeway LLC
- d. Request: From: "G" Intensive Commercial with I-35W Central Overlay
To: "D" High Density Multi-family with I-35W Central Overlay

23. SP-21-023 **CD 9**

- a. Site Location: 3000 blocks Bledsoe & Morton Streets
- b. Acreage: 1.40
- c. Applicant/Agent: 3017 Morton LLC
- d. Request: To: Amend the site plan for PD 1058

24. ZC-21-163 **CD 2**

- a. Site Location: 1602 NW 25th Street
- b. Acreage: 0.48
- c. Applicant/Agent: International Trading & Market
- d. Request: From: "E" Neighborhood Commercial
To: "E"/ HC Historic and Cultural Landmark Overlay

25. ZC-21-164 **CD 8**

- a. Site Location: 1109 Oak Grove Road
- b. Acreage: 0.38
- c. Applicant/Agent: Diana Carrillo
- d. Request: From: "E" Neighborhood Commercial
To: "FR" General Commercial Restricted

26. ZC-21-165 **CD 5**

- a. Site Location: 1928 Amanda Ave
- b. Acreage: 0.17
- c. Applicant/Agent: Pedraza Property Group
- d. Request: From: "E/SS" Neighborhood Commercial in the Stop Six Overlay
To: "AR/SS" One-Family in the Stop Six Overlay

27. ZC-21-167 **CD 8**

- a. Site Location: 3030 Mecca St
- b. Acreage: 0.86
- c. Applicant/Agent: Maria Villanueva
- d. Request: From: "A-21" One-Family
To: "A-5" One-Family

28. ZC-21-168 **CD 5**

- a. Site Location: 3514 E Berry St
- b. Acreage: 1.26
- c. Applicant/Agent: Hogleaf Investments, LLC
- d. Request: From: "CF" Community Facilities
To: "E" Neighborhood Commercial

This case has been withdrawn. No public hearing will be held.

29. ZC-21-170

CD 4

- a. Site Location: 4440 Basswood Boulevard
- b. Acreage: 3.35
- c. Applicant/Agent: WPS Basswood LLC
- d. Request: From: "PD 501" Planned Development/Specific Use for all uses in "E" Neighborhood Commercial plus outdoor storage of landscape materials, plants, and patio furniture, site plan included
To: Amend "PD 501" to add one food truck; site plan included

30. ZC-21-172

CD 4

- a. Site Location: 100-500 blocks Beach Street
- b. Acreage: 29.87
- c. Applicant/Agent: Robert H. Frost
- d. Request: From: "B" Two-Family
To: "J" Medium Industrial

31. ZC-21-174

CD 6

- a. Site Location: 1301 W. Risinger Road
- b. Acreage: 54.91
- c. Applicant/Agent: Bloomfield Homes, LP
- d. Request: From: "A-5" One-Family
To: Planned Development for all uses in "CR" Low Density Residential with development regulation standards applicable to detached multifamily with waivers to open space, perimeter fencing, carports in front of the building, building length, setback to one-family, building orientation and MFD submittal; site plan included

32. ZC-21-176

CD 3

- a. Site Location: 2760 Glenrock Drive
- b. Acreage: 2.39
- c. Applicant/Agent: Scott Hamilton
- d. Request: From: "E" Neighborhood Commercial /NASJRB Overlay
To: Add Conditional Use Permit for Warehouse

33. ZC-21-177

CD 8

- a. Site Location: 120 Riverside Drive & 3115 Chenault Street
- b. Acreage: 0.511
- c. Applicant/Agent: Victor Trotter, Trotter Enterprises, LLC
- d. Request: From: "E" Neighborhood Commercial & "ER" Neighborhood Commercial Restricted
To: Add Conditional Use Permit (CUP) for Machine Shop

34. ZC-21-178A

Text Amendment

CD 5

- a. Applicant/Agent: City of Fort Worth Development Services
- b. Request: Amend Zoning Ordinance Section 4.1307 Trinity Lakes Form-Based Zoning District to amend various sections of the Trinity Lakes Development Code to provide clarification of residential parking requirements, provide adjustments to building heights in the boulevard mixed use and transition character zones, limit building height within lake frontage areas, update boundaries of the character zones and update appendices

35. ZC-21-178B

Map Amendment

CD 5

- a. Site Location: 7800-8100 blocks Trinity Boulevard
- b. Acreage: 123.83
- c. Applicant/Agent: City of Fort Worth
- d. Request: From: "TL-BM" Trinity Lakes-Boulevard Mixed-Use, "TL-CC" Trinity Lakes-Campus Commercial, "TL-HM" Trinity Lakes-Highway Mixed-Use, "TL-N" Trinity Lakes-Neighborhood, "TL-TR" Trinity Lakes-Transition, "TL-VM" Trinity Lakes-Village Mixed-Use
To: "TL-BM" Trinity Lakes-Boulevard Mixed-Use, "TL-CC" Trinity Lakes-Campus Commercial, "TL-HM" Trinity Lakes-Highway Mixed-Use, "TL-N" Trinity Lakes-Neighborhood, "TL-TR" Trinity Lakes-Transition, "TL-VM" Trinity Lakes-Village Mixed-Use and "TL-CC-HT" Trinity Lakes-Campus Commercial Height Transition

36. ZC-21-181

CD 5

- a. Site Location: 4900-4900 blocks E. Rosedale St, 4900 block Ave G
- b. Acreage: 8.94
- c. Applicant/Agent: FW Housing Authority
- d. Request: From: PD1259 & PD1260 in the Stop Six Overlay
To: Revise PDs for UR and MU-1 uses to add development standards; for height, street-oriented entry, and building frontage; site plan included

E. ADJOURNMENT: _____

ASSISTANCE AT THE PUBLIC MEETINGS:

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.


ASISTENCIA A REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

Executive Session.

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the City of Fort Worth official website and said Notice was posted on the following date and time **Friday, October 08, 2021 at 2:20 p.m.** and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.


Acting City Secretary for the City of Fort Worth, Texas



Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-20-159

Council District: 4

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Just Right Products, Inc. / David Gregory, DCG Engineering, Inc.

Site Location: 1900 E. Loop 820

Acreage: 7.62 acres

Request

Proposed Use: Warehouse and Production of Printed Graphics, Single Family Residential, and Commercial

Request: From: "A-5" One-Family

To: "PD/E & A-5" Planned Development for "A-5" One-Family and "E" Neighborhood Commercial including warehouse use, production of printed graphics use excluding the following uses: convenience store and liquor or package store; with development standards for bufferyards, screening, and supplemental setbacks with a reduction of parking by 20% on the commercial lot; site plan included

Recommendation

Land Use Compatibility: Requested change is compatible.

Comprehensive Plan Consistency: Requested change is consistent (Minor Boundary Adjustment).

Staff Recommendation: Approval

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
 - d. [Site Plan Comments](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The site is located at the north of where Sheffield Loop meets E. Loop 820; this is in the inside of E. Loop 820, about a half mile south of Interstate 30. It is about a third of a mile north of Meadowbrook Drive. The site is a vacant, undeveloped tract. The applicant is requesting to rezone from “A-5” One-Family to “PD/E & A-5” Planned Development for “A-5” One-Family and “E” Neighborhood Commercial including warehouse use, production of printed graphics use excluding the following uses: convenience store and liquor or package store; with development standards for bufferyards, screening, and supplemental setbacks with a reduction of parking by 20% on the commercial lot. The applicant has also included a site plan as part of the PD submittal.

The applicant would like to develop the overall tract of property in a fashion that will allow him to construct a two (2) story commercial building that will house his company while also being able to build his personal residence on the western side of the property. The proposed company specializes in screen printing, embroidery on clothing, hats, pens, coffee mugs etc. The proposed building will have three primary uses (office, retail, and production). The building as currently constituted will be a multistory building consisting of 86,000 sf of usable floor space. It is anticipated that approximately 42,000 sf of the building will be used for office space, 22,000 sf of the space will be used as a retail store front for patrons to be able to visit the facility, place orders and purchase stocked materials. The remaining 22,000 sf will be utilized by his employees in completion of the screen print / embroidery of the various products being offered.

Normally the supplemental setbacks would place a requirement for additional landscaping, buffers and a masonry wall in between the Commercial to residential use. The applicant would like to alter the required wall and landscape buffer be moved along the outer boundary of the property between the proposed PD/A5 and existing A-5 removing an awkward configuration in the middle of the property.

The applicant is also requesting that the required parking requirements be reduced by 20%. The building as proposed will require 208 parking spaces by code. The parking reduction will lower the required number of parking spaces to 166 parking spaces. The applicant will construct the 214 parking spaces shown on the attached site plan exhibit. However, there is a desire that at some point in the future the commercial lot may be subdivided, site planned, to allow for another building to be constructed. If the parking reduction is granted that would allow for the two properties to enter into a common parking agreement and for the excess parking to be utilized. This would allow for a better overall use of the property and allow for a future building to be built at a scale appropriate for the corner. The site plan mentions the allowance of a condo regime. The City of Fort Worth is not engaged in setting these up. One single-family home would be allowed on the residential lot.

Surrounding Zoning and Land Uses

North “A-5” One-Family / residential
East East Loop 820
South “E” Neighborhood Commercial / vacant field and a church
West “PD604” / residential

Recent Zoning History

- ZC-19-095; requested from “E” Neighborhood Commercial to “PD/E” for all uses in “E” Neighborhood Commercial plus trailer parking, trailer sales and light manufacturing of trailers; site plan included for trailer uses only; case was WITHDRAWN; lot south of subject site

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Neighborhoods of East Fort Worth	Eastern Hills NA
Handley NA	Woodhaven NA
Ryanwood NA	Brentwood-Oak Hills NA*
East Fort Worth, Inc.	Streams And Valleys Inc
Trinity Habitat for Humanity	Woodhaven Community Development Inc
Historic Handley Development Corporation	Southeast Fort Worth Inc
East Fort Worth Business Association	Fort Worth ISD

* *Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to rezone to “PD/E & A-5” Planned Development for “A-5” One-Family and “E” Neighborhood Commercial including warehouse use, production of printed graphics use excluding the following uses: convenience store and liquor or package store; with development standards for bufferyards, screening, and supplemental setbacks with a reduction of parking by 20% on the commercial lot; site plan included. The surrounding land uses directly adjacent to the north and west are single-family residential. The freeway is to the east. To the south across Sheffield is a vacant field and then a church.

The applicant intends to separate the proposed zoning with single-family use adjacent to the existing single-family to the west. The proposed commercial will have an access easement bisecting the proposed single-family. In addition, the proposed commercial uses adjacent IH-820 are appropriate at this location.

As a result, the proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2021 Comprehensive Plan currently designates the subject property as Neighborhood Commercial.

The below table is an excerpt from the Comprehensive Plan’s Ch. 4 Land Use section. Residential uses (meaning the proposed “A-5”) is not listed as appropriate for the Neighborhood Commercial designation of Future Land Use. Only the regular “E” Neighborhood Commercial zoning is compatible with the Comprehensive Plan.

LAND USE AND ZONING CLASSIFICATIONS

LAND USE	DEFINITION	ZONING
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

However, the proposed zoning does align with the following policies of the comprehensive plan.

- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

The proposed zoning is overall **is consistent (Minor Boundary Adjustment)** with the Comprehensive Plan.

Site Plan Comments

Zoning and Land Use

- The site plan as submitted is in general compliance with the Zoning Ordinance regulations
- 5 ft. bufferyard and point system will be required for property immediately next to existing single-family development next to the proposed masonry fence.
- FYI: When you add buildings (for the vacant residential lots or commercial lots) and parking, will need to bring site plan back through the public hearing process again for the site plan revision.

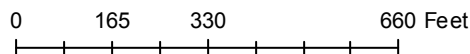
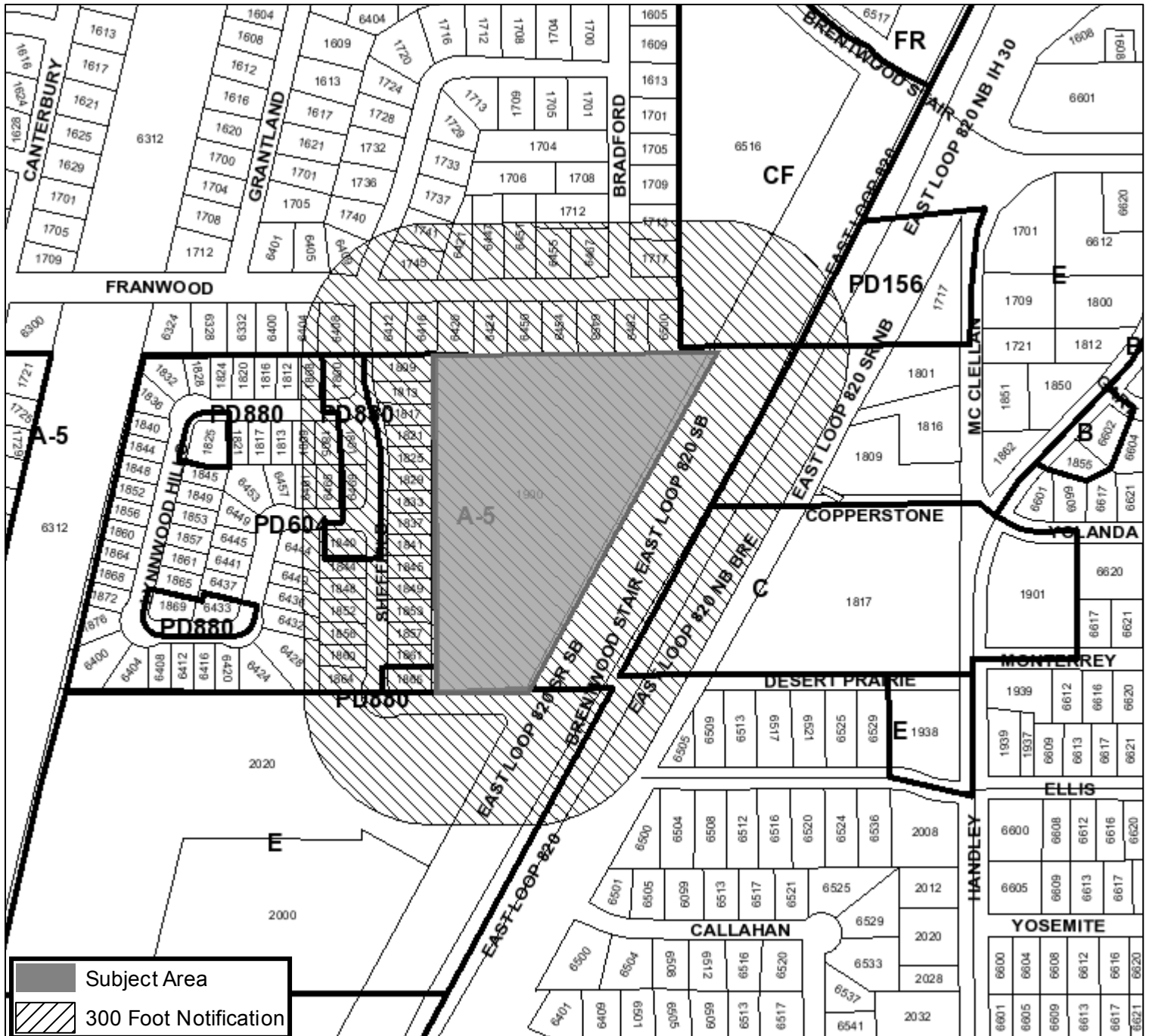
Transportation

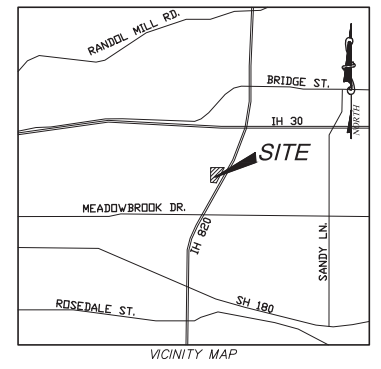
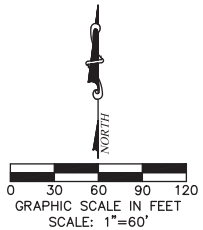
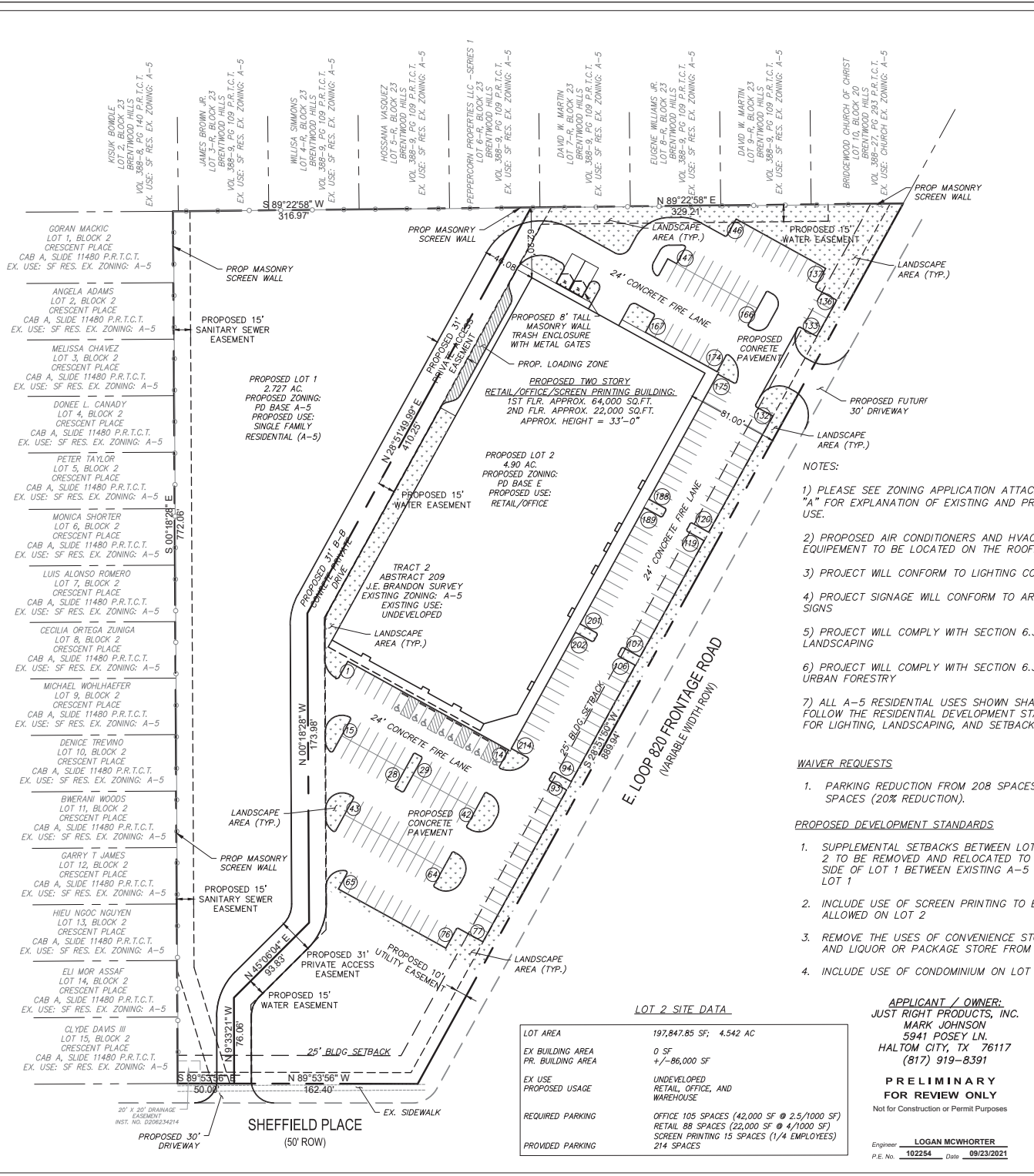
- New access to and/or sidewalk improvements to Loop 820 will require a TXDOT permit. A 5ft. sidewalk is required along E. Loop 820. The new access is not guaranteed, or within the city's control.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: Just Right Products Inc.
 Address: 1900 E. Loop 820
 Zoning From: A-5
 Zoning To: PD for A-5 & certain E uses plus embroidery shop, with development standards
 Acres: 7.62836851
 Mapsco: 80A
 Sector/District: Eastside
 Commission Date: 10/13/2021
 Contact: 817-392-2806





LEGAL DESCRIPTION:

BEING A TRACT OF LAND SITUATED IN THE BRANDON SURVEY, ABSTRACT NUMBER 209 IN TARRANT COUNTY, TEXAS; SAME BEING THAT TRACT OF LAND CONVEYED TO ROBERT S. GRIFF, BY PROBATE OF FOREIGN WILL RECORDED IN VOLUME 12249, PAGE 1556, OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS (O.P.R.T.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH YELLOW CAPPED IRON ROD SET FOR CORNER, SAID CORNER BEING AT THE INTERSECTION IN THE NORTHWEST LINE OF EAST LOOP 820 AND IN THE NORTH LINE OF SHEFFIELD PLACE, FROM WHICH A 3/4 INCH IRON ROD FOUND BEARS NORTH 28 DEGREES 45 MINUTES 23 SECONDS EAST, A DISTANCE OF 3.51 FEET FOR REFERENCE;

LOT 1

THENCE NORTH 89 DEGREES 53 MINUTES 56 SECONDS WEST, WITH THE NORTH LINE OF SAID SHEFFIELD PLACE, A DISTANCE OF 162.40 FEET TO A POINT FOR CORNER;
 THENCE NORTH 9 DEGREES 33 MINUTES 21 SECONDS WEST, A DISTANCE OF 76.06 FEET TO A POINT FOR CORNER;
 THENCE NORTH 45 DEGREES 6 MINUTES 4 SECONDS EAST, A DISTANCE OF 93.83 FEET TO A POINT FOR CORNER;
 THENCE NORTH 00 DEGREES 18 MINUTES 28 SECONDS WEST, A DISTANCE OF 173.98 FEET TO A POINT FOR CORNER;
 THENCE NORTH 28 DEGREES 51 MINUTES 49.99 SECONDS EAST, A DISTANCE OF 410.25 TO A POINT FOR CORNER;
 THENCE SOUTH 89 DEGREES 22 MINUTES 58 SECONDS WEST, A DISTANCE OF 316.97 FEET TO A POINT FOR CORNER,
 THENCE SOUTH 00 DEGREES 18 MINUTES 28 SECONDS EAST, A DISTANCE OF 772.06 FEET TO A POINT FOR CORNER FOR CORNER,
 THENCE SOUTH 89 DEGREES 53 MINUTES 56 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A POINT FOR CORNER CONTAINING 118,816 SQUARE FEET OR 2.727 ACRES OF LAND

LOT 2

THENCE NORTH 89 DEGREES 53 MINUTES 56 SECONDS WEST, WITH THE NORTH LINE OF SAID SHEFFIELD PLACE, A DISTANCE OF 162.40 FEET TO A POINT FOR CORNER;
 THENCE NORTH 9 DEGREES 33 MINUTES 21 SECONDS WEST, A DISTANCE OF 76.06 FEET TO A POINT FOR CORNER;
 THENCE NORTH 45 DEGREES 6 MINUTES 4 SECONDS EAST, A DISTANCE OF 93.83 FEET TO A POINT FOR CORNER;
 THENCE NORTH 00 DEGREES 18 MINUTES 28 SECONDS WEST, A DISTANCE OF 173.98 FEET TO A POINT FOR CORNER;
 THENCE NORTH 28 DEGREES 51 MINUTES 49.99 SECONDS EAST, A DISTANCE OF 410.25 TO A POINT FOR CORNER;
 THENCE NORTH 89 MINUTES 22 MINUTES 58 SECONDS EAST, A DISTANCE OF 329.21 FEET TO A POINT FOR CORNER;
 THENCE SOUTH 28 DEGREES 51 MINUTES 50 SECONDS WEST, WITH THE NORTHWEST LINE OF SAID EAST LOOP 820, A DISTANCE OF 889.94 FEET TO THE POINT OF BEGINNING AND CONTAINING 213,472 SQUARE FEET OR 4.90 ACRES OF LAND.

NOTES:

- 1) PLEASE SEE ZONING APPLICATION ATTACHMENT "A" FOR EXPLANATION OF EXISTING AND PROPOSED USE.
- 2) PROPOSED AIR CONDITIONERS AND HVAC EQUIPMENT TO BE LOCATED ON THE ROOF.
- 3) PROJECT WILL CONFORM TO LIGHTING CODE.
- 4) PROJECT SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS
- 5) PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING
- 6) PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY
- 7) ALL A-5 RESIDENTIAL USES SHOWN SHALL FOLLOW THE RESIDENTIAL DEVELOPMENT STANDARDS FOR LIGHTING, LANDSCAPING, AND SETBACKS

WAIVER REQUESTS

1. PARKING REDUCTION FROM 208 SPACES TO 166 SPACES (20% REDUCTION).

PROPOSED DEVELOPMENT STANDARDS

1. SUPPLEMENTAL SETBACKS BETWEEN LOT 1 AND 2 TO BE REMOVED AND RELOCATED TO WEST SIDE OF LOT 1 BETWEEN EXISTING A-5 AND LOT 1
2. INCLUDE USE OF SCREEN PRINTING TO BE ALLOWED ON LOT 2
3. REMOVE THE USES OF CONVENIENCE STORE AND LIQUOR OR PACKAGE STORE FROM LOT 2
4. INCLUDE USE OF CONDOMINIUM ON LOT 1

LOT 2 SITE DATA

LOT AREA	197,847.85 SF; 4.542 AC
EX BUILDING AREA	0 SF
PR. BUILDING AREA	+/-86,000 SF
EX USE	UNDEVELOPED
PROPOSED USAGE	RETAIL, OFFICE, AND WAREHOUSE
REQUIRED PARKING	OFFICE 105 SPACES (42,000 SF @ 2.5/1,000 SF) RETAIL 88 SPACES (22,000 SF @ 4/1,000 SF) SCREEN PRINTING 15 SPACES (1/4 EMPLOYEES)
PROVIDED PARKING	214 SPACES

APPLICANT / OWNER:
 JUST RIGHT PRODUCTS, INC.
 MARK JOHNSON
 5941 POSEY LN,
 HALTOM CITY, TX 76117
 (817) 919-8391

PRELIMINARY FOR REVIEW ONLY
 Not for Construction or Permit Purposes

Engineer: **LOGAN MCWHORTER**
 P.E. No. 102254 Date 09/23/2021

Director of Planning and Development Date

Zoning Case # ZC-20-159 Prepared: September 23, 2021

SCALE: 1"=60'
 DRAWN: LHM
 DATE: 9/23/21
 SHEET NO. 1
 OF 1

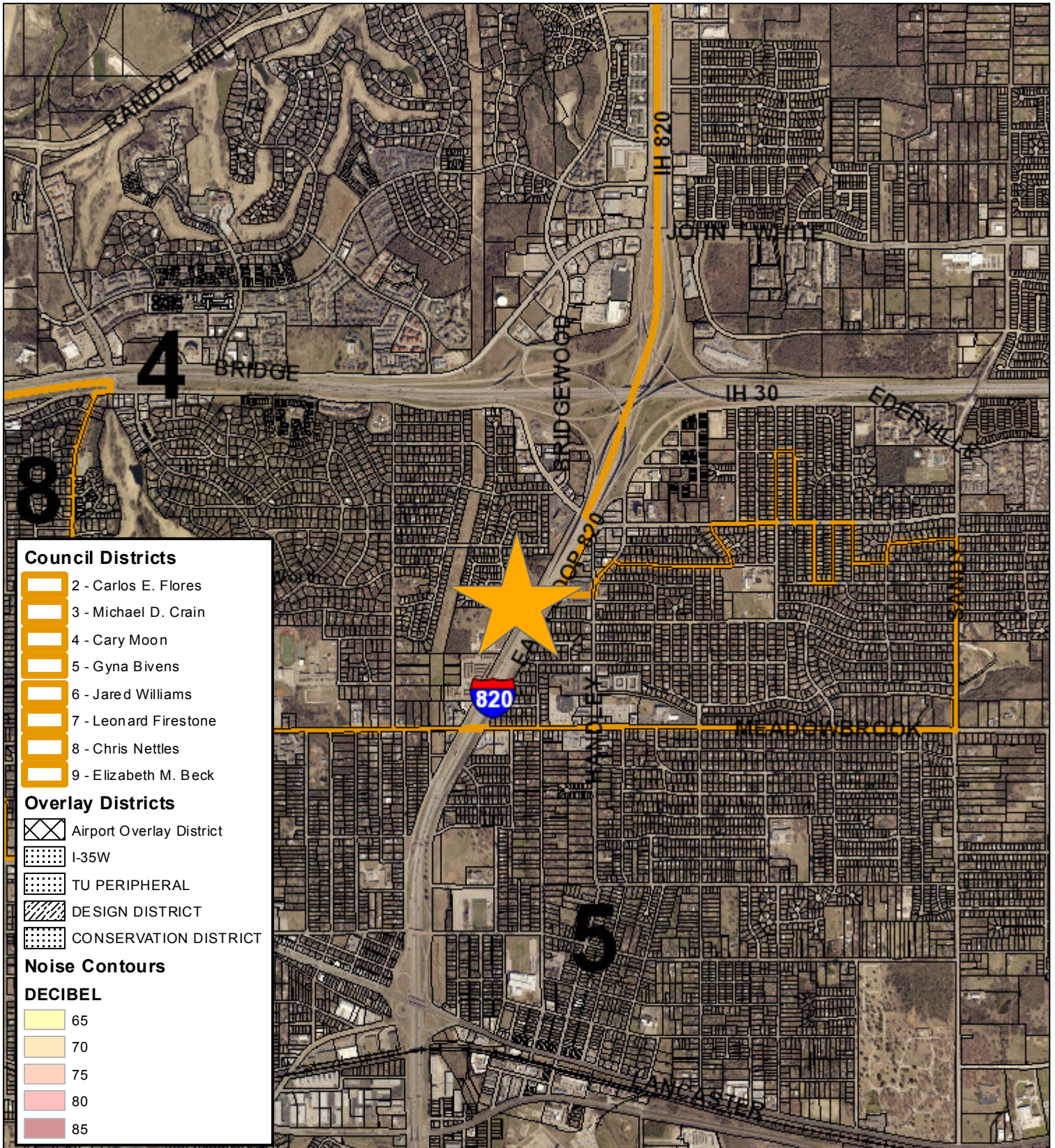
ZONING CHANGE EXHIBIT
A-5 TO PD (BASE A-5 & E)
JUST RIGHT PRODUCTS, INC.

DCG ENGINEERING









1900 EAST LOOP 820
 CITY OF FORT WORTH
 TARRANT COUNTY, TEXAS

DCG Engineering, Inc.
 1668 Keller Parkway, Suite 100
 Keller, TX 76248
 Phone: (817) 874-2941 or (817) 201-4477
 Engineering Firm Registration Number F-21947






Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

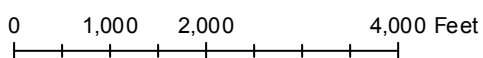
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

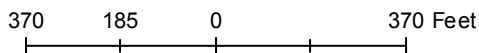
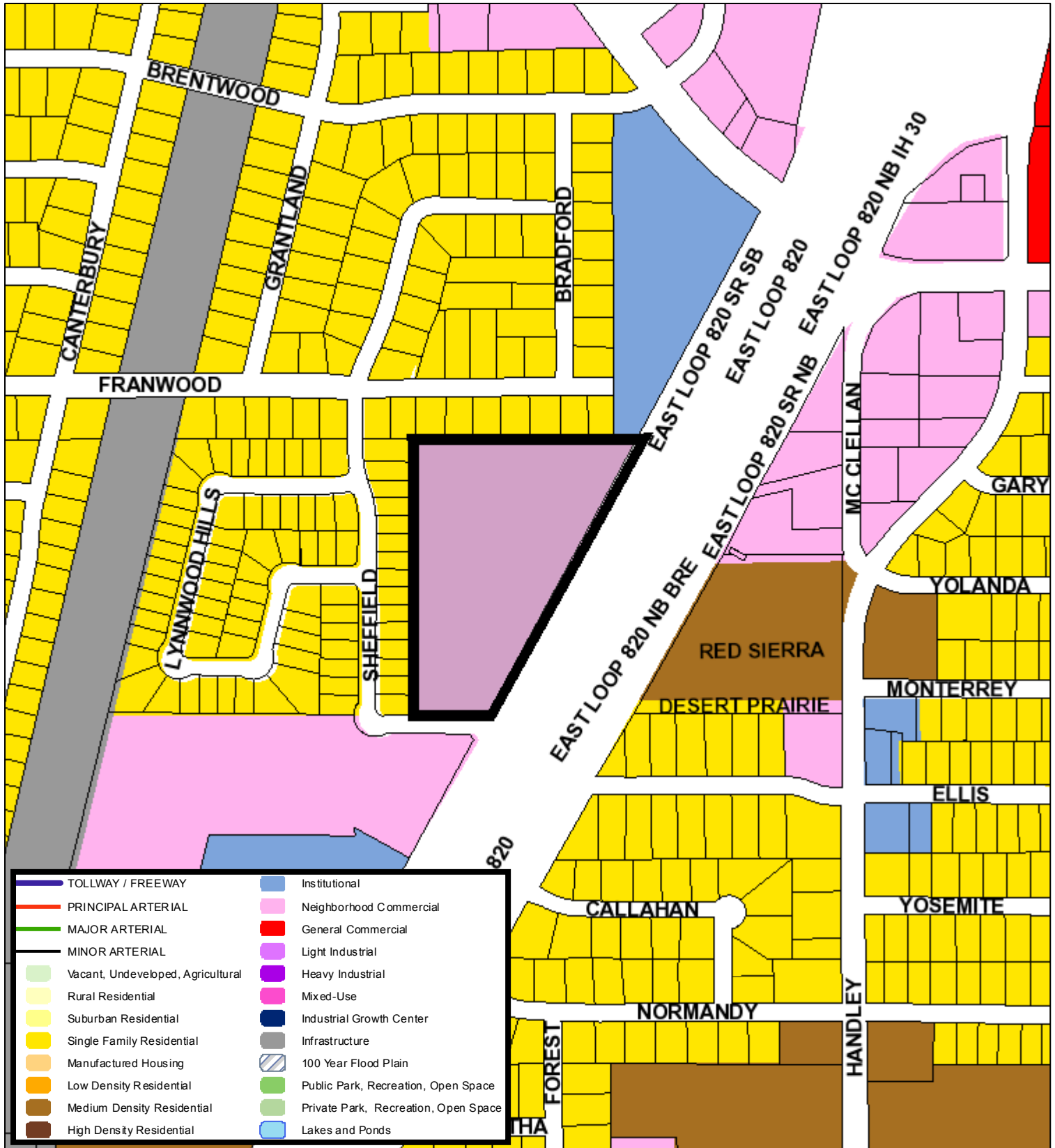
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 237.5 475 950 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-084

Council District: (future) 6

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: David Shipman, Shipman Company

Site Location: Generally bounded by Dublin Ridge Drive, McCart Avenue, Cleburne Crowley Road, and Old Cleburne Crowley Junction Road **Acreage:** 116.8 acres

Request

Proposed Use: Single Family Residential

Request: From: n/a (ETJ)

To: "A-5" One Family

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The applicant is proposing to build on an undeveloped 116-acre tract of land in the Far South sector, in the City's ETJ. The property is off of McCart Avenue and Cleburne Crowley Road, both streets that are listed on the City's adopted Master Thoroughfare Plan. Currently there is no zoning on this property as it is not yet within the City limits. The proposed zoning would be "A-5" One-Family, which would accommodate the development of a single family residential neighborhood.

This case was continued from the September 8th Zoning Commission meeting, in order to better accommodate the annexation timeline. The proposed annexation is expected to be heard by Council on November 9th.

Surrounding Zoning and Land Uses

North "A-5" One-Family / residential, church & concrete supply
East "AR" One Family Restricted / elementary school & undeveloped
South n/a (ETJ) / residential & gas well pad site
West "A-5" One Family / residential & self-storage

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on August 23, 2021.
The following organizations were emailed on August 23, 2021:

Organizations Notified	
District 6 Alliance	Crowley ISD
Trinity Habitat for Humanity	Streams And Valleys Inc

**No registered neighborhood associations near this proposal*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to zone the site to "A-5" One-Family. The surrounding uses vary with single-family developments to the north, west, and south of the proposed zoning change. There is a floodplain through the site and there is one (1) gas well site on the property. There is one (1) additional gas well south of the property off-site.

The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

The 2021 Comprehensive Plan currently designates the subject property as single family residential.

Housing is a key component of the City’s adopted Comprehensive Plan. In accordance with Chapter 5, Housing, the proposed development and rezoning is in line with the following policy goals:

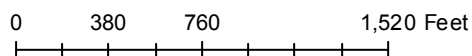
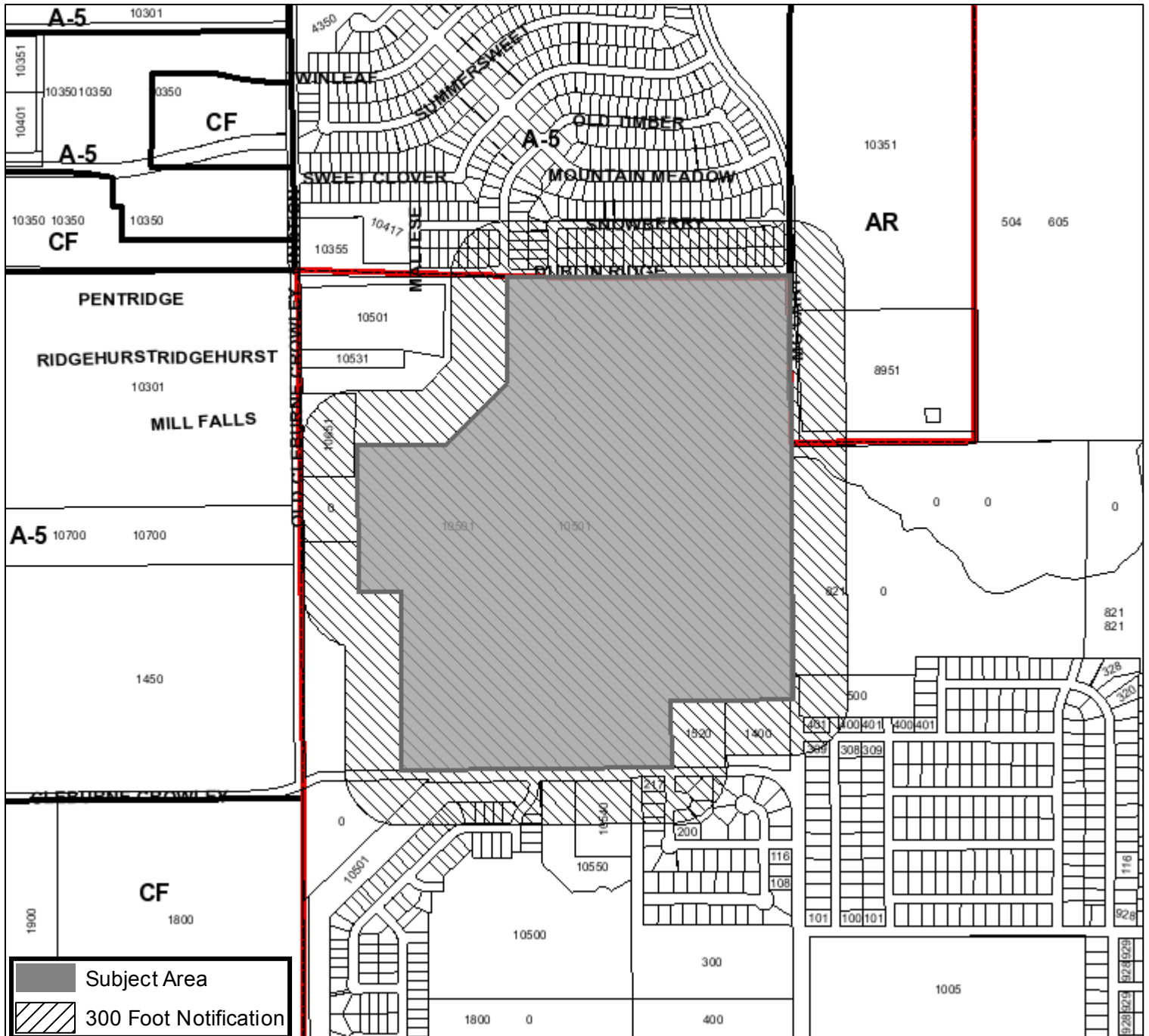
- *Increasing the supply of quality affordable accessible housing*
- *Expanding homeownership opportunities*

The proposed zoning **is consistent** with the Comprehensive Plan.

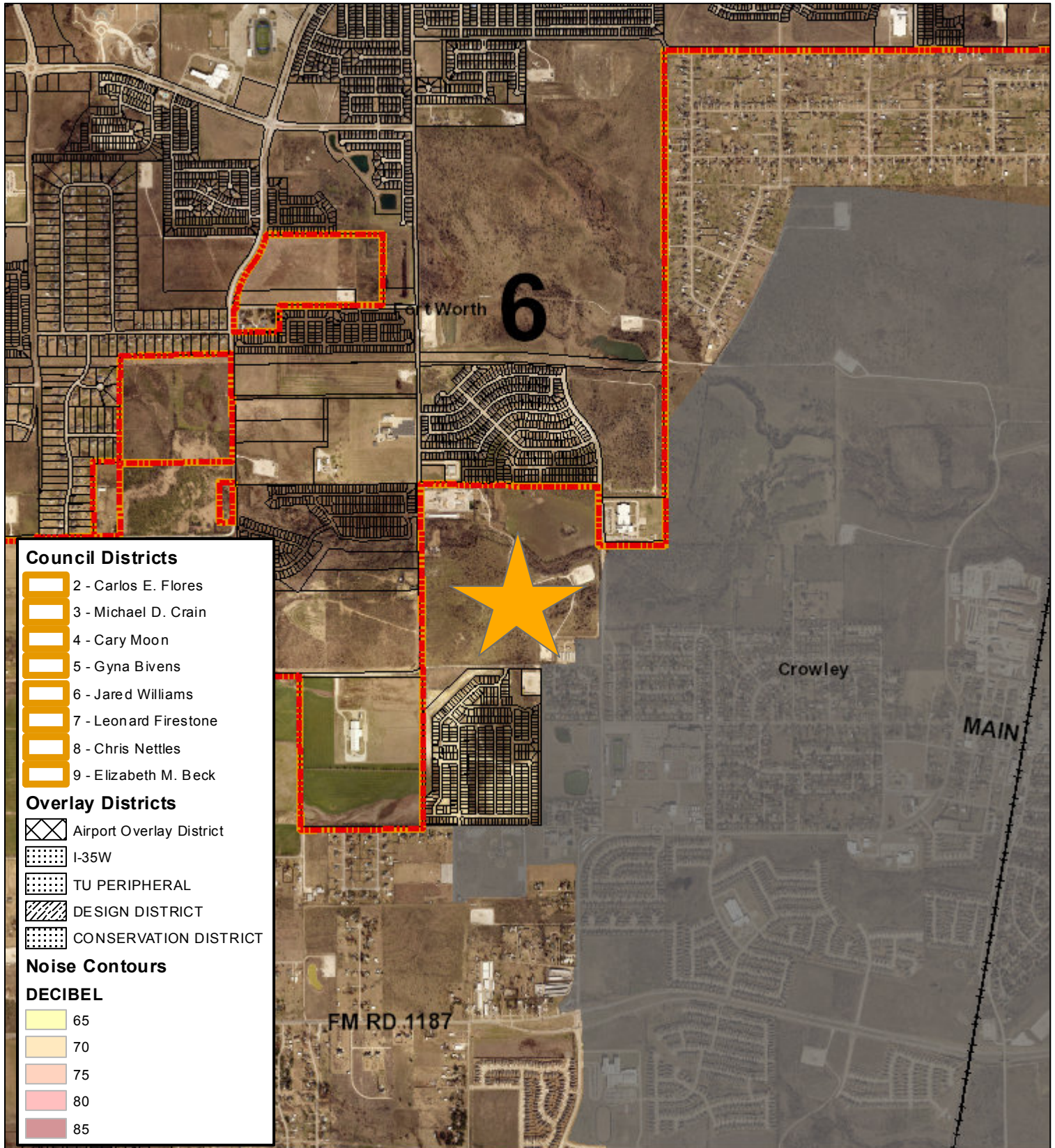


Area Zoning Map

Applicant: Shipman Companies LP
 Address: Generally bounded by Dublin Ridge Drive, McCart Avenue, Cleburne Crowley Road, and O
 Zoning From: Unzoned
 Zoning To: A-5
 Acres: 116.77025761
 Mapsco: 117GL
 Sector/District: Far South
 Commission Date: 9/8/2021
 Contact: 817-392-8043








Area Map








Council Districts

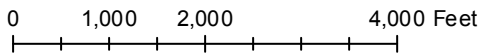
-  2 - Carlos E. Flores
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-  5 - Gyna Bivens
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-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

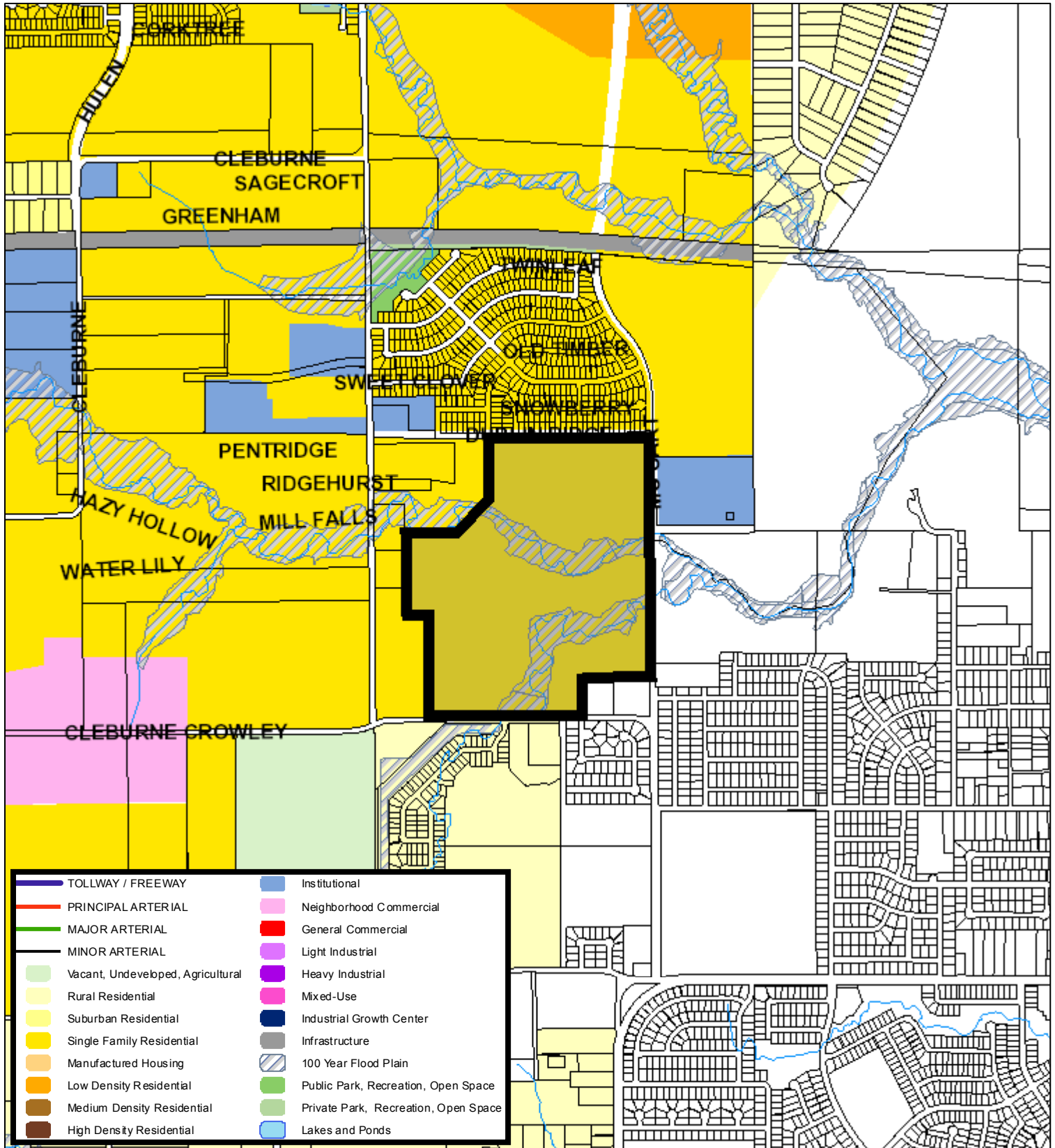
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85



Future Land Use

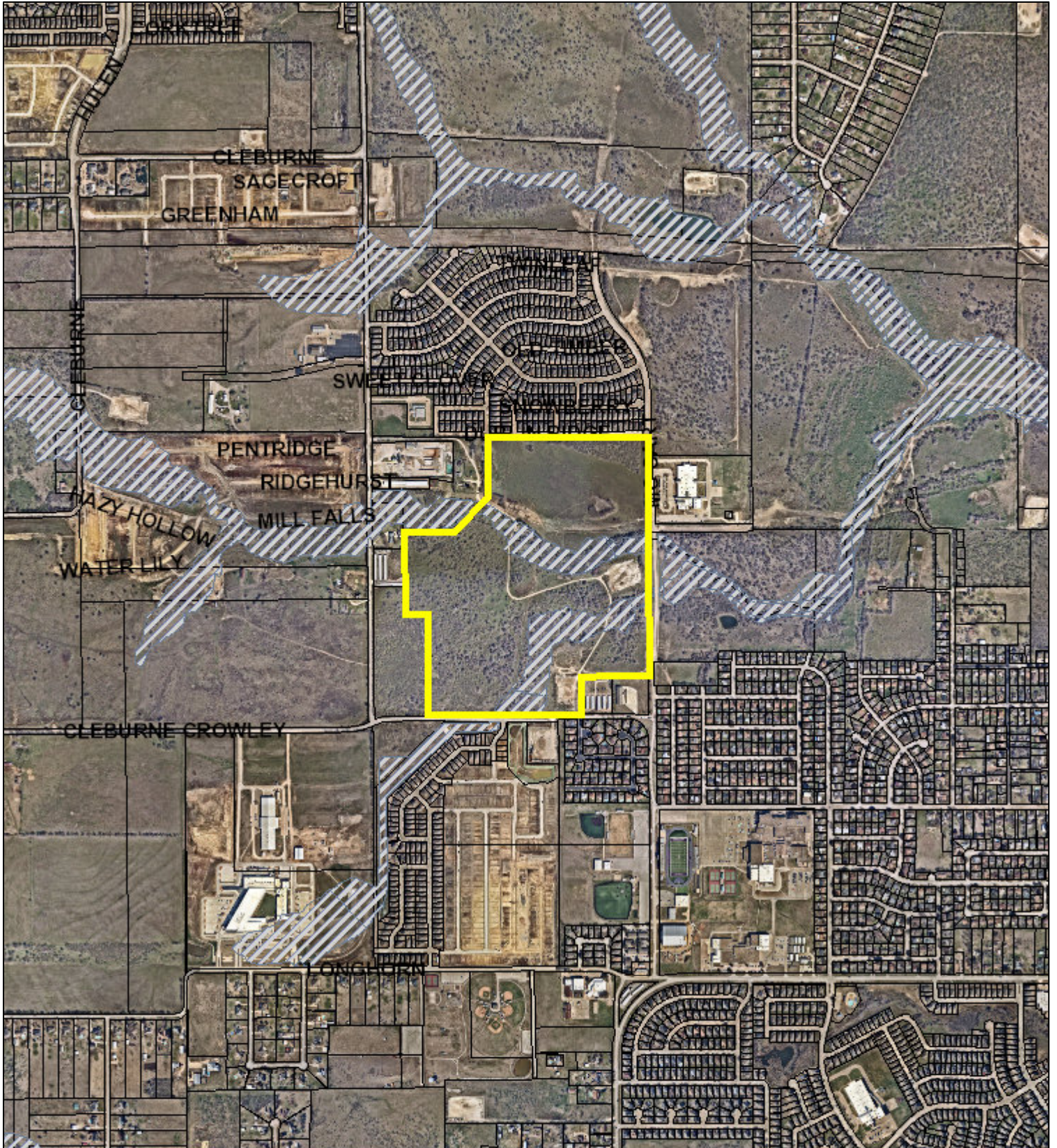


1,200 600 0 1,200 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 750 1,500 3,000 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-106

Council District: 7

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Joe Lindsey, JC Lindsey Family LTD Partership

Site Location: 1700 block Avondale haslet Rd **Acreage:** 3.042 acres

Request

Proposed Use: Commercial

Request:
From: "A-5" One-Family
To: "PD/E" Planned Development for all uses in "E" Neighborhood
Commercial excluding the following uses: assisted living facility, nursing home, golf course, indoor amusement, event center or rental hall, drive-in restaurant or business, lodge or civic club, commercial swimming pool, drive-in theatre, movie theatre or auditorium, bed and breakfast inn, business college or commercial school, convenience store, grocery store meat market, large retail store, liquor or package store, mortuary or funeral home, recording studio, taxidermist shop, gasoline sales, recycling collection facility, urban agriculture, storage or display outside with development standards located within Exhibit A, site plan required.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent (Minor Boundary Adjustment)**

Staff Recommendation: **Approval**

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4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Lake Worth Vision Plan 2011](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The proposed site is located on the corner of Avondale Haslet Road and Willow Springs Road. The applicant is proposing to amend the zoning from “A-5” One-Family to “PD/E” Planned Development for “E” Neighborhood Commercial excluding certain uses with development standards, site plan required. Currently, there are no proposed uses for the site and the applicant intends to sell the property.

Surrounding uses are primarily residential with commercial zoned land directly east, along the blockface. The proposed rezoning is located along an arterial and would complete the block, which is already commercially zoned.

This case was continued from last month’s Zoning Commission meeting. The applicant changed the application to the proposed PD at the behest of the surrounding neighborhood organization. The meeting was continued to allow for notices to be send out reflecting the changes.

Surrounding Zoning and Land Uses

North “A-5” One-Family; City of Haslet / single-family

East “PD 1220” PD/E minus certain uses with development standards / office, single-family, commercial

South “A-43” One-Family / large lot single-family

West “City of Haslet / large lot single-family

Recent Zoning History

- ZC-12-120-Annexation from unzoned to “A-43” One-Family; “E” Neighborhood Commercial; and “PD/E” for vet clinic
- ZC-18-147-from “A-5” One-Family to “PD/E” minus certain uses with development standards (directly east of the site)

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
North Fort Worth Alliance*	Spring Ranch HOA
Highlands at Willow Springs HOA	Sendera Ranch HOA
Streams And Valleys Inc	Trinity Habitat for Humanity
Northwest ISD	

* This Neighborhood Association is located closest to the subject property

Development Impact Analysis

Land Use Compatibility

The applicant is proposing a zoning change to “PD/E” Planned Development for “E” Neighborhood Commercial excluding certain uses with development standards, site plan required. Surrounding land uses vary with residential to the north, south, and west with commercial to the east. The entire remaining blockface to the east is commercially zoned. In addition, the site is located along a hard corner and arterial (Avondale Haslet). The proposed commercial will provide a buffer to the nearby residential uses. Setbacks, fencing and landscaping will also minimize impacts to surrounding properties.

As a result, the proposed zoning request is **compatible** at this location.

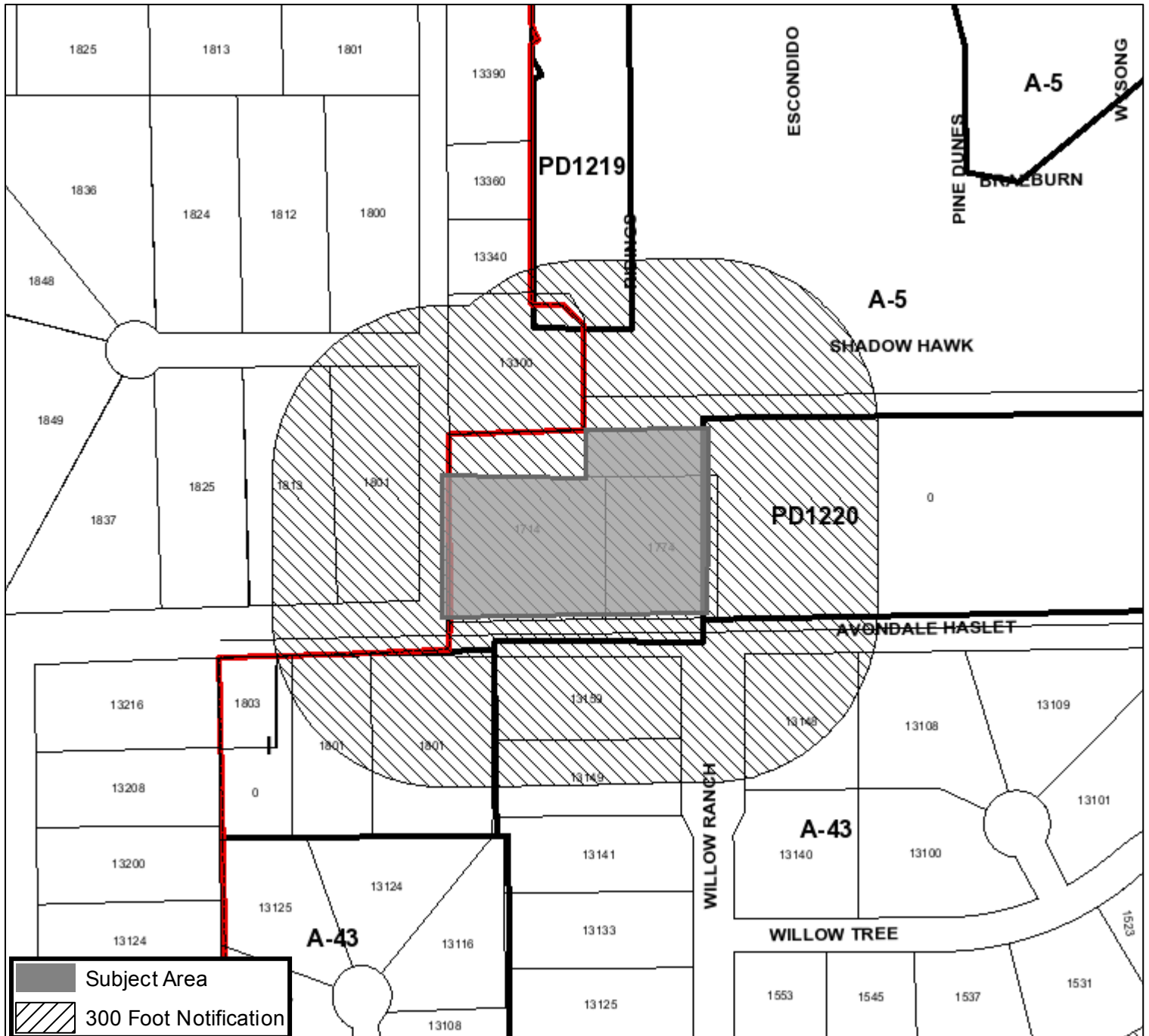
Comprehensive Plan Consistency – Far North



The Comprehensive Plan designates the subject property as single-family. The proposed zoning **is not consistent (Minor Boundary Adjustment)** with the Comprehensive Plan. However, the requested zoning change is consistent with the following Comprehensive Plan policies:

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure

Area Zoning Map

Applicant: Joe Lindsey, JC Lindsey Family LTD Partnership
 Address: 1700 block Avondale Haslet Road
 Zoning From: A-5
 Zoning To: PD for limited Euses with development standards
 Acres: 3.0421903
 Mapsco: 5T
 Sector/District: Far North
 Commission Date: 10/13/2021
 Contact: 817-392-8047



	Subject Area
	300 Foot Notification

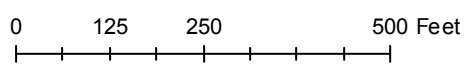
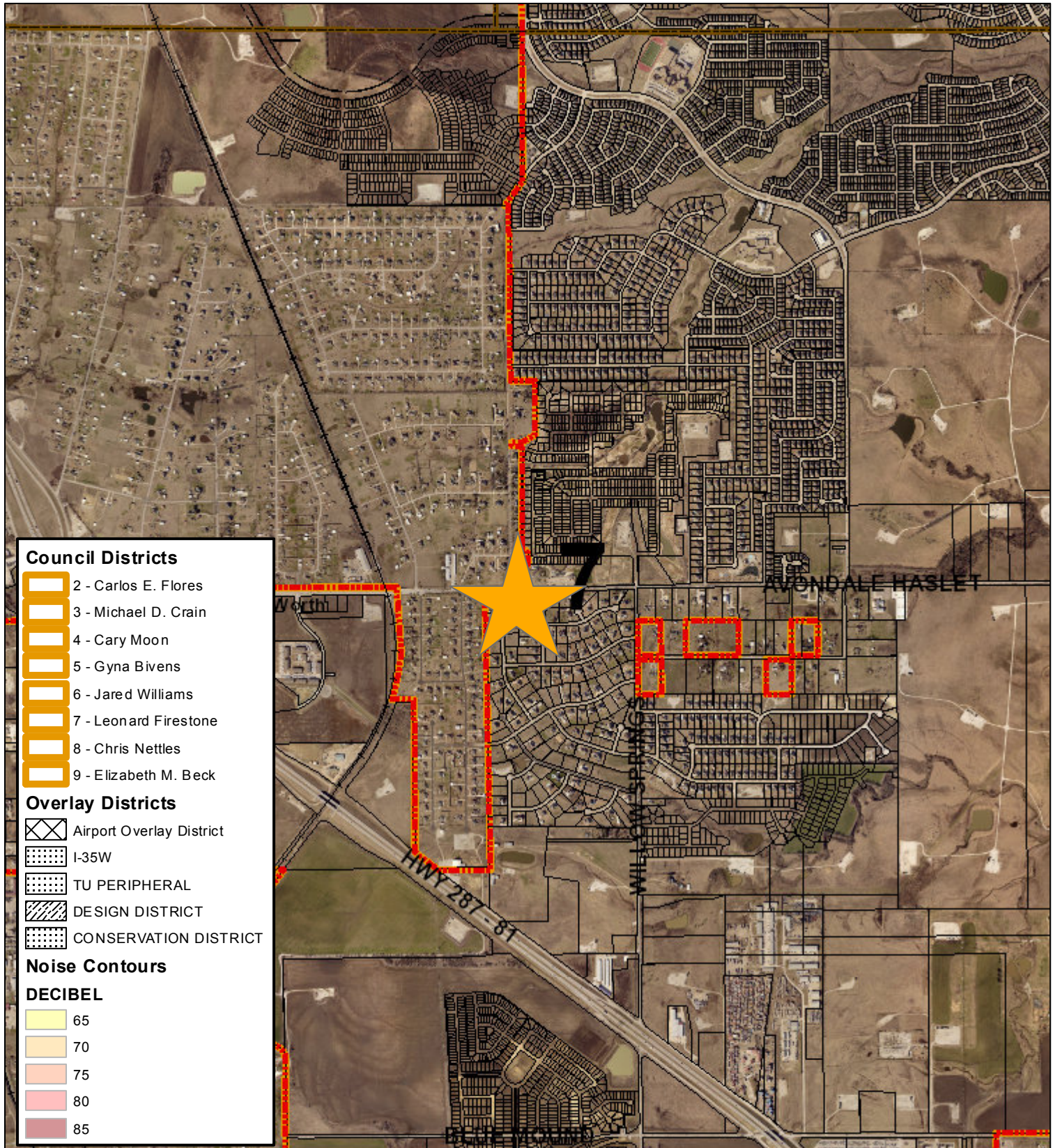


Exhibit A









“PD/E” Planned Development for all uses in “E” Neighborhood Commercial excluding the following uses: assisted living facility, nursing home, golf course, indoor amusement, event center or rental hall, drive-in restaurant or business, lodge or civic club, commercial swimming pool, drive-in theatre, movie theatre or auditorium, bed and breakfast inn, business college or commercial school, convenience store, grocery store meat market, large retail store, liquor or package store, mortuary or funeral home, recording studio, taxidermist shop, gasoline sales, recycling collection facility, urban agriculture, storage or display outside with additional parking requirements, consideration shall be given to minimize noise and light pollution from parking areas.

1. Outdoor lighting shall not create ambient lighting which trespasses onto residential property.
2. As a means to minimize light and noise pollution on the residents south of Avondale Haslet Rd, parking stalls should be minimized between the building front and Avondale Haslet Road.
3. If parking is planned between the building front and Avondale Haslet Road then there should be a landscaped berm of an average height of 3 ft. to 4 ft. tall between the parking stalls and Avondale Haslet Road, site plan required.






Area Map



Council Districts






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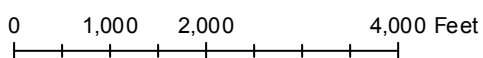
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

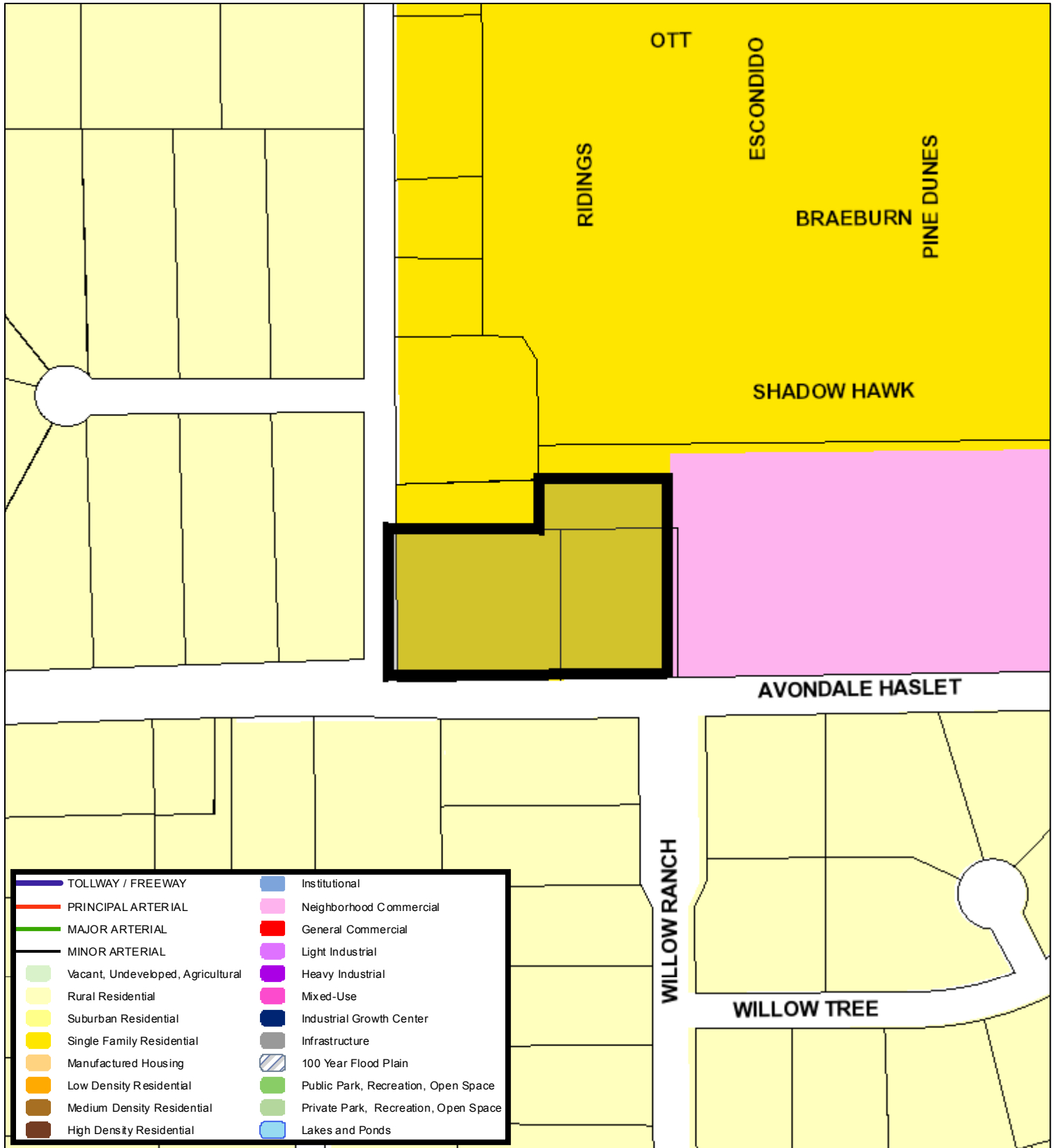
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



225 112.5 0 225 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 140 280 560 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-111

Council District: 8

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: N&A Properties, Inc. / Jim Dewey Jr., JDJR Engineers & Consultants

Site Location: 1400 & 1410 East Berry St.

Acres: 4.00 acres

Request

Proposed Use: Gas Station w/ Car Wash & Convenience Store w/ drive thru restaurant

Request: From: "MU-1" Low Intensity Mixed Use

To: "E" Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The applicant is proposing to build a new gas station on this site, which is currently undeveloped. The property is situated in NEZ Area Six, as well as being a part of the Berry Riverside Urban Village. Accessory uses to the gas station that are included in the plans are: a car wash situated to the rear of the property, a 4,100 square foot convenience store, and a 1,900 square foot drive-thru restaurant.

This case was previously heard by the Zoning Commission on August 11th. The applicant requested a 60-day continuance at that time in order to work on providing renderings & landscaping plans.

Surrounding Zoning and Land Uses

North “MU-1” Low Intensity Mixed Use / bail bonds, retail center
East “MU-1” Low Intensity Mixed Use / Sierra Vista Transit Plaza (bus station)
South “I” Light Industrial / warehouse
West “I” Light Industrial / auto repair

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on July 23, 2021.
The following organizations were emailed July 26, 2021:

Organizations Notified	
Fort Worth ISD	Southeast Fort Worth Inc
Trinity Habitat for Humanity	Streams and Valleys Inc
Morningside NA*	Vicki Ln.-Bowie St. Homeowners & Tenants Assoc.
Glencrest Civic League NAS	United Communities Assoc. of Fort Worth

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

A new gas station with accessory uses (car wash, drive thru restaurant, and convenience store) would be the first such combination in this immediate vicinity. There are three (3) gas stations less than 1 mile to the west at the I-35 and Berry intersection (Racetrac, Chevron, and Stop & Go) and four (4) more gas stations (Murphy Express, 7-Eleven, Valero, Exxon) at Renaissance Square at 287 & East Berry St. Both existing clusters of gas stations are located on freeways, while the current proposal is roughly 1 mile east of a freeway.

The surrounding properties are largely commercial and industrial and would not be heavily impacted by the operation of a gas station on this site. While there are already several gas stations in this area, overall the proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

While the Land Use Compatibility review accounts for the current land uses of the site, the Comprehensive Plan Consistency review looks at the future of the surrounding areas as City Council envisions it. The 2021 Comprehensive Plan currently designates the subject property as future Mixed-Use.

The site is located within the perimeter of the Berry Riverside Urban Village. Quality retail development and mixed income housing are the primary targets for growth within this boundary, which is located near the intersection of two (2) major roads, Riverside Drive and East Berry Street. It is discretionary on the part of the Zoning Commission and the City Council to determine whether or not the proposed development meets the standard of “quality retail development” envisioned by the Berry Riverside Urban Village.

Generally, the urban villages are urbanized places with concentrations of jobs, housing, commercial uses, public spaces, public transportation, and pedestrian activity. The site is currently zoned to house a mixed use development. The current zoning is also in alignment with the adopted future land use plan contained within the adopted Comprehensive Plan. Changing the zoning to “E” would allow the proposed use but would be one less property able to accommodate an active, mixed use development. The site is also immediately adjacent to the Sierra Vista Transit Plaza, which serves 4 major transit lines (Bus Routes 3, 5, 8, and 24).

As the proposed development is solely commercial, and not a mix of commercial and residential components true to the mixed use zoning and future land use designations, the proposed zoning **is not consistent** with the Comprehensive Plan for this area. It may be worthwhile to consider retaining the existing mixed-use zoning on this site as there are relatively few areas zoned mixed-use throughout the City. Also take into consideration the Urban Village designation and what the vision for the area in the future is.

Additionally, the Comprehensive Plan promotes housing in areas adjacent to existing transit connections, those policies are included below:



CHAPTER 4

LAND USE

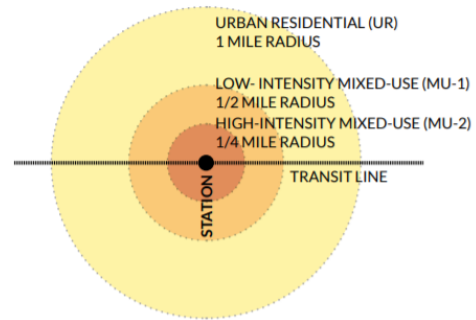
Land use refers to how land is currently used and how it should be used in the future. Population and economic trends help predict future needs for various land uses. The City of Fort Worth guides land use to ensure that land resources appropriately encourage economic development, promote a variety of housing choices, preserve natural and historic resources, and accommodate transportation routes and public facilities, in order to protect and improve Fort Worth's quality of life.

POLICIES & STRATEGIES

STRATEGIES

- Plan for, facilitate, and aggressively pursue appropriate transit-oriented development (TOD) at existing and future transit station locations. A TOD encourages compact urban development adjacent to transit stations. Mixed uses in a single building, minimal setbacks, and taller structures help achieve the higher densities necessary to support transit. Retail businesses and services for commuters should be located adjacent to transit stops, between the rail platform and parking facilities.

SUGGESTED ZONING AROUND PUBLIC TRANSIT



CHAPTER 5 HOUSING

Provision of adequate and appropriate housing for all residents is essential to building strong neighborhoods. The City of Fort Worth's key housing goals are increasing the supply of quality affordable accessible housing; expanding homeownership opportunities; revitalizing neighborhoods; creating mixed-income communities; and better aligning housing choice options with multimodal transportation opportunities, as typically occurs in Transit-Oriented Development.

Below are the City's key housing goals and objectives, which are intended to help guide allocation of City resources to address housing needs in the City of Fort Worth.

- 6** Continue to promote specific public incentives to encourage housing development in City designated target areas, i.e., Central Business District, Central City, Designated Investment Zones, Transit-Oriented Development, Urban Villages, etc.
 - Support affordable housing in mixed-use development projects in accordance with the City's tax abatement and Neighborhood Empowerment Zone policy.

Economic Development Plan

The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth.

One goal listed in the Executive Summary is that the City should do all it can to help ensure quality development in specific corridors and at existing business nodes. One strategy to help reach this goal is for the City to prevent "...the proliferation of land uses and activities that might diminish the economic potential of a target area, such as large public sector or nonprofit developments, and land-intensive, auto-centric development (e.g. **gas stations**, automotive repair shops, car washes, storage unit complexes)."

INITIATIVE: NEIGHBORHOOD ALIGNMENT

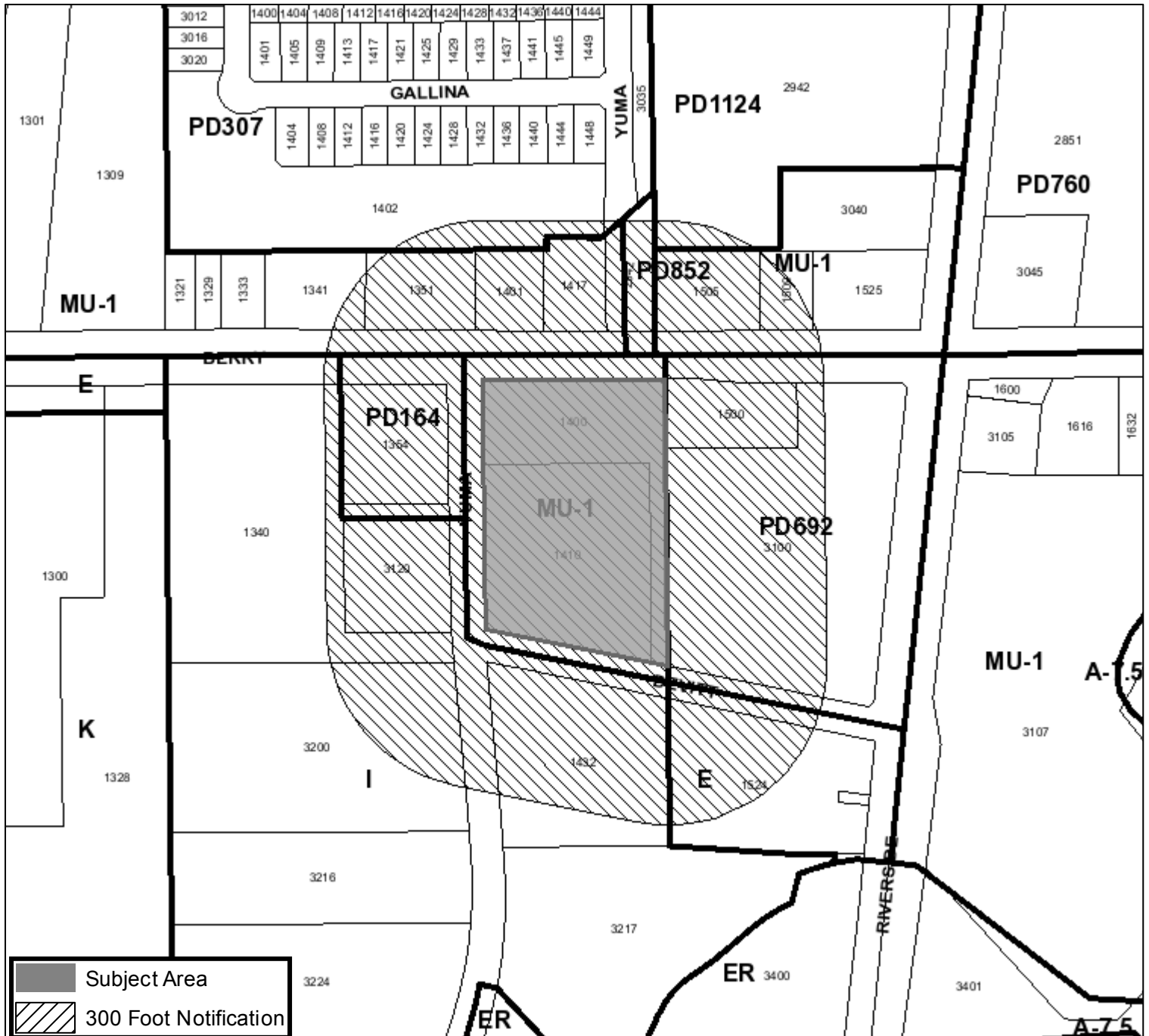
PRIORITY STRATEGY: Focus City investments along specific corridors and at nodes of existing business activity.



Challenge	<i>Economic development does not guarantee prosperity for all. Even in the nation's most successful and diversified metropolitan economies, specific geographies and segments of the population are often left behind. Fort Worth is no exception. Segments of the city's population in specific neighborhoods and corridors have struggled to achieve prosperity, even while the city as a whole has experienced widespread growth. The City can and should play a lead role in catalyzing development in under-served neighborhoods and for under-served residents.</i>
Response	<i>Public investments in economic development must be made only when they can reasonably be expected to generate economic benefits. The City must play a lead role as a strategic investor to catalyze development in neighborhoods and corridors targeted for urban revitalization. Just as important, the City is responsible for preventing the proliferation of land uses and activities that might diminish the economic potential of a target area, such as large public sector or nonprofit developments (e.g., community centers, churches, homeless services centers) and land-intensive, auto-centric development (e.g., gas stations, automotive repair shops, car washes, storage unit complexes).</i>
Results	<i>Outcomes for challenged neighborhoods receiving targeted investments include ancillary development, tax base growth, and job creation.</i>

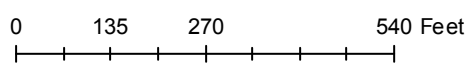


Area Zoning Map

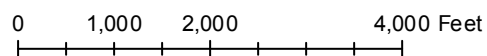
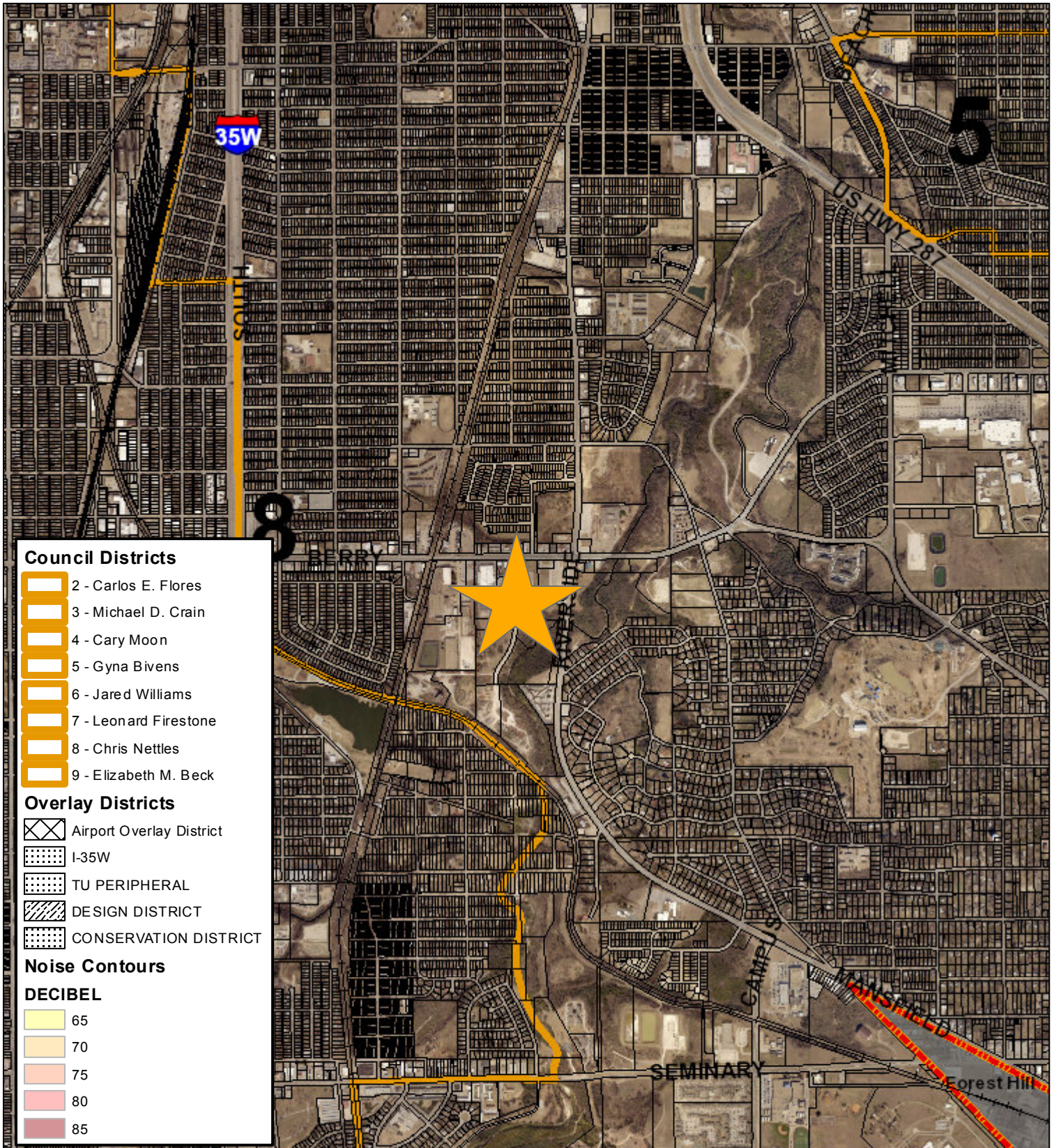
Applicant: N&A Properties
 Address: 1400 & 1410 E. Berry Street
 Zoning From: MU-1
 Zoning To: E
 Acres: 3.99881266
 Mapsco: 77Y
 Sector/District: Southside
 Commission Date: 8/11/2021
 Contact: 817-392-2806



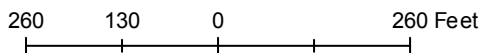
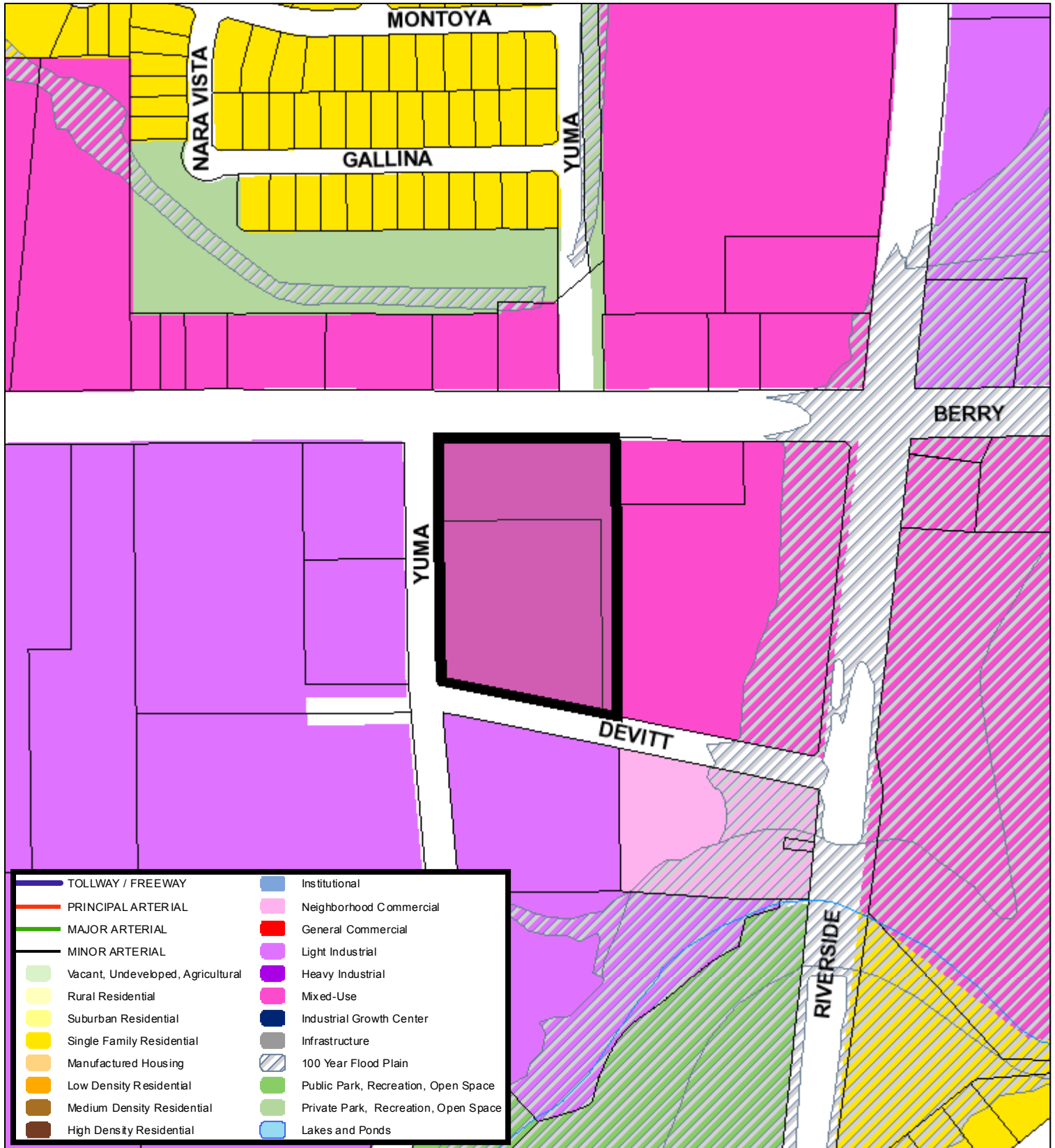
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 165 330 660 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-130

Council District: 6

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: Summer Creek Station, LLC / Burger Engineering, LLC

Site Location: 5400 – 5600 blocks Columbus Trail **Acreage:** 3.66 acres

Request

Proposed Use: Caliber Collision Automotive Repair

Request: From: “PD 471A” Planned Development/Specific Use for all uses in “F” General Commercial except sexually oriented businesses, tattoo parlor, shooting ranges (indoor) and gambling facilities; site plan required

To: Amend “PD 471A” to allow automotive repair adjacent to a residential district; site plan included

Recommendation

Land Use Compatibility: Requested change is **not compatible**.

Comprehensive Plan Consistency: Requested change is **consistent**.

Staff Recommendation: **Denial**

Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Site Plan Comments](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Conceptual Landscape Plan
9. Conceptual Elevation Drawings
10. Area Map
11. Future Land Use Map
12. Aerial Photograph

Project Description and Background

The subject property is located southeast of the intersection of Sycamore School Road and Chisholm Trail Parkway. The site is currently vacant and is zoned “PD 471A” Planned Development for all uses in “F” General Commercial except sexually oriented businesses, tattoo parlor, shooting ranges (indoor) and gambling facilities. The applicant is proposing to amend this PD and submit the required site plan to allow development of a new Caliber Collision Automotive Repair facility. This case was originally heard by the Zoning Commission on September 8, 2021 and the Commission voted for a 30-day continuance to allow the applicant to continue discussions with adjacent property owners.

Automotive repair is typically an allowed land use in the “F” General Commercial District, so long as the development meets supplemental standards found in Section 5.104 of the Zoning Ordinance. Subsection 5.104(c) states that “no repairs shall be conducted on any premises that adjoin any residential district boundary.” The subject property is located adjacent to property zoned “A-5” One-Family along both the southern and eastern property lines and therefore automotive repair use is not allowed. The applicant is proposing to amend the existing PD zoning to add “automotive repair adjacent to a residential district boundary” as an allowed land use.

The site plan associated with this request is attached, as well as a conceptual landscape plan and elevation drawings provided by the applicant for reference. The applicant has indicated that Caliber Collision will be purchasing all of Lot 8A in Block 13 of the Summer Creek Station Subdivision. However, at this time development is only proposed on the western portion of the property, closest to Chisholm Trail Parkway, and the applicant has indicated that the eastern portion will remain vacant. The site plan shows a new 16,895 square foot building with associated parking and vehicle storage areas.

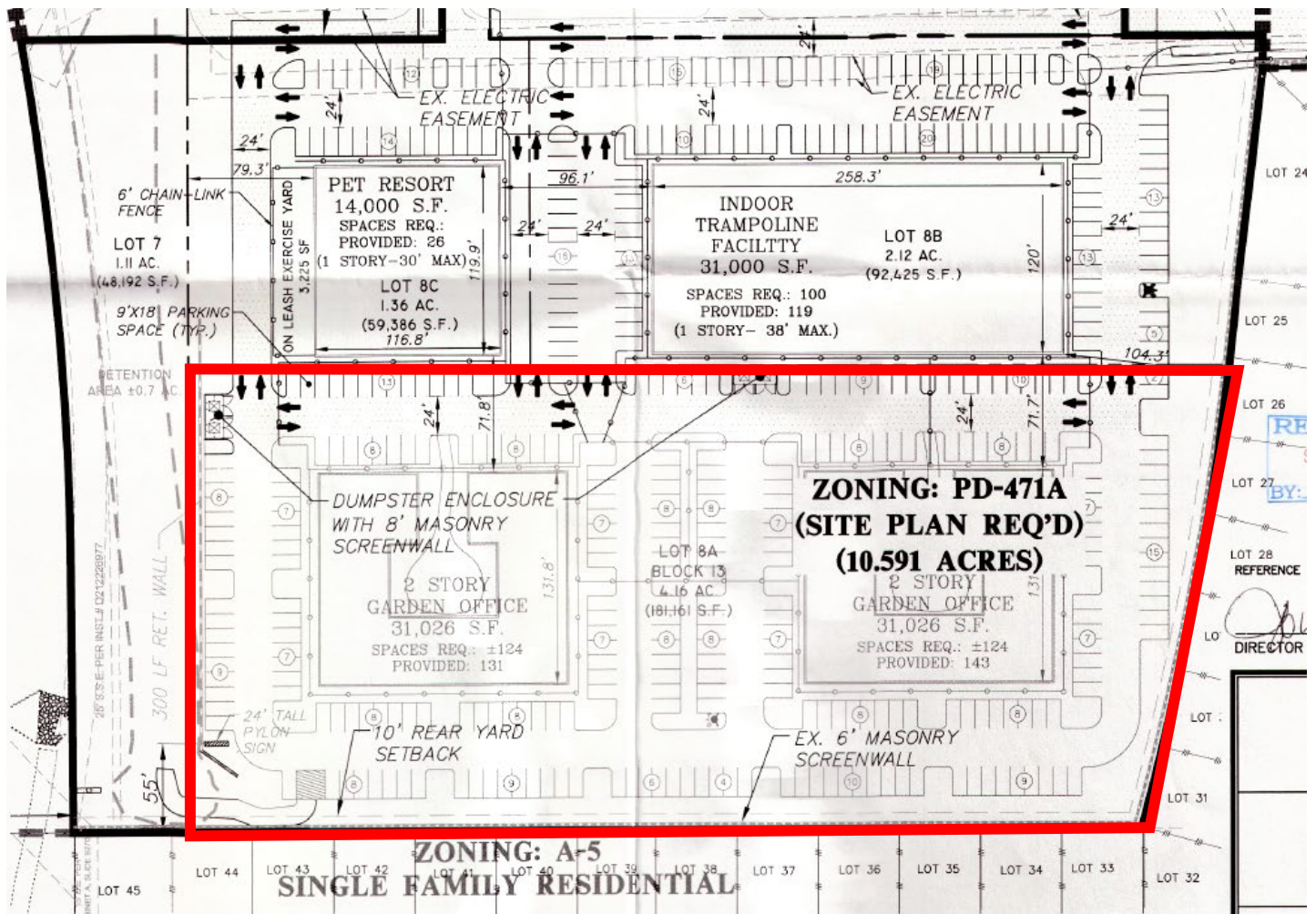
Below is additional information provided by the applicant regarding the proposed use:

- Caliber Collision has limited hours (7:00 AM – 6:00 PM Monday – Friday). They have minimal traffic flow in and out of the site and use only water-based paint in their internal paint booths.
- All repair work is done inside the 100% enclosed climatized building behind closed roll up overhead doors. The damaged vehicles are brought in and dropped off in the fenced in area behind the building where they sit a maximum of 2-3 days. The next step is the tech examines the vehicle and gets the new parts ordered. The parts arrive and the car is brought into the building where it is completed. After completion it is taken to the back lot again and the owner picks up the car

There are 19 detached dwellings on lots zoned “A-5” One-Family that have rear yards immediately adjacent to the southern and eastern property lines of this site. Due to this proximity, the applicant is required to provide a 35-foot supplemental building setback and minimum 5-foot landscaped bufferyard with screening fence along the entire property line adjacent to residential, as depicted on the site plan.

The PD471A zoning on this property was originally approved by City Council in 2006 as part of a Council-initiated rezoning for the Summer Creek Mixed Use Growth Center. In 2016, the zoning was amended to submit a required site plan for the southern portion of PD471A (including the subject property) and to remove certain properties along the Sycamore School Road frontage out of PD471A. Initially, the site plan showed a 4-story hotel and three (3) two-story office buildings. After discussion with surrounding neighborhood organizations and the Council Member at the time, this site plan was revised to remove the hotel and instead show four (4) two-story office buildings. The following year, another zoning change request was approved which replaced two of the previously-proposed office buildings with an indoor trampoline facility and indoor pet kennel. Below is an excerpt from the most recently approved site plan for the PD 471A zoning district. The area included in the current zoning change request for Caliber Collision is outlined in red.

Excerpt from Approved Site Plan for PD471A:



Surrounding Zoning and Land Uses

- North “PD 471A” / indoor pet kennels, trampoline park/indoor entertainment
- East “A-5” One-Family / single-family dwellings
- South “A-5” One-Family / single-family dwellings
- West “PD 471A” / vacant, drainage easement

Recent Zoning History

- ZC-06-264: Council-initiated rezoning of the subject property and surrounding sites from “C” Medium Density Multifamily to PD 471A for certain “F” General Commercial uses; site plan required.
- ZC-16-132: Submitted required site plan for PD471A showing four proposed office buildings (including two on the subject property) and certain properties along the Sycamore School Road from PD471A to PD471
- ZC-17-123: Amended PD471A site plan to replace two proposed office buildings with indoor trampoline park and indoor pet kennel

Public Notification

300-foot Legal Notifications were mailed on August 23, 2021.
The following organizations were notified: (emailed August 23, 2021)

Organizations Notified	
Ridgeview Estates HOA	Summer Creek South HOA
Villages of Sunset Pointe HA*	Summer Creek Meadows HOA
Summer Creek HA	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	Crowley ISD

**This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The existing zoning of this site is “PD 471A” Planned Development for all uses in “F” General Commercial with certain restricted uses. The applicant is proposing to amend this PD zoning to specifically allow automotive repair as an allowed land use adjacent to residential lots.

Properties to the north are developed with a variety of retail and commercial uses, including an indoor trampoline park, indoor pet kennel, dental office, and multiple drive-through restaurants. The majority of these developments have been constructed within the past two years.

To the west of this site is a vacant lot that contains drainage infrastructure for the surrounding developments. The location of this lot prevents the subject property from having direct access to the Chisholm Trail Parkway service road. Access is provided via public access easements that connect to the properties to the north. This layout creates as a concern with the proposed automotive repair use, as larger vehicles and tow trucks will need to cross through the parking areas of the adjacent retail developments in order to access the proposed Caliber Collision site.

Properties to the south are zoned “A-5” One-Family and are developed with single-family dwellings. Automotive repair is prohibited adjacent to residential districts in all standard zoning districts. The only way this use can be permitted is with approval of Planned Development (PD) zoning or a Conditional Use Permit (CUP). Automotive repair also represents a significantly more intense use than originally proposed for this site, as the current approved site plan shows development of office buildings.

The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Wedgwood

The 2021 Comprehensive Plan currently designates the subject property as “Mixed Use” on the Future Land Use Map. Specifically, this site is included in the Summer Creek Mixed Use Growth Center. As shown in the excerpt below from the 2021 Comprehensive Plan, a variety of zoning districts and land uses can be appropriate within the mixed-use designation including all commercial districts. Automotive repair is an allowed land use in all commercial districts with the exception of “ER” Neighborhood Commercial Restricted and “E” Neighborhood Commercial. Automotive repair is an appropriate use within the “Mixed Use” Future Land Use designation, it is just not permitted on properties immediately adjacent to residential districts (as applies to this particular site).

COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

Site Plan Comments

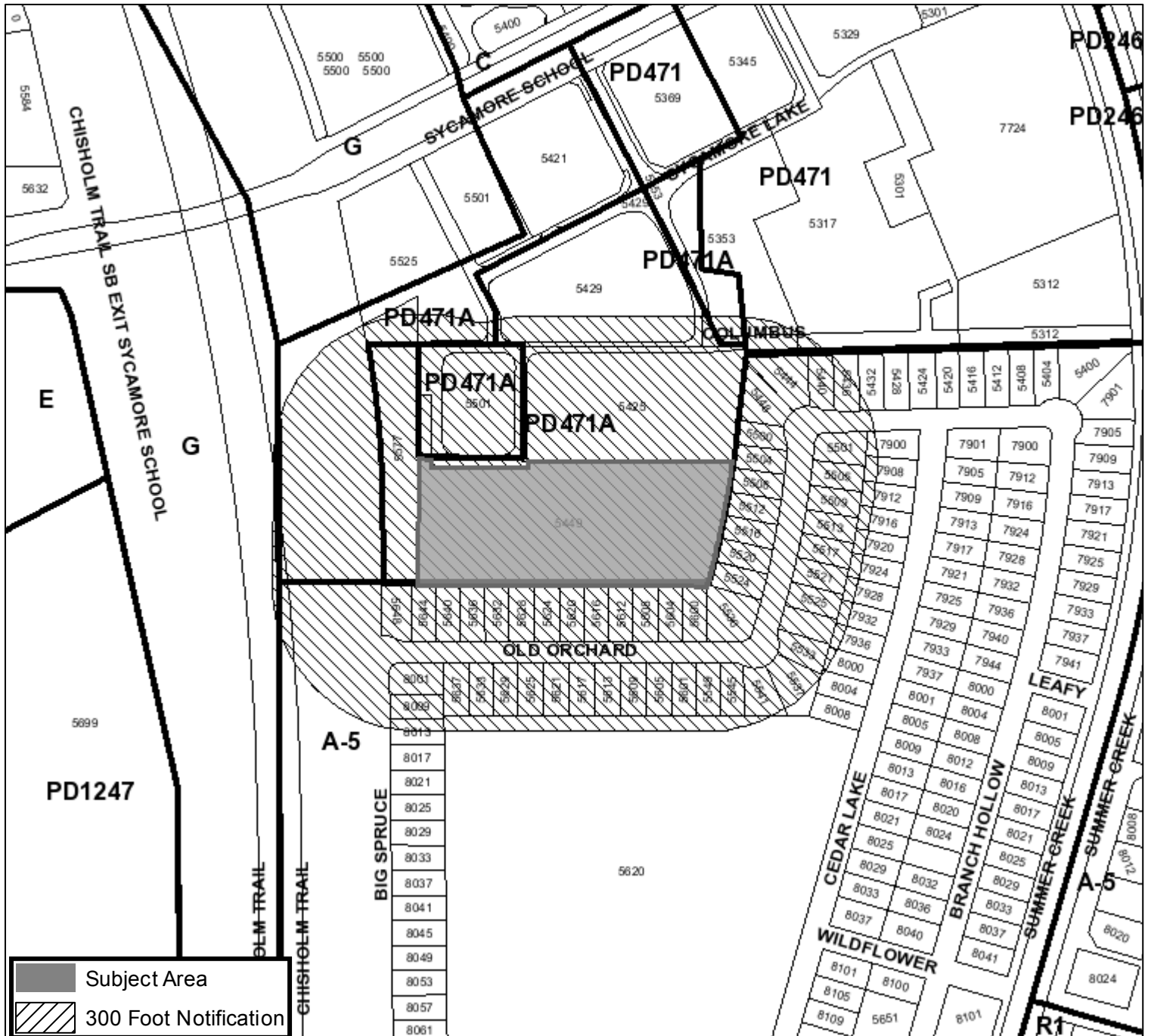
Zoning and Land Use

- The site plan as submitted is in general compliance with the Zoning Ordinance regulations

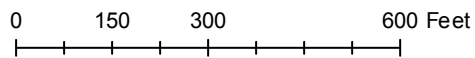
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: Summer Creek Station LLC
 Address: 5400 - 5600 blocks Columbus Trail
 Zoning From: PD 471A for certain F uses
 Zoning To: Amend PD to allow auto repair adjacent to residential
 Acres: 3.65898362
 Mapsco: 102M
 Sector/District: Wedgwood
 Commission Date: 9/8/2021
 Contact: 817-392-2495



Subject Area
 300 Foot Notification



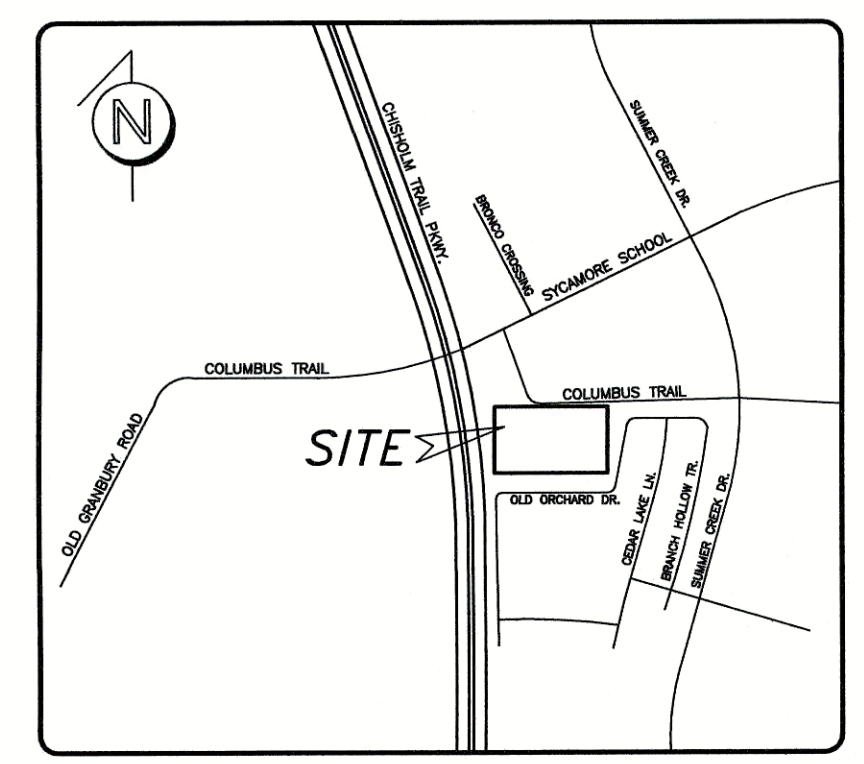
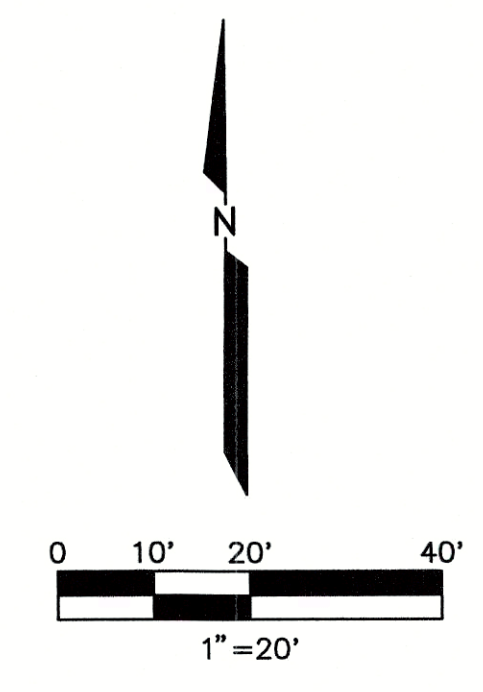
BENCHMARK - BM 1	
ELEVATION	779.54
MONUMENT	CUT "X"
LOCATION	ON TOP OF CURB WEST OF DUMPSTER PAD AT SOUTHWEST CORNER OF "URBAN AIR"
BENCHMARK - BM 2	
ELEVATION	786.96
MONUMENT	CUT "X"
LOCATION	ON TOP OF CURB WEST OF DUMPSTER PAD SOUTH OF "URBAN AIR"
BENCHMARK - BM 3	
ELEVATION	788.52
MONUMENT	CUT "X"
LOCATION	ON TOP OF CURB AT CORNER OF PARKING LOT ON EAST SIDE AT NE END OF PROPERTY

- NOTES:
- ALL PROVIDED LIGHTING WILL CONFORM CODE AND WILL BE SHIELDED FROM ADJACENT RESIDENTIAL PROPERTIES, IF APPLICABLE.
 - ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
 - PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
 - PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.

- PROJECT NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY:
 - DOTSON-THOMPSON-MANSFIELD, PLLC
20 NE 38TH STREET
OKLAHOMA CITY, OKLAHOMA 73105
(405) 601-7402
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, SIDEWALK & RAMPING BETWEEN CURB & BUILDING.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - COORDINATE & CONFIRM ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 - REFERENCE FINAL PLAT FOR ALL PROPERTY LINE INFORMATION.

SITE DATA

ZONING:	PD 471A
LOT AREA:	3.72 ACRES (162,081 S.F.)
PROPOSED USE:	COLLISION REPAIR CENTER
BUILDING AREA:	16,895 S.F.
F.A.R.:	0.10:1
LOT COVERAGE:	10.4%
PARKING REQUIRED:	1 SPACE PER 250 S.F. BLDG. AREA
	16,895 / 250 = 68 SPACES
PARKING PROVIDED:	103 SPACES (2 H.C.)
PROP. LANDSCAPE AREA TOTAL:	90,046 S.F. (55.6%)
PROP. IMPERVIOUS AREA TOTAL:	72,035 S.F. (44.4%)
BUILDING HEIGHT:	26' (SINGLE STORY)



- LEGEND
- F.H. FIRE HYDRANT
 - CHISELED "X" SET
 - O.F.X. CHISELED "X" FOUND
 - O.F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - O.S.I.R. IRON ROD SET (SIZE AS NOTED)
 - O.U.P. OVERHEAD UTILITY POLE W/ GUY
 - PP UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.S.M.H. SANITARY SEWER MANHOLE
 - S.S.W. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - TREE
 - M.H. MANHOLE (TYPE AS NOTED)
 - SIG. BOX TRAFFIC SIGNAL BOX
 - TRANS. ELECTRIC TRANSFORMER BOX
 - TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - CABLE UNDERGROUND CABLE MARKER
 - LS LANDSCAPE
 - PROP. CONCRETE PAVEMENT
 - PROP. CONCRETE SIDEWALK

OWNER:
SUMMER CREEK STATION, LLC
P.O. BOX 93898
SOUTHLAKE, TEXAS 76092
PHONE: (214) 614-8252

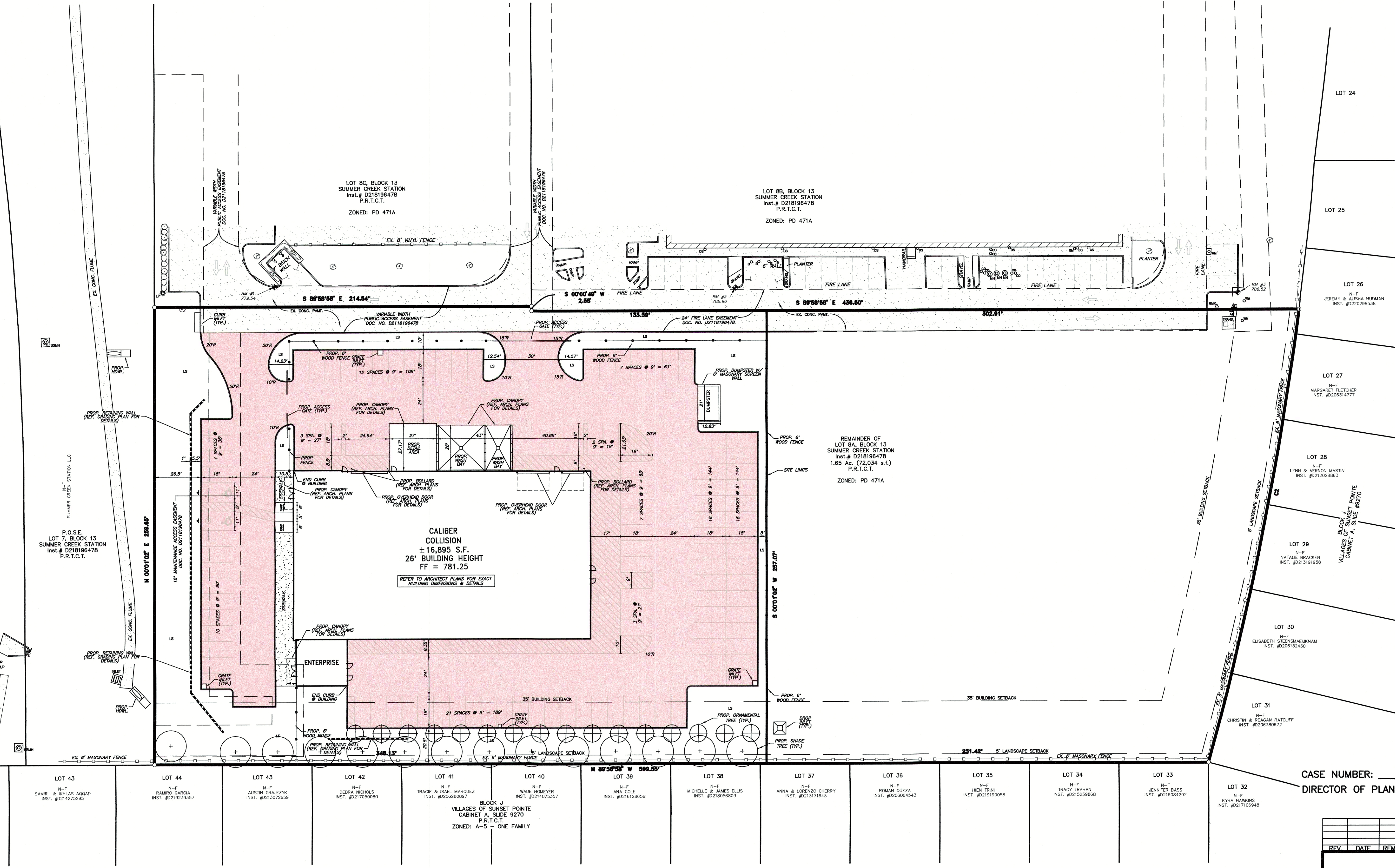
APPLICANT:
CROSS DEVELOPMENT
4336 MARSH RIDGE
CARROLLTON, TEXAS 75010
PHONE: (214) 614-8252
CONTACT: HEATHER RIMMER
EMAIL: HEATHER@CROSSDEVELOPMENT.NET

ARCHITECT:
NCA PARTNERS ARCHITECTURE
5646 MILTON STREET, SUITE 610
DALLAS, TEXAS 75206
PHONE: (214) 361-9901 EXT. 133
CONTACT: AARON VOLBEDA
EMAIL: AVOLBEDA@NCAPARTNERS.COM

SURVEYOR:
DOTSON-THOMPSON-MANSFIELD, PLLC
20 NE 38TH STREET
OKLAHOMA CITY, OKLAHOMA 73105
PHONE: (405) 601-7402
CONTACT: RANDY MANSFIELD
EMAIL: RANDYM@DTM-OK.COM

ENGINEER:
BURGER ENGINEERING, LLC
TBPE F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.
EMAIL: BBURGER@BURGERENGINEERING.COM

CHISHOLM TRAIL PKWY. SERVICE ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)



CASE NUMBER: _____
DIRECTOR OF PLANNING & DEVELOPMENT: _____
DATE: _____

REV.	DATE	REMARKS

SITE PLAN

CALIBER COLLISION - 5449 COLUMBUS TRAIL
PORTION OF LOT 8A, BLOCK 13 - SUMMER CREEK STATION
JOHN W. ASBURY SURVEY, ABSTRACT NO. 52
THE CITY OF FORT WORTH, TEXAS

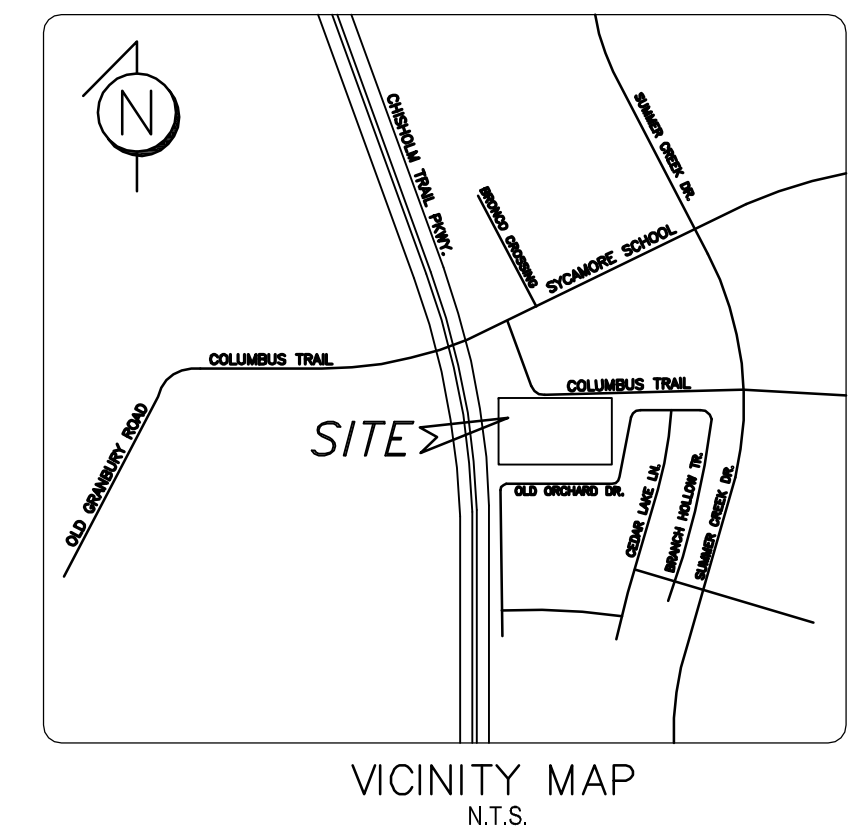
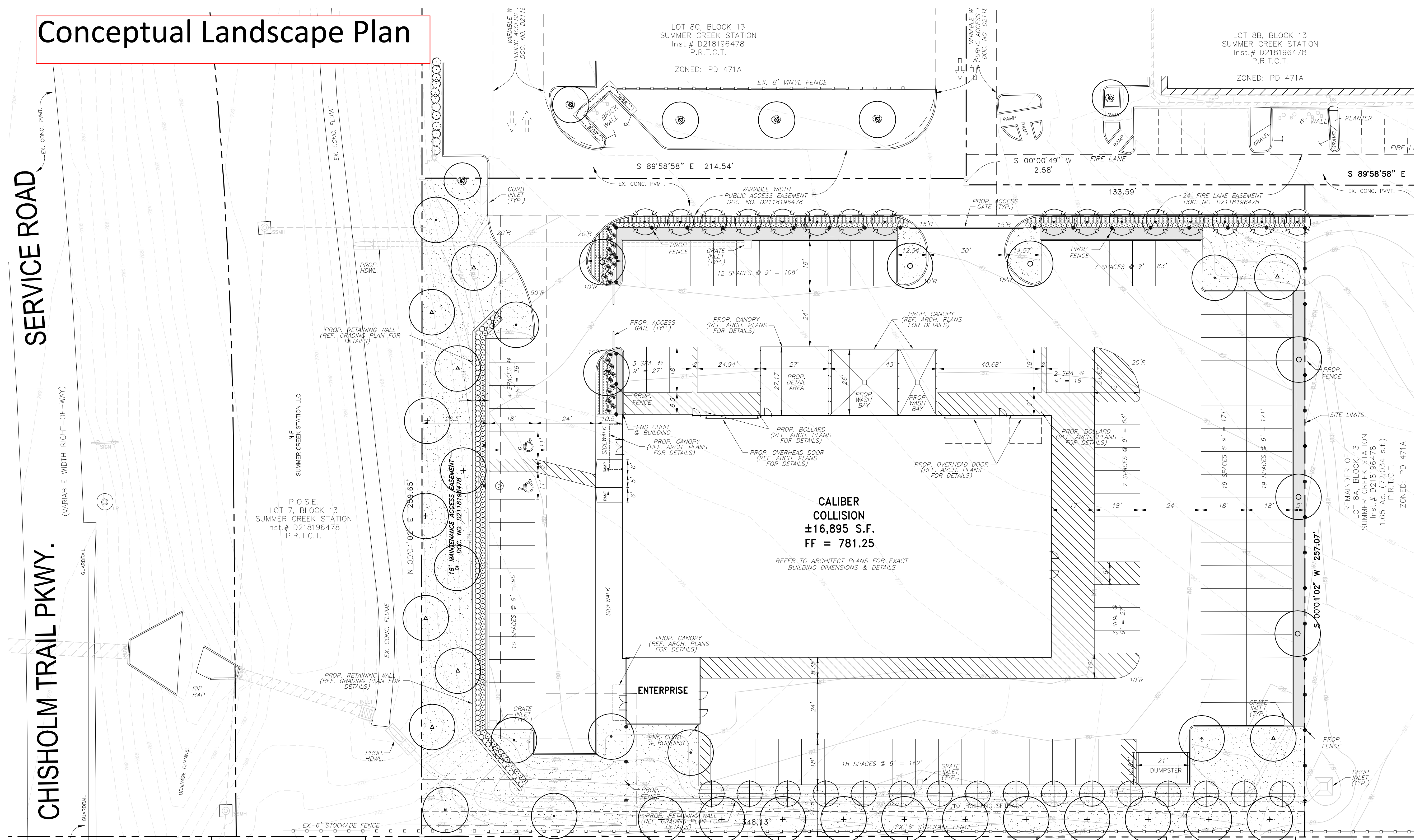
BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BMB	RMP	2/21	-	-	087-014 SITE PLAN	C-4



Conceptual Landscape Plan

SERVICE ROAD
CHISHOLM TRAIL PKWY.



SITE DATA	
ZONING:	PD 471A
LOT AREA:	3.72 ACRES (162,081 S.F.)
PROPOSED USE:	COLLISION REPAIR CENTER
BUILDING AREA:	16,895 S.F.
F.A.R.:	0.101
LOT COVERAGE:	10.4%
PARKING REQUIRED:	1 SPACE PER 250 S.F. BLDG. AREA 16,895 / 250 = 68 SPACES
PARKING PROVIDED:	106 SPACES (2 H.C.)
PROP. LANDSCAPE AREA TOTAL:	80,046 S.F. (55.8%)
PROP. IMPERVIOUS AREA TOTAL:	72,035 S.F. (44.4%)
BUILDING HEIGHT:	— (SINGLE STORY)

LANDSCAPE TABULATIONS

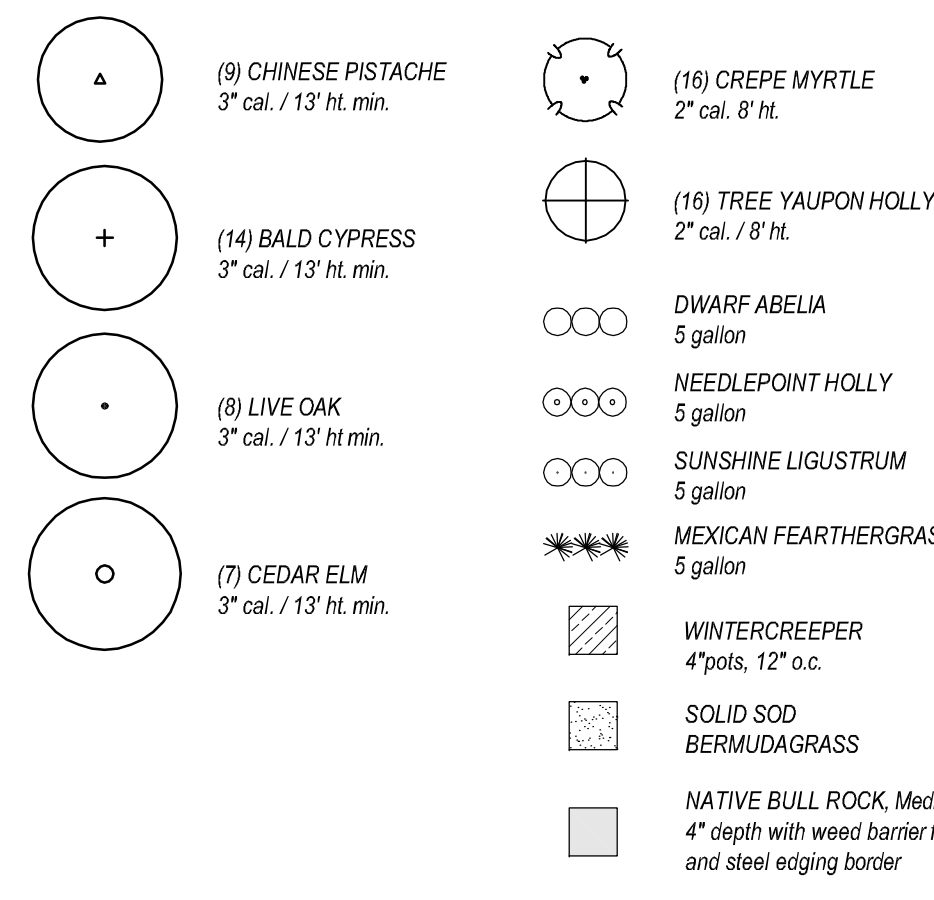
Site Landscape: 3.72 ACRES: 162,081 s.f.
 Requirement:
 Commercial Use: 10% of the net site area to be landscape area.
 Net Site Area: 165,186 s.f. (Building s.f. not included: 16,895 s.f.)
 For every 50 s.f. of required landscape area, one (1) shrub, 5 gal., is required. Up to 50% of the required number of shrubs may be replaced at a rate of ten (10) shrubs equals one (1) tree.

Required	Provided
16,518.6 s.f. (10%) (330) shrubs, 5 gal.	90,046 s.f. (55.6%) (331) shrubs, 5 gal.

Front Yard
 Requirement: 75% of the required landscape to be located in the front yard.

Required	Provided
12,389 s.f. (75%) (284) shrubs, 5 gal. (75%)	12,389 s.f. (75%) (284) shrubs, 5 gal.

GRAPHIC PLANT LEGEND



CASE NUMBER: _____
 DIRECTOR OF PLANNING & DEVELOPMENT: _____
 DATE: _____

01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

REV.	DATE	REMARKS

LANDSCAPE PLAN

CALIBER COLLISION – 5449 COLUMBUS TRAIL
 PORTION OF LOT 8A, BLOCK 13 – SUMMER CREEK STATION
 JOHN W. ASBURY SURVEY, ABSTRACT NO. 52
 THE CITY OF FORT WORTH, TEXAS

BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPE F-12997

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	7/6/21	-	-	097-014 SITE PLAN	L-1

PHASE I (METHOD A)

	Square Feet	Acres
GROSS SITE AREA (S.F.):	162,081 S.F.	3.72 acres
UTILITY RIGHT OF WAYS or EASEMENTS REGULATED BY THE PUBLIC UTILITY COMMISSION AND FLOOD PLAIN EASEMENT	10,454 S.F.	0.141 acres
NET URBAN FORESTRY AREA	151,627 S.F.	3.57 acres
NET URBAN FORESTRY AREA	151,627 S.F.	3.57 acres
LAND USE / CANOPY COVERAGE RATIO COMMERCIAL (30% COVERAGE)	X.30	
ADDITIONAL 5% IF ONLY PROTECTED TREES ARE BEING PRESERVED		
REQUIRED CANOPY COVERAGE	45,489 S.F.	1.044 acres

PHASE II (METHOD A)

	Square Feet	Acres
AREA OR EXISTING PROTECTED TREE CANOPY RETAINED	0 S.F.	0.00 acres
(15) LARGE CANOPY TREES @ 2000 S.F.	30,000 S.F.	0.688 acres
(23) MEDIUM CANOPY TREES @ 700 S.F.	16,100 S.F.	0.369 acres
(32) SMALL CANOPY TREES @ 100 S.F.	3,200 S.F.	0.073 acres
TOTAL PRESERVATION AND PLANTING	49,300 S.F.	1.13 acres

	Square Feet	Acres
PARKING AREAS FOR COMMERCIAL OR INDUSTRIAL USES		
AREA OF PARKING AND DRIVES	37,499 S.F.	0.86 acres
REQUIRED CANOPY OF PARKING AREAS	X.40	
REQUIRED CANOPY COVER	15,000 S.F.	0.344 acres
AREA OF CANOPY COVERAGE BEING PROVIDED	21,400 S.F.	0.49 acres

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

ALL LARGE TREES TO BE SPACED A MIN. 40' O.C.
 ALL MEDIUM TREES TO BE SPACED A MIN. OF 34' O.C.
 SPACING BETWEEN MEDIUM AND LARGE TREES TO BE 24'

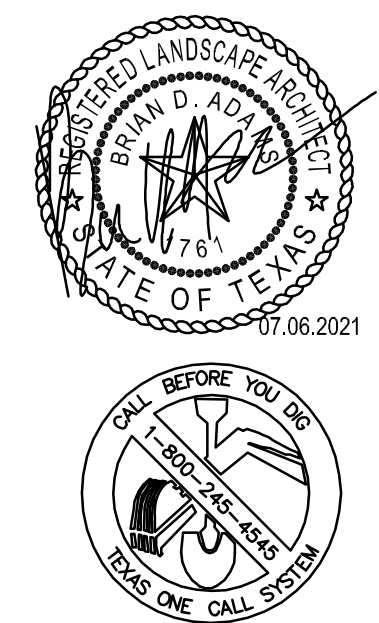
APPLICANT:
 CROSS DEVELOPMENT
 4336 MARSH RIDGE
 CARROLLTON, TEXAS 75010
 PHONE: (214) 614-8252
 CONTACT: HEATHER RIMMER
 EMAIL: HEATHER@CROSSDEVELOPMENT.NET

SURVEYOR:
 DOTSON-THOMPSON-MANSFIELD, PLLC
 20 NE 38TH STREET
 OKLAHOMA CITY, OKLAHOMA 73105
 PHONE: (405) 601-7402
 CONTACT: RANDY MANSFIELD
 EMAIL: RANDY@DTM-OK.COM

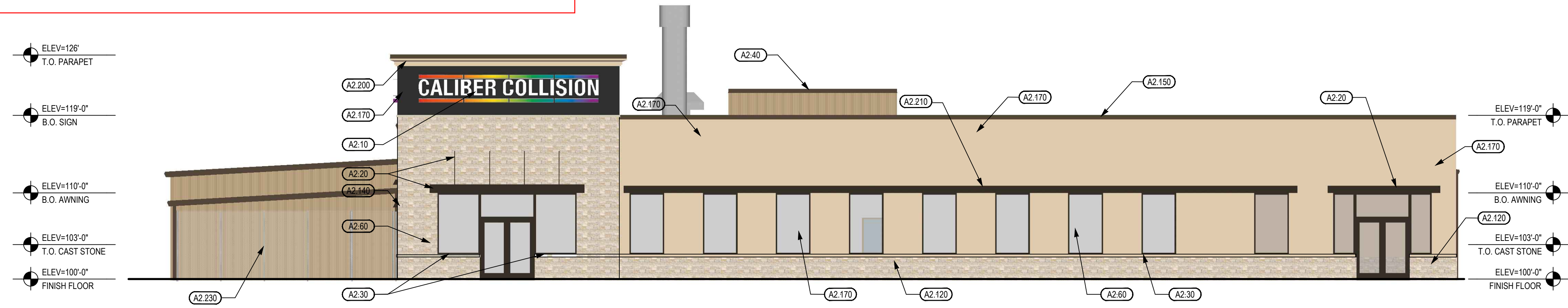
OWNER:
 SUMMER CREEK STATION, LLC
 P.O. BOX 93898
 SOUTHLAKE, TEXAS 76092
 PHONE: (214) 614-8252

ARCHITECT:
 NCA PARTNERS ARCHITECTURE
 5646 MILTON STREET, SUITE 610
 DALLAS, TEXAS 75206
 PHONE: (214) 361-9901 EXT. 133
 CONTACT: AARON VOLBEDIA
 EMAIL: AVOLBEDIA@NCAPARTNERS.COM

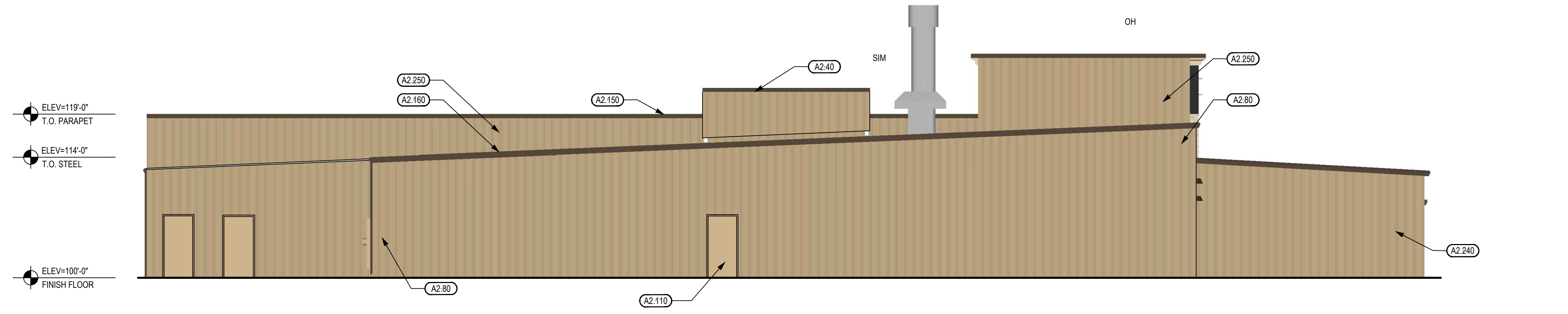
ENGINEER:
 BURGER ENGINEERING, LLC
 TBPE F-12997
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: MBURGER@BURGERENGINEERING.COM



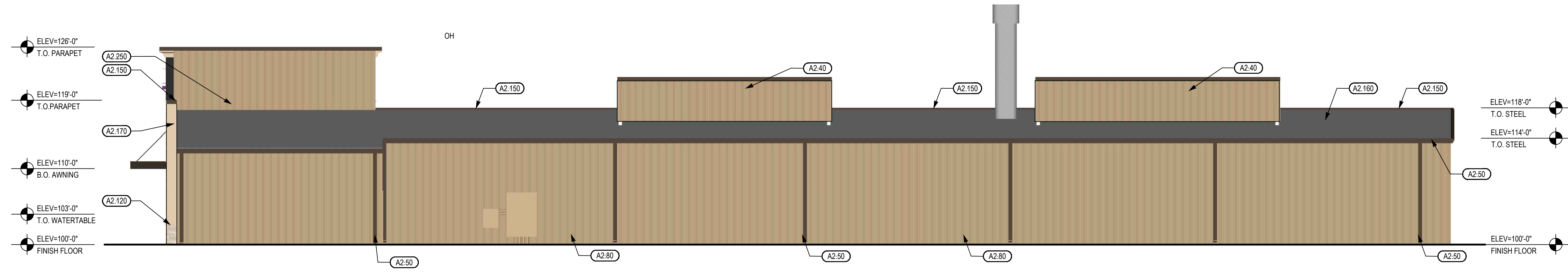
Conceptual Building Elevations



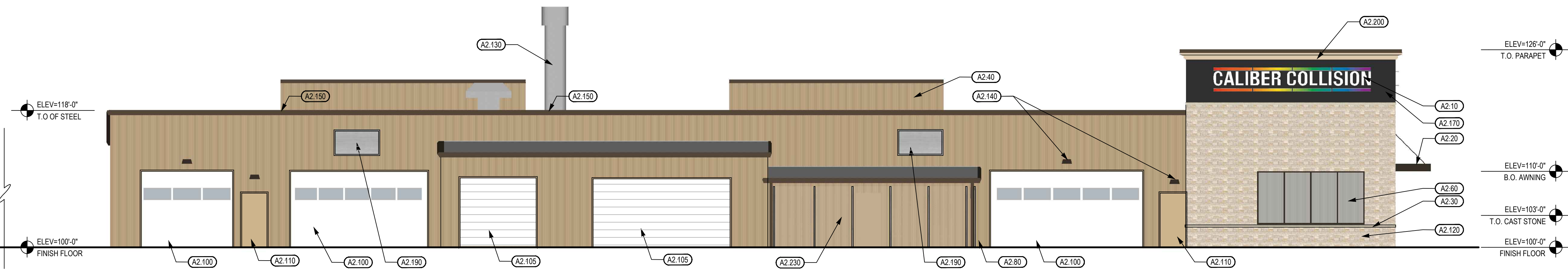
01 WEST ELEVATION
1/8"=1'-0"



02 EAST ELEVATION
1/8"=1'-0"



03 SOUTH ELEVATION
1/8"=1'-0"



04 NORTH ELEVATION
1/8"=1'-0"

COLOR CHART

ST1-NOMADIC DESERT	ST2-TRICORN BLACK	M1-TEXAS CREAM/AUSTIN CREAM
CS1-OFF WHITE/BUCKSKIN	MTL1-SOLAR WHITE	MTL2-BURNISHED SLATE
MTL3-SADDLE TAN	MTL4-GALVALUME	CP1-DARK BRONZE
PT3-NOMADIC DESERT	PT5-URBANE BRONZE	

KEY NOTES

- A2.10** SIGNAGE (BY OTHERS)-PROVIDE 3/4" PLYWD. BACKING (SEPARATE PERMIT)
- A2.20** PRE-MANUFACTURED MTL AWNING WHITE RODS UNLESS SHOWN OTHERWISE. BY GC (PAINT EXPOSED STEEL P5)
- A2.30** SYNTHETIC STONE SILL / WATER TABLE (CS1)
- A2.40** PRE-FIN R PANEL SIDING AT RTU SCREENING (MTL3)
- A2.50** PRE-FINISHED MTL GUTTER AND DOWNSPOUTS (MTL2)
- A2.60** STOREFRONT / GLAZING (AL2)
- A2.70** PAINTED STEEL (PT5)
- A2.80** PRE-FINISHED MTL BUILDING SIDING (MTL3)
- A2.90** PRE-FINISHED MTL BUILDING EAVE RAKE (MTL2)
- A2.100** FACTORY FINISHED SECTIONAL OH DOOR
- A2.105** FACTORY FINISHED COILING OH DOOR
- A2.110** HOLLOW MTL DOOR AND FRAME (PT3)
- A2.120** MANUFACTURED STONE VENEER (M1)
- A2.130** EXHAUST AND AIR INTAKE, REF. PAINT BOOTH SHEETS
- A2.140** WALL MOUNTED LIGHT FIXTURE, REF. MEP
- A2.150** PRE-FINISHED MTL COPING (MTL2)
- A2.160** PRE-FINISH METAL STANDING SEAM ROOFING (MTL1)
- A2.170** 3-STEP STUCCO INTEGRATED COLOR (ST1 OR ST2 PRE SCHED)
- A2.180** CONTROL JOINT
- A2.190** WALL LOUVER, (CLEAR ANODIZED FINISH) REF. MEP
- A2.200** SYN STUCCO CORNICE (ST1)
- A2.210** PRE-FAB CANTILEVERED EYEBROW CANOPY BY G.C. (CP1)
- A2.220** NOT USED
- A2.230** CHAINLINK FENCE W/PRIVACY SLATS 8'-0" A.F.F.(REF TO SP.1.1 FOR SIMILAR)
- A2.240** PRE-FIN MTL SIDING AT WASH BAY SIDE WALLS (MTL3)
- A2.250** PRE-FIN R PANEL SIDING AT PARAPET REAR (MTL3)
- A2.260** NOT USED
- A2.270** SIDE WALL RETURN- MATCH MATERIAL FINISHES ON ADJACENT SIDE

DATE	DESCRIPTION

NCA Partners
ARCHITECTURE

5646 MILTON ST.
SUITE 610
DALLAS, TX 75206
214.361.9901
214.361.9906 FAX
ncapartners.com

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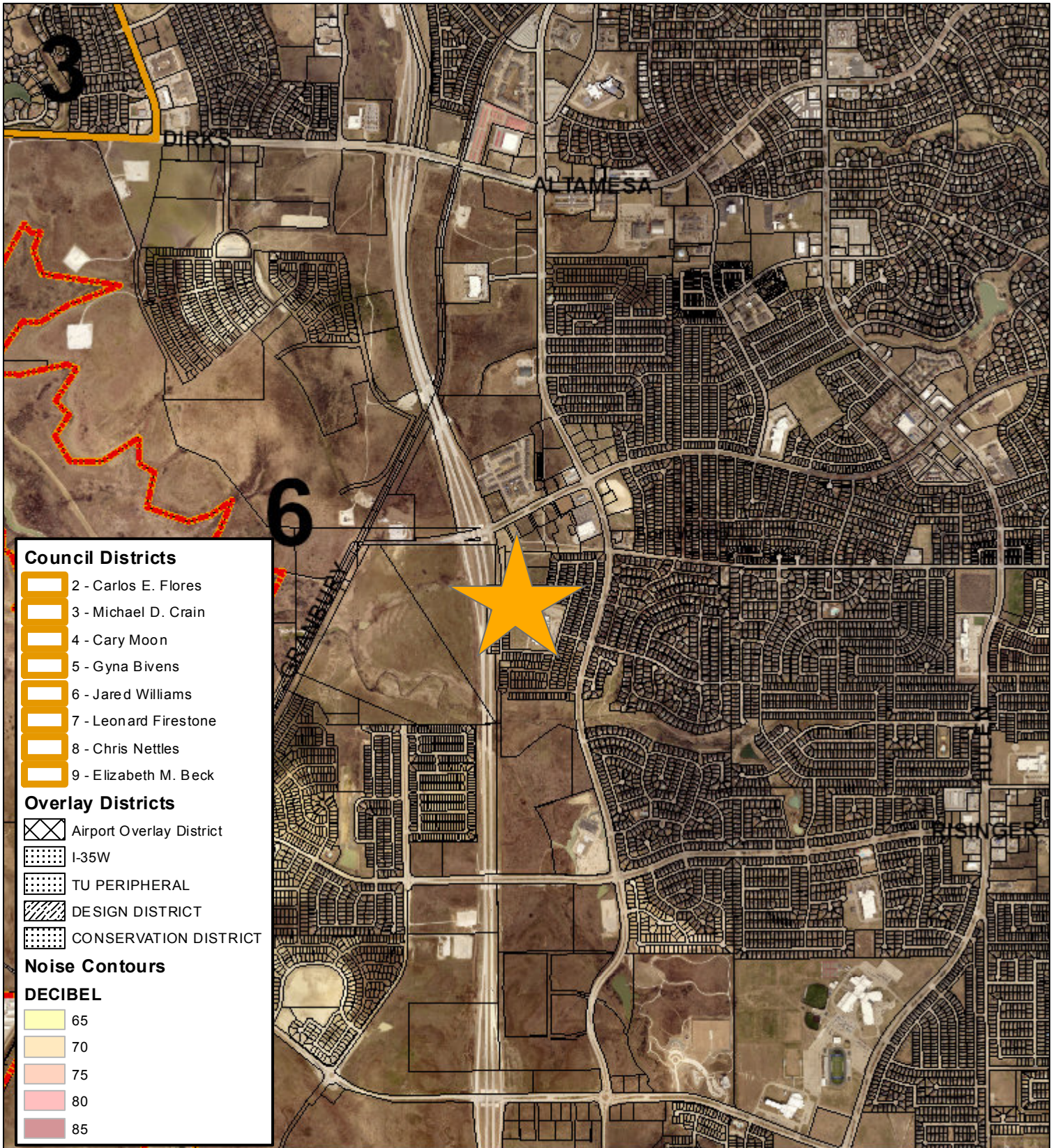
CALIBER COLLISION
FORT WORTH, TX
CHISHOLM TRAIL
CC PROTO 161_2021-03

PRELIMINARY
THIS DOCUMENT SHALL NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. RELEASED UNDER THE AUTHORITY OF NICHOLAS K. CADE, TBAE LICENSE #9301

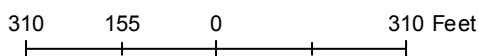
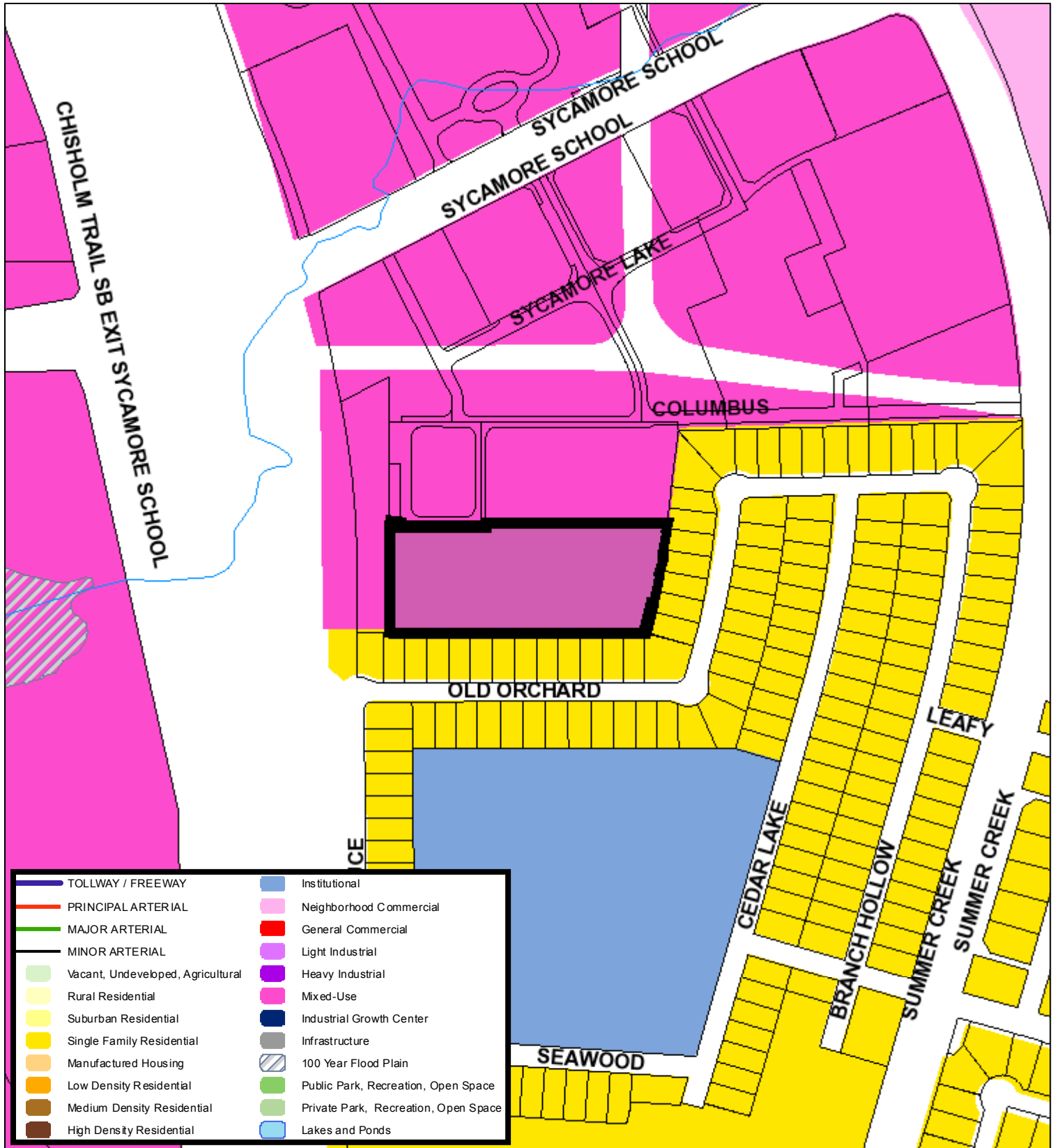
COLOR ELEVATIONS

F1.0

Area Map



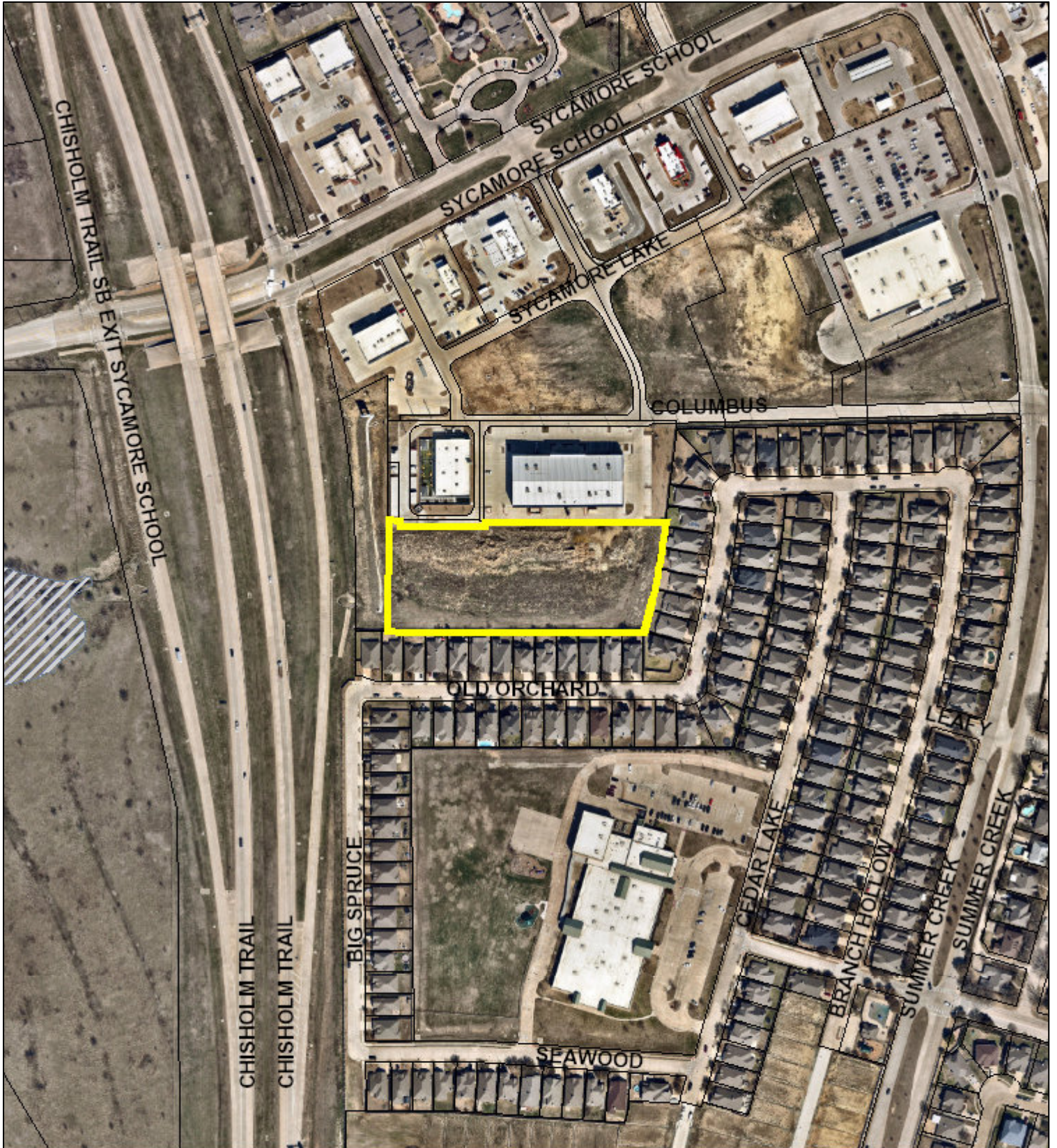
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 195 390 780 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-148

Council District: 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Espire Enterprises, LLC / Mary Nell Poole, Townsite

Site Location: 5220 East Lancaster Avenue

Acreage: 1.12 acres

Request

Proposed Use: Apartments

Request: From: "E" Neighborhood Commercial

To: "C" Medium Density Multifamily

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The applicant is proposing to build apartments on this site. The location of the site is on the south side of East Lancaster Avenue, between Tierney Road and East Loop 820. The applicant requested a 30-day continuance at the previous Zoning Commission meeting in order to meet with neighborhood groups.

The project would need to meet the minimum standards for “C” zoning, included below:

“C” District, Multifamily Development	
Open space	45% minimum
Units per acre	24 maximum
Front yard*	20 feet minimum
Rear yard	5 feet minimum
Side yard*	
Interior lot	5 feet minimum
Corner lot **	20 feet minimum adjacent to side street
Setback adjacent to one- or two-family residential district ***	Three feet for every one foot (3:1) as measured from slab to top of sill plate, or two feet for every one foot (2:1) in overall height when measured from lowest finished grade to the peak of the roof, whichever is greater; 30 feet minimum 1:1 setback with a 10-foot minimum setback for one-story garages and carports 20-foot minimum setback for dumpster enclosures and one-story accessory structures
Height	36 feet maximum, slab to top plate (see Chapter 6 , Development Standards, § 6.100, Height)
Notes:	
* May be subject to projected front yard (see Chapter 6 , Development Standards, § 6.101(f), Yards). Paving shall not be permitted between the building face and street and must	
** May be subject to other front, side and rear yard setback requirements (see Chapter 6 , Development Standards, § 6.101(d), Yards).	
*** A five-foot bufferyard and minimum six-foot screen fence shall be placed on the property line and should be landscaped per point system, see § 6.300 (b), (d), (f), (g). This one- or two-family district is used for utilities, waterways, railroads or other nonresidential public use or separated by a public right-of-way of at least 300 feet in width.	

Surrounding Zoning and Land Uses

East “E” Neighborhood Commercial / mobile home park
 South “A-5” One Family / residential
 West “C” Medium Density Multifamily / apartments

Recent Zoning History

- ZC-11-030: City Council-initiated zoning change request intended to align the existing land uses and zoning. Approved by City Council on April 5, 2011.

Public Notification

300-foot Legal Notifications were mailed on August 23, 2021.
 The following organizations were emailed on August 23, 2021:



Organizations Notified	
Neighborhoods of East Fort Worth	Fort Worth ISD
Central Meadowbrook NA*	Handley NA
Streams And Valleys Inc	Trinity Habitat for Humanity
East Fort Worth, Inc.	Historic Handley Development Corporation
Southeast Fort Worth Inc	East Fort Worth Business Association

* Located closest to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The adjacent surrounding land uses are primarily residential, ranging from standard garden apartments on the west, mobile homes to the east, and larger lot single-family to the south. An unimproved portion of Panola Avenue right-of-way abuts the southern boundary of the site. With current bus routes on the Lancaster Avenue corridor, and future plans to expand transit capacity, this site would be highly attractive for the development of higher density residential and/or workforce housing.

The proposed zoning change **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2021 Comprehensive Plan currently designates the subject property as future Neighborhood Commercial. Neighborhood Commercial accommodates multifamily residential, like the current proposal.

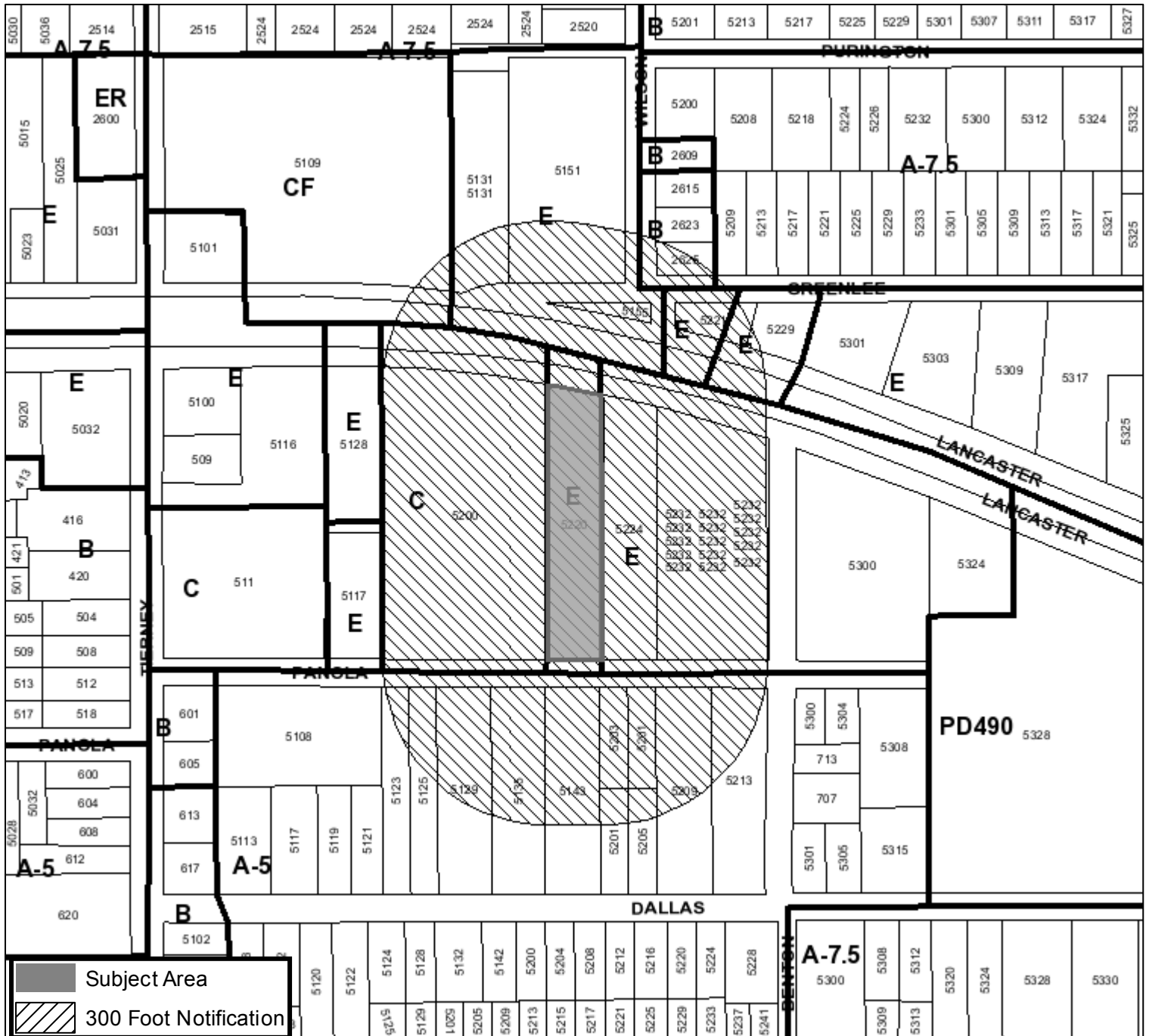
LAND USE AND ZONING CLASSIFICATIONS



LAND USE	DEFINITION	ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
High Density Residential	>36 units/acre multifamily, mixed-use multifamily in growth centers	UR, MU-1, MU-2, Form-Based Codes
Institutional	Schools, churches, government, human services, utilities, community centers, day cares	Schools and Churches: ALL Others: CF
Urban Residential	Higher density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

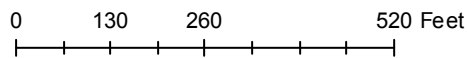
The proposed zoning **is consistent** with the Comprehensive Plan Future Land Use designation. If this zoning change request is approved, staff recommends that the Future Land Use Map be updated to reflect this change.

Area Zoning Map

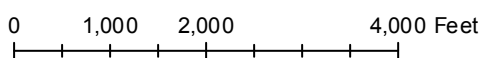
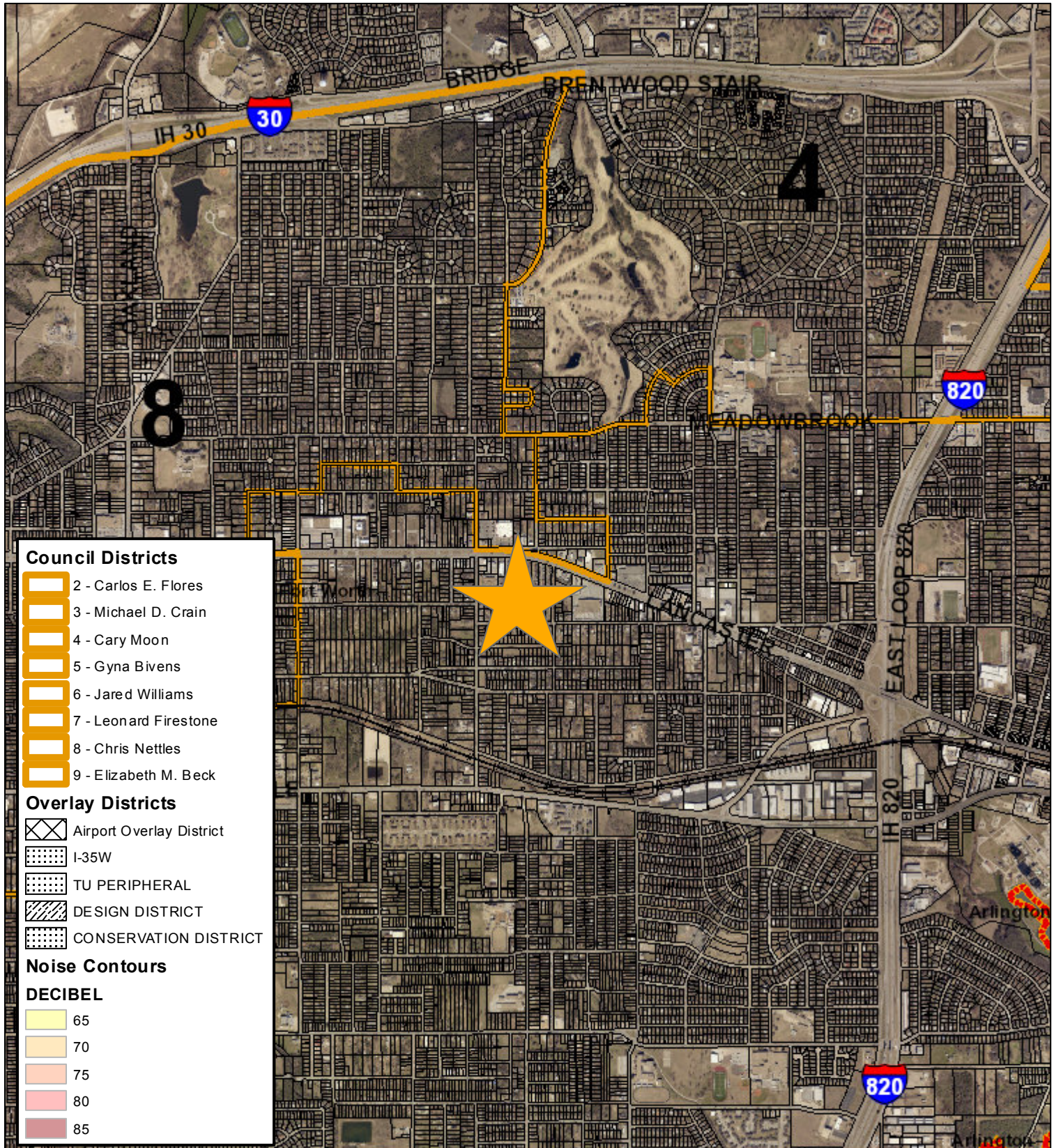
Applicant: Espire Enterprises, LLC
 Address: 5220 E. Lancaster Avenue
 Zoning From: E
 Zoning To: C
 Acres: 1.1231779
 Mapsco: 79F
 Sector/District: Eastside
 Commission Date: 9/8/2021
 Contact: null



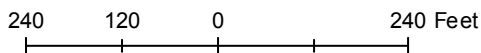
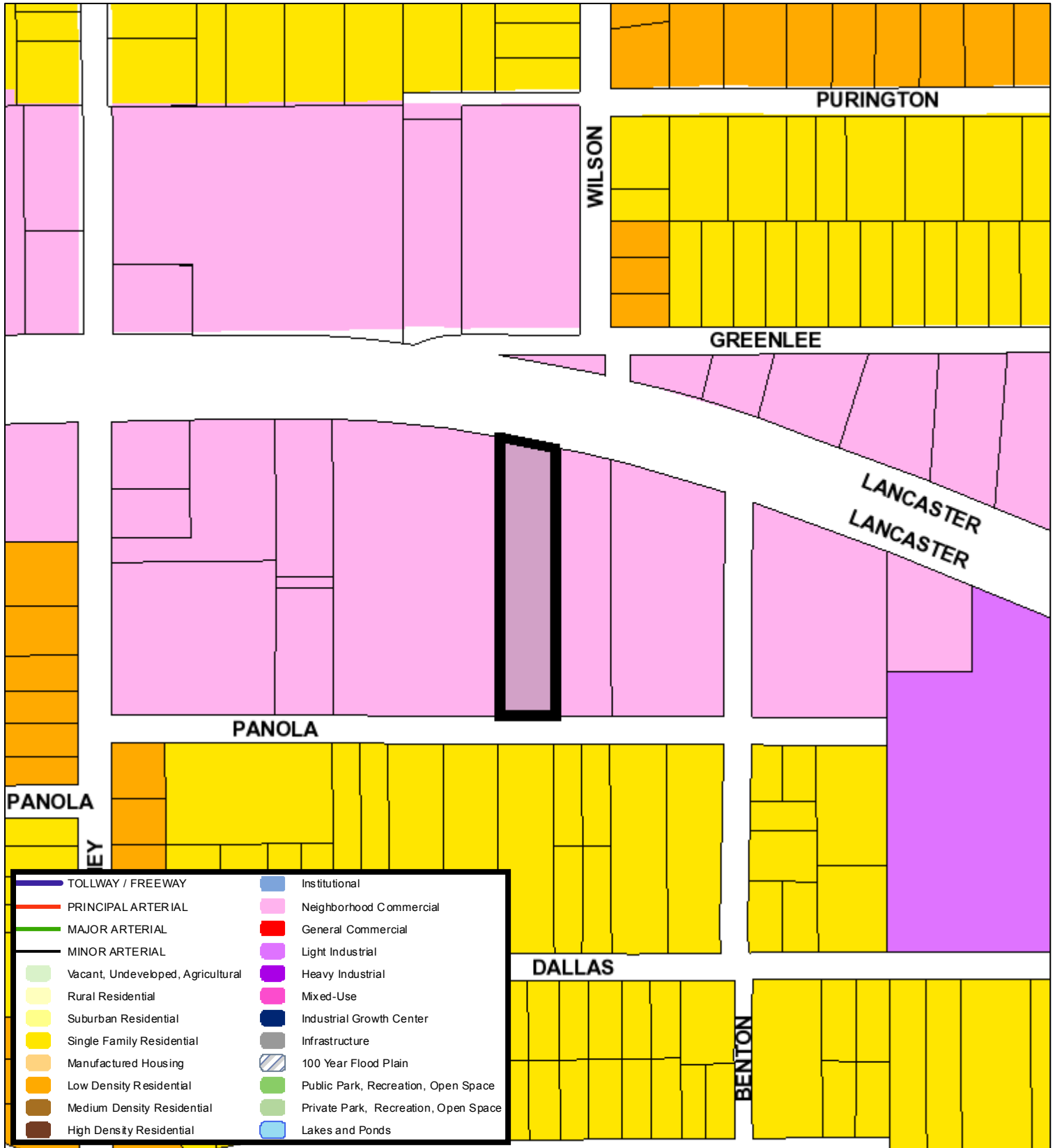
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 150 300 600 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-149

Council District: 8

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Espire Enterprises, LLC / Mary Nell Poole, Townsite

Site Location: 712 Elmwood Avenue

Acreage: 0.778 acres

Request

Proposed Use: Townhomes

Request: From: “J” Medium Industrial

To: “UR” Urban Residential

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

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 - b. [Comprehensive Plan Consistency](#)
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7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The current owner is proposing to construct townhome residences on this site, which is currently undeveloped. Surrounding streets are Elmwood Avenue, Jefferson Avenue, and the one-way southbound frontage road of Interstate 35W. The townhomes would be for sale rather than rental properties. The intent is to provide housing that will serve the nearby medical cluster to the west. The case was previously before the Zoning Commission in September, and the applicant requested a 30-day continuance in order to refine the legal description.

Surrounding Zoning and Land Uses

North “FR” General Commercial Restricted / bakery
East “J” Medium Industrial / Interstate 35W & frontage road
South “J” Medium Industrial / auto body repair shop
West “J” Medium Industrial / duplex
“B” Two-Family / residence

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 24, 2021:

Organizations Notified	
United Communities Association of South Fort Worth	Fort Worth ISD
Southeast Fort Worth Inc	Morningside NA*
Streams And Valleys Inc	Trinity Habitat for Humanity
Near Southside, Inc	

* Located closest to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The proposed townhome site is cut off from major north-south corridors (Hemphill/Main) to the west by two (2) sets of railroad tracks and the Ney Yard (UP Railroad). The zoning is currently "J" Medium Industrial, and other than an auto body & paint shop one (1) block to the south there are very few industrial uses in the vicinity.

The area is mostly residential in character, despite the industrial zoning classification. Housing stock is primarily older single family houses in need of repair, some have been converted to duplexes. There are several churches in the immediate neighborhood and across Interstate 35W in the Morningside area.

There is transit access on East Allen Avenue one (1) block to the north, which features sidewalks and provides bus access (Trinity Metro routes 4, 5A, and 5B). The site is not in a highly walkable area due to the one way service road, but is within half a mile walk to the Medical District/JPS Hospital. It is likely that the site will be exposed to above average noise levels due to adjacency to Interstate 35W and two (2) main line railroads.

The proposed zoning change **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

The 2021 Comprehensive Plan currently designates the subject property as future Single Family Residential. This is analogous to but not the same as “A-5”, “A-7.5”, “A-10”, and “AR” zoning. Both Urban Residential zones and Single Family residential zones are both of a similar residential nature. The primary difference is the density.

Investment in new housing brought about by this zoning change has the potential to spur additional residential development in this neighborhood, which aligns with the vision of the Comprehensive Plan for this area.

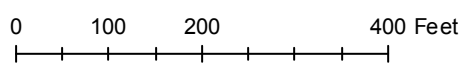
The following Comprehensive Plan policies specific to the Southside sector are applicable in this case:

5. *Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.*
7. *Encourage infill of compatible housing.*
12. *Encourage office and high density residential uses which will support area commercial uses.*

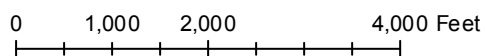
The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

Area Zoning Map

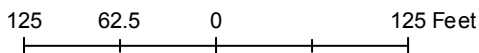
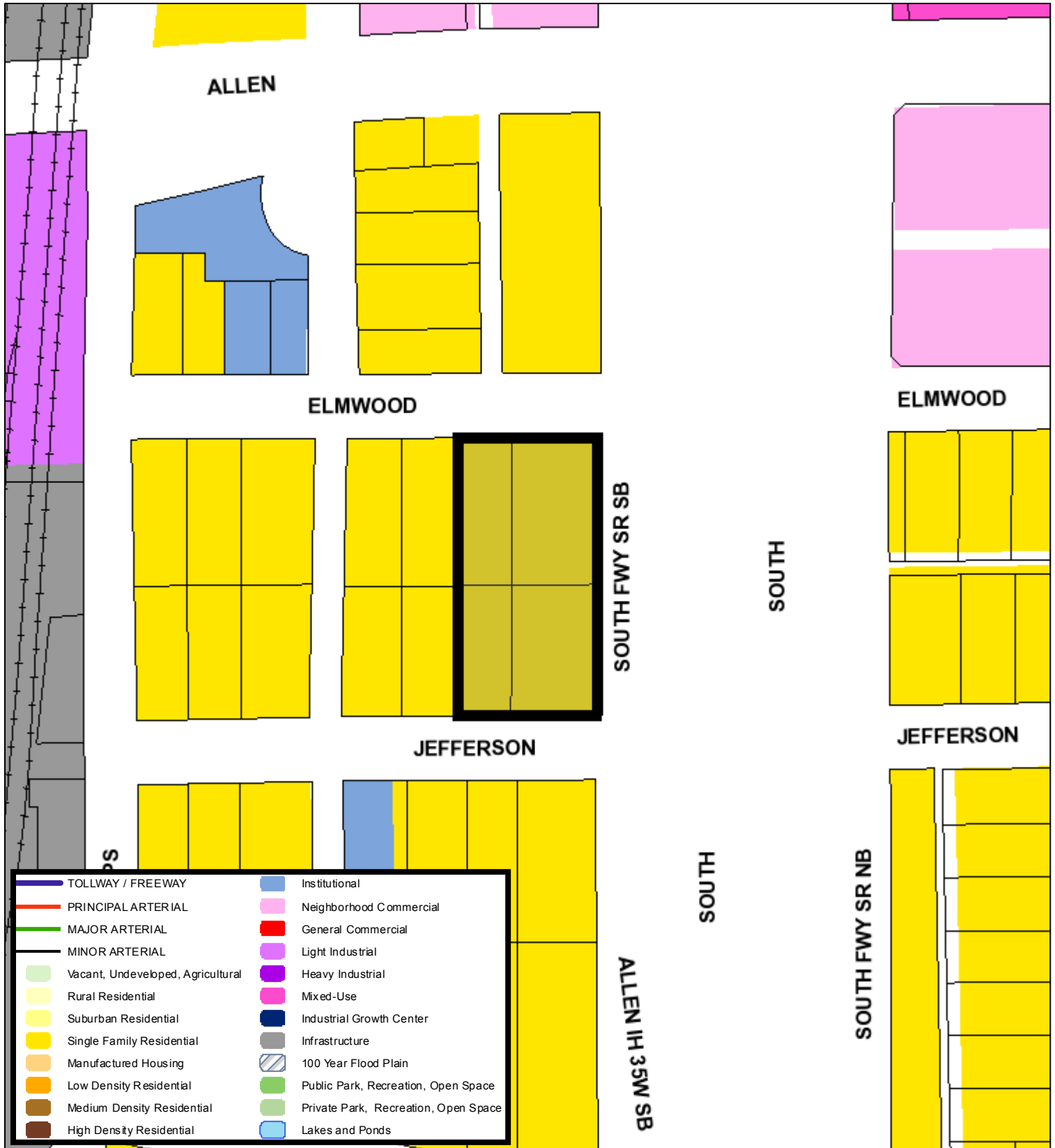
Applicant: Espire Enterprises, LLC
 Address: 708, 712 Elmwood & 709, 713 Jefferson Avenues
 Zoning From: J
 Zoning To: UR
 Acres: 0.77774355
 Mapsco: 77P
 Sector/District: Southside
 Commission Date: 10/13/2021
 Contact: 817-392-8043



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 75 150 300 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: SP-21-021

Council District: 7

Site Plan

Case Manager: [Brett Mangum](#)

Owner / Applicant: Steve McKeever, NTP35 LP / Chris Biggers, Dunaway Associates

Site Location: North side of Hwy. 287, south of North Tarrant Pkwy. **Acres:** 8.52 acres

Request

Proposed Use: Add required Site Plan for PD1302

Companion Case: n/a

Request: From: PD1302 (PD/UR)

To: Add Site Plan to PD 1302 for “UR” Urban Residential uses

Recommendation

Staff Recommendation: **Approval**

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9. Aerial Photograph
10. Site Plan

Project Description and Background

The site is located at the convergence of North Freeway (Interstate I-35W), US Highway 287, and North Tarrant Parkway. This triangle of land is envisioned as a larger mixed-use development called “North City”.

PD1302 is the Urban Residential area of the proposed North City development, encompassing 31.51 acres total and approximately five blocks of buildable sites. The applicant is now submitting a site plan to cover one of these blocks which is approximately 8.5 acres.

City Council approved the current zoning (PD 1302) on February 23, 2021. A Site Plan was not presented at the time, but was required to be submitted at a later date. The Site Plan was previously before the Zoning Commission in September, when the applicant requested a 30-day continuance. All previous City comments have been addressed and the Site Plan has been revised & resubmitted by the applicant.

Surrounding Zoning and Land Uses

North “I” Light Industrial / furniture sales
East “G” Intensive Commercial / undeveloped
South “G” Intensive Commercial / Highway 287 & undeveloped
West “PD 1301-MU2” Planned Development-Mixed Use High Intensity / undeveloped

Recent Zoning History

- ZC-15-158 “AG” to “I” approved by City Council Jan. 12, 2016
- ZC-19-173 “I” to “UR/G” approved by City Council Feb. 4, 2020
- ZC-20-171 “UR/G” to “PD/UR” Site Plan Required approved by City Council Feb. 23, 2021

Public Notification

300-foot Legal Notifications were mailed on August 23, 2021.
The following organizations were emailed on August 23, 2021:

Organizations Notified	
North Fort Worth Alliance	Chisholm Ridge HOA*
Trinity Habitat for Humanity	Streams and Valleys Inc
Northwest ISD	Keller ISD
Eagle Mountain-Saginaw ISD	West Fork Ranch HOA*

**These Neighborhood Associations are located closest to the subject property*

Site Plan Comments

Zoning and Land Use

(all previous comments cleared)

- ~~As of the writing of this report, the main area of concern is undersized parking spaces (9'x16' for most spaces facing the buildings, approximately 20% of the total parking).~~
- ~~Based on the Site Plan submitted, staff was not able to determine compliance with requirements for: street trees, pedestrian lighting, parking lot landscaping, dumpster enclosure, and rooftop screening.~~
- ~~The applicant has the option to withdraw the Site Plan case and file a rezoning application instead, in order to modify the development standards to make the Site Plan (as designed) comply with the zoning ordinance (PD1302).~~
- ~~Alternately, if the Site Plan were to be redesigned to be aligned with the approved zoning and development standards, staff would be more supportive of recommending approval of the Site Plan.~~

Transportation and Public Works

(all previous comments cleared)

- ~~Parking spaces near intersection of Platinum & North City will need to be revisited. 100' throat required at intersections for safety/clearance.~~
- ~~2 full ingress egress points required.~~
- ~~Parking spaces along Platinum & North City will need to be wholly contained in a dedicated public access easement.~~
- ~~Sidewalks along Platinum & North City may need to be up to 1.5' wider to accommodate potential vehicle overhang onto sidewalks.~~

Fire, Park & Recreation, Water Departments:

- No comments received

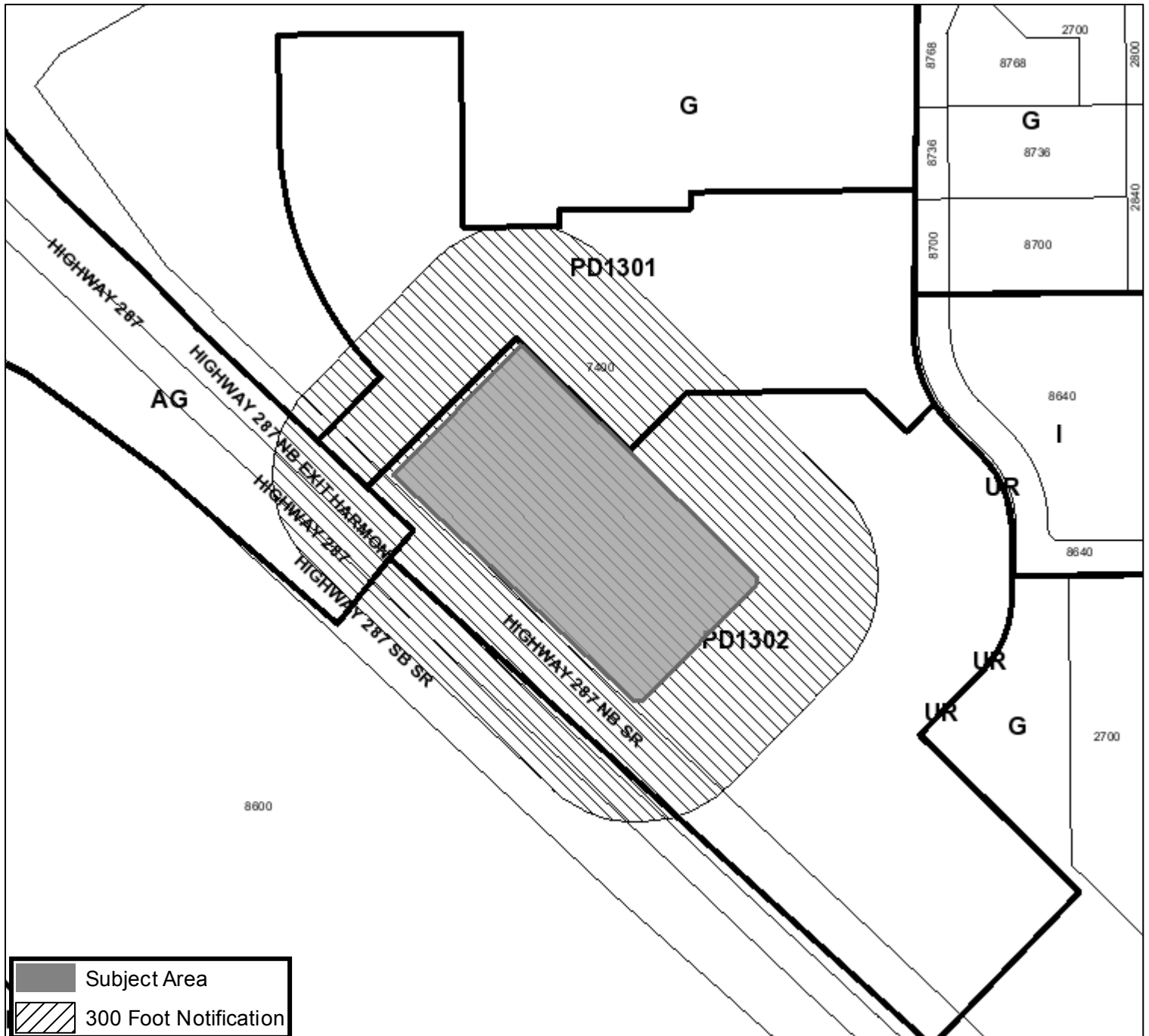
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)





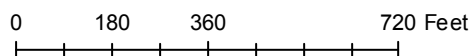
SP-21-021

Area Zoning Map

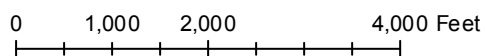
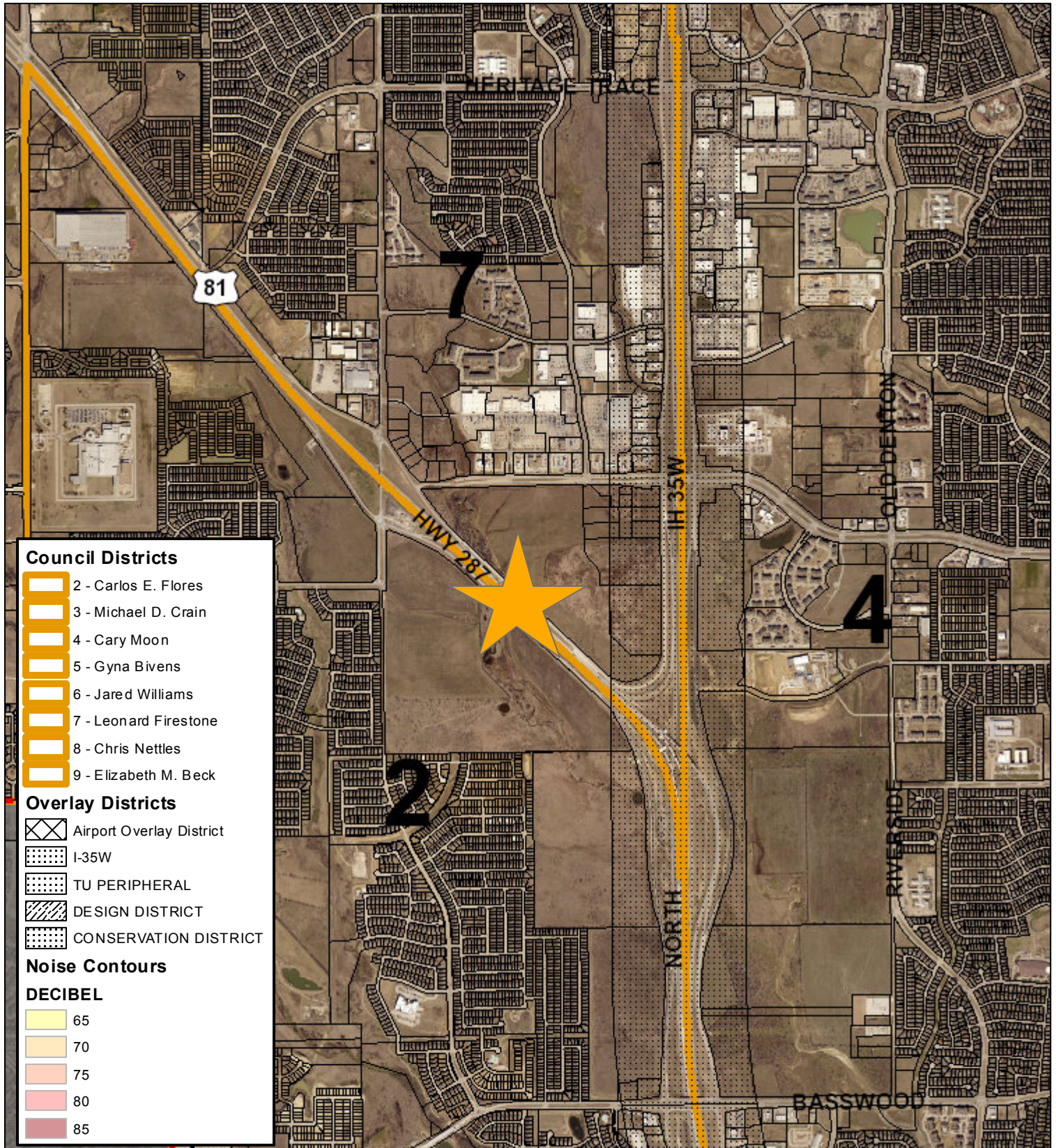
Applicant: NTP35 LP
 Address: 7900 - 8700 blocks NW Highway 287 (north side)
 Zoning From: PD 1302 for UR uses
 Zoning To: Site Plan for multifamily
 Acres: 8.52100187
 Mapsco: 35EF
 Sector/District: Far North
 Commission Date: 9/8/2021
 Contact: null



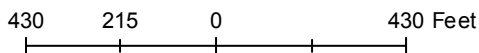
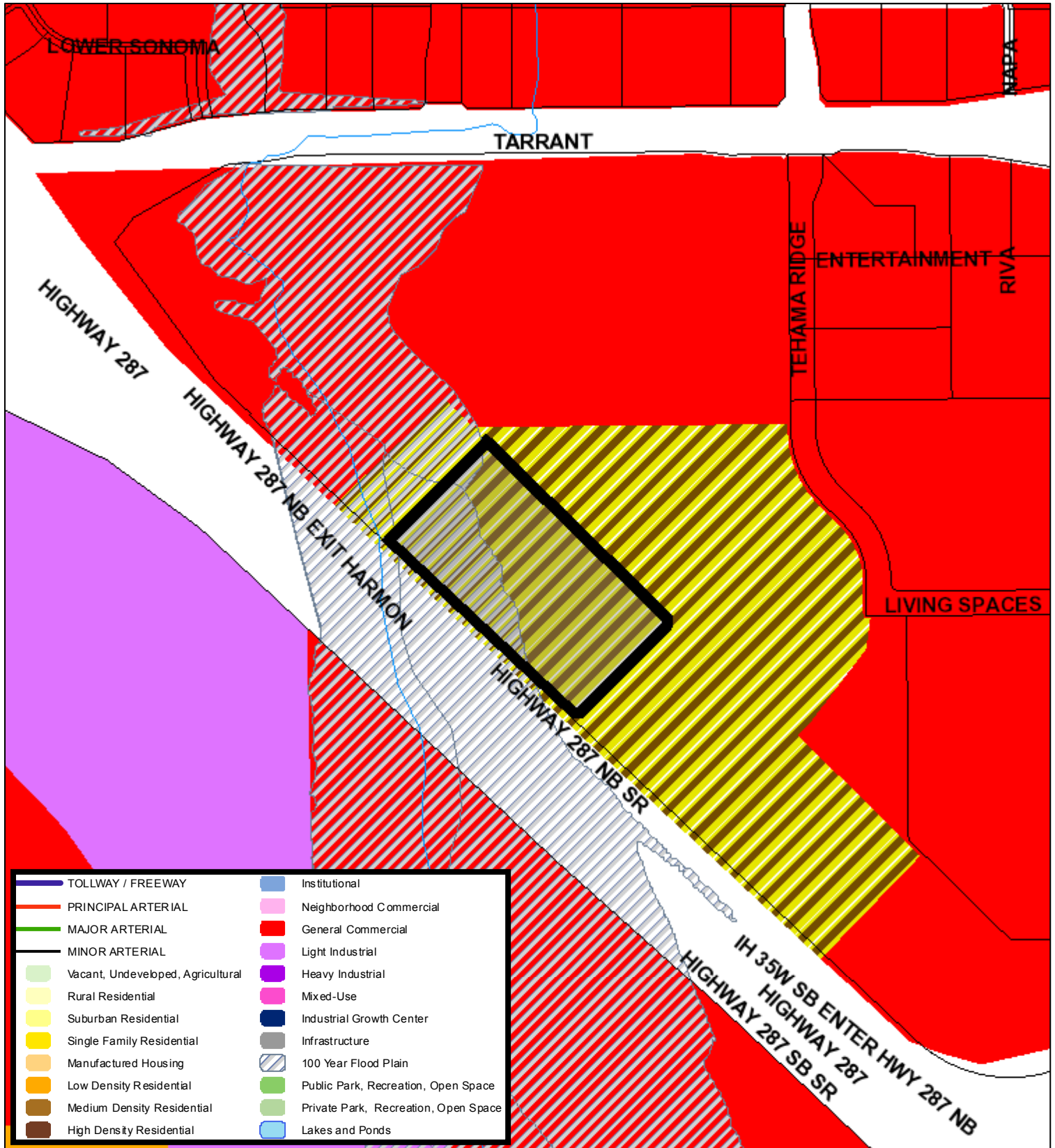
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.

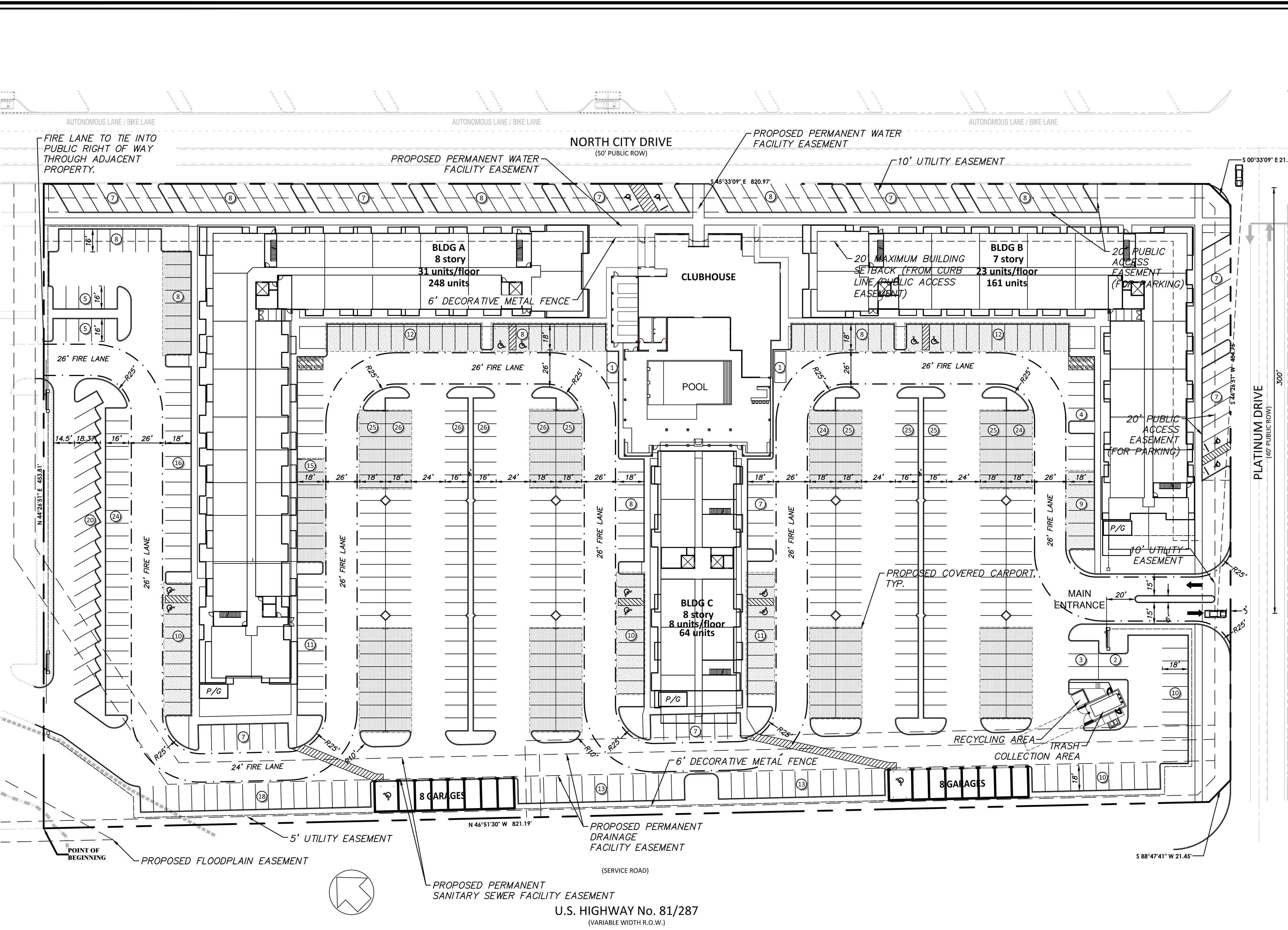


Aerial Photo Map



0 270 540 1,080 Feet





SITE LEGEND	
(---)	PROPERTY BOUNDARY
(- - -)	BUILDING SETBACK
(- - -)	YARD SETBACK
(- - -)	EASEMENT
(---)	FIRE LANE
(---)	PROPOSED CURB
(---)	PROPOSED FENCE
(---)	PARKING COUNT
(#)	COVERED CARPORT
OPEN SPACE	
NET USEABLE AREA	371,181 SF / 8.52 ACRES
OPEN SPACE PROVIDED PER THIS PLAN	8% / 29,922 SF

- NOTES:
- ALL SIGNAGE WILL CONFORM WITH THE WAIVER GRANTED BY CITY COUNCIL IN ORDINANCE 24717-02-2021
 - LIGHTING WILL CONFORM WITH THE CITY OF FORT WORTH LIGHTING CODE.
 - LANDSCAPING WILL COMPLY WITH THE WAIVER GRANTED BY CITY COUNCIL IN ORDINANCE 24717-02-2021
 - DUMPSTER ENCLOSURE WILL COMPLY WITH WAIVER GRANTED BY CITY COUNCIL IN ORDINANCE 24717-02-2021
 - STREET TREES AND PEDESTRIAN LIGHTING WILL COMPLY WITH WAIVER GRANTED BY CITY COUNCIL IN ORDINANCE 24717-02-2021
 - ROOFTOP SCREENING WILL COMPLY WITH WAIVER GRANTED BY CITY COUNCIL IN ORDINANCE 24717-02-2021
 - HIGHWAY 287 FRONTAGE ROAD IS CONSIDERED REAR YARD FOR ALL REVIEW PURPOSES.
 - ALL PARKINGS STALLS SHALL MEET THE MINIMUM DIMENSIONS LISTED IN SECTION 6.202.A OF THE ZONING ORDINANCE

BUILDING A		BUILDING B	
NUMBER OF BUILDINGS	1	NUMBER OF BUILDINGS	1
HEIGHT	96'	HEIGHT	86'
STORIES	8	STORIES	7
BUILDING FOOTPRINT AREA	31,000 SF	BUILDING FOOTPRINT AREA	25,500 SF
TOTAL BUILDING AREA	250,000 SF	TOTAL BUILDING AREA	200,500 SF
BUILDING C		CLUBHOUSE/LEASING OFFICE	
NUMBER OF BUILDINGS	1	NUMBER OF BUILDINGS	1
HEIGHT	96'	HEIGHT	38'
STORIES	8	STORIES	1
BUILDING FOOTPRINT AREA	10,500 SF	BUILDING FOOTPRINT AREA	6,700 SF
TOTAL BUILDING AREA	90,000 SF	TOTAL BUILDING AREA	6,700 SF

TOTAL BUILDINGS	
NUMBER OF BUILDINGS	4
HEIGHT (MAX)	96'
STORIES (MAX)	8
BUILDING FOOTPRINT AREA	73,700 SF
TOTAL BUILDING AREA	547,200 SF

PARKING INFORMATION	
PROPOSED UNIT COUNT	473
REQUIRED PARKING	1.45 SPACES PER UNIT
PARKING PROVIDED	672
DETACHED GARAGES	
TOTAL PARKING PROVIDED	
688	
SITE INFORMATION	
GROSS LOT AREA (SF)	371,181
(AC)	8.521
GROSS DENSITY (DU/AC)	55.5
ZONING DISTRICT	PD 1302
PROPOSED USE	MULTI-FAMILY
	UR - PD

DUNAWAY
 550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
 Tel: 817.335.1121
 (TX REG. F-1114)

CIVIL ENGINEER:
 DUNAWAY ASSOCIATES, L.P.
 550 BAILEY AVE.
 STE. 400
 FORT WORTH, TX 76107
 PHONE: (817) 287-8814
 CONTACT: CHRIS BIGGERS
 EMAIL: cbiggers@dunaway.com

DEVELOPER/APPLICANT:
 AHS RESIDENTIAL
 12895 SW 132ND STREET
 MIAMI, FL 33186
 (786) 613-2696
 CONTACT: MARIANA MESQUITA PAES

OWNER
 NTP35, LP
 2525 RIDGMAR BLVD.
 STE 440
 FORT WORTH, TX 76116
 (817) 236-6100
 CONTACT: STEVE MCKEEVER

SURVEYOR
 GOODWIN & MARSHALL
 2405 MUSTANG DR.
 GRAPEVINE, TX 76051
 (817) 329-4373

DIRECTOR OF DEVELOPMENT SERVICES
 DATE

PD 1302 PLANNED DEVELOPMENT SITE PLAN
 AHS (NORTH CITY) MULTIFAMILY
 NEC US 287 AND PLATINUM DRIVE



Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-119

Council District: 3

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Robert L. Dow, Third Peak LP, Silver Creek Materials

Site Location: 1900-2400 Silver Creek Road

Acreage: 26.17 acres

Request

Proposed Use: Industrial

Request: From: “AG” Agricultural

To: “I” Light Industrial

Recommendation

Land Use Compatibility: Requested change **is compatible.**

Comprehensive Plan Consistency: Requested change **is consistent.**

Staff Recommendation: **Approval**

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The proposed site is located on Silver Creek Road west of IH-820. The applicant would like to rezone the property from “AG” Agricultural to “I” Light Industrial. The site is currently being used as the entry and access area to mulch, compost, aggregate, sand and gravel materials business. The applicant would like to rezone in order to allow for an entry monument sign and to bring the zoning more in line with what is being done in the area. Surrounding uses are currently vacant with areas of single-family zoned property to the south, east, and west. The existing business has been in operation since 1983 and the proposed industrial zoning is appropriate at this location.

Surrounding Zoning and Land Uses

North “AG” Agriculture / vacant/agriculture

East “A-10” One-Family / vacant

South Unzoned (ETJ), “A-10” One-Family, “AG” Agriculture / vacant, industrial

West “A-21” One-Family / vacant

Recent Zoning History

- ZC-05-068; ZC-05-121; ZC-05-124; ZC-05-224; ZC-05-225; ZC-05-227: rezoned to “A-21” One-Family & “A-10” One-Family.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
NA on South Lake Worth	Streams and Valleys Inc
Trinity Habitat for Humanity	NAS Fort Worth JRB RCC*
Fort Worth ISD	White Settlement ISD

* *This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “AG” Agricultural to “I” Light Industrial. Surrounding property are largely vacant with industrial land southwest of the site. The applicant would like to rezone the property in order allow for larger signs and bring the entry and access to Silver Creek Materials into conformance with industrial zoning standards.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far North

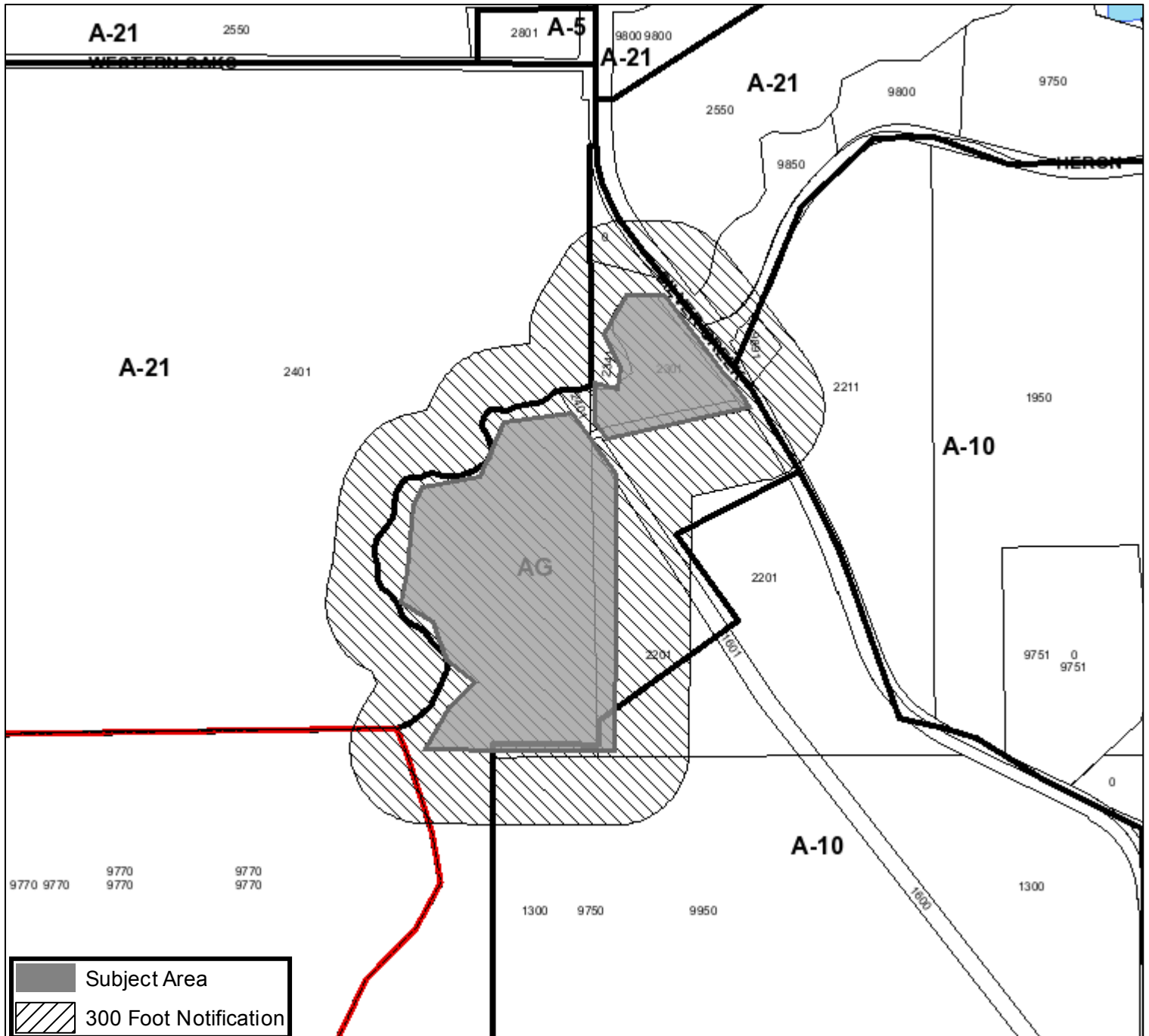
The 2021 Comprehensive Plan currently designates the subject property as Heavy and Light Industrial. The proposed zoning is consistent with the land use designation of the Comprehensive Plan and aligns with the policies below.



- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations

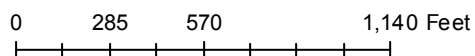
Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

Area Zoning Map

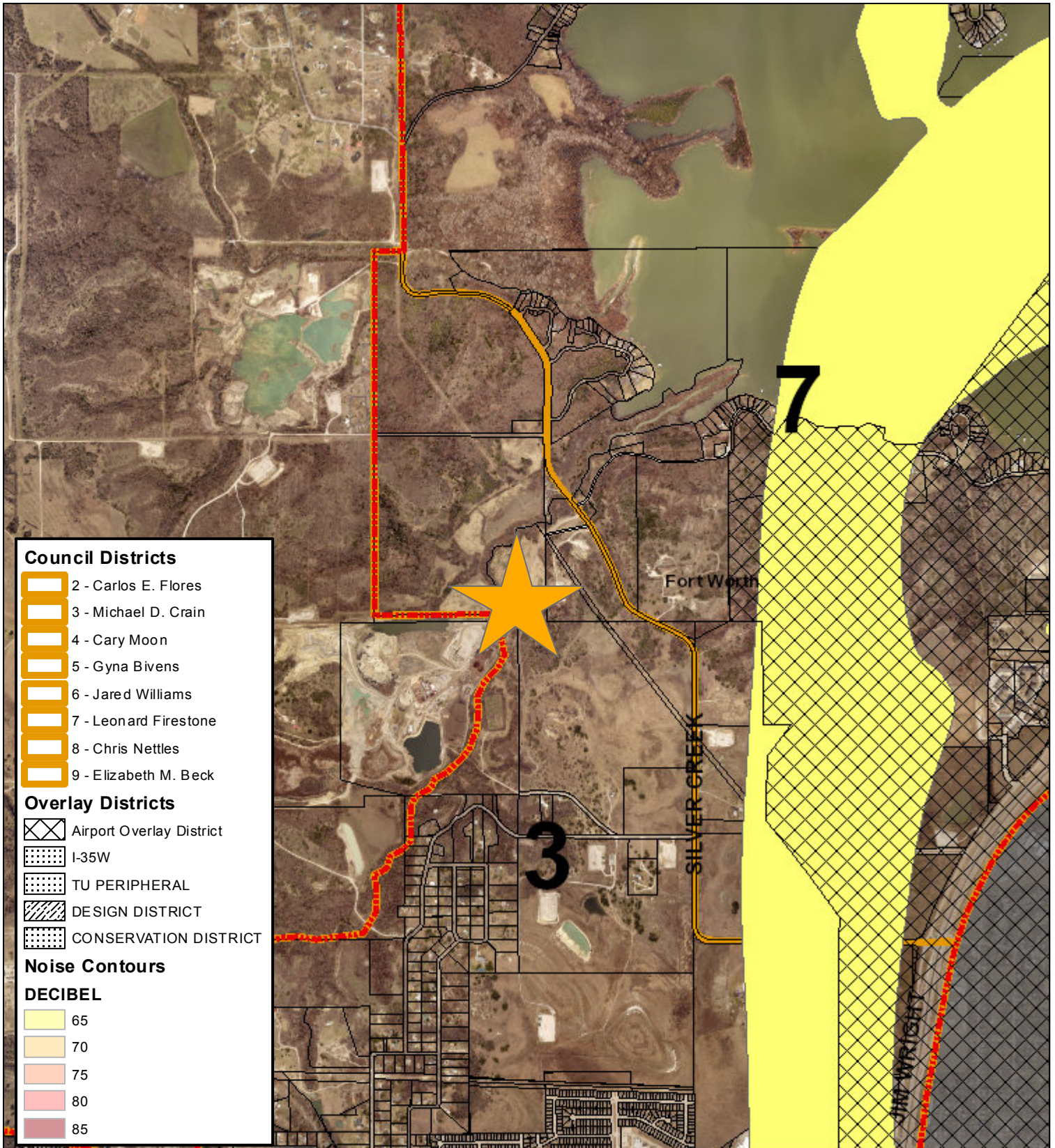
Applicant: Robert Dow/Third Peak/Silver Creek Materials
 Address: 1900 - 2400 blocks Silver Creek Road
 Zoning From: AG
 Zoning To: LI
 Acres: 26.17156284
 Mapsco: 58G
 Sector/District: Far West
 Commission Date: 10/13/2021
 Contact: 817-392-6226




	Subject Area
	300 Foot Notification








Area Map








Council Districts

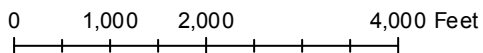
-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

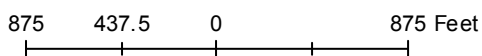
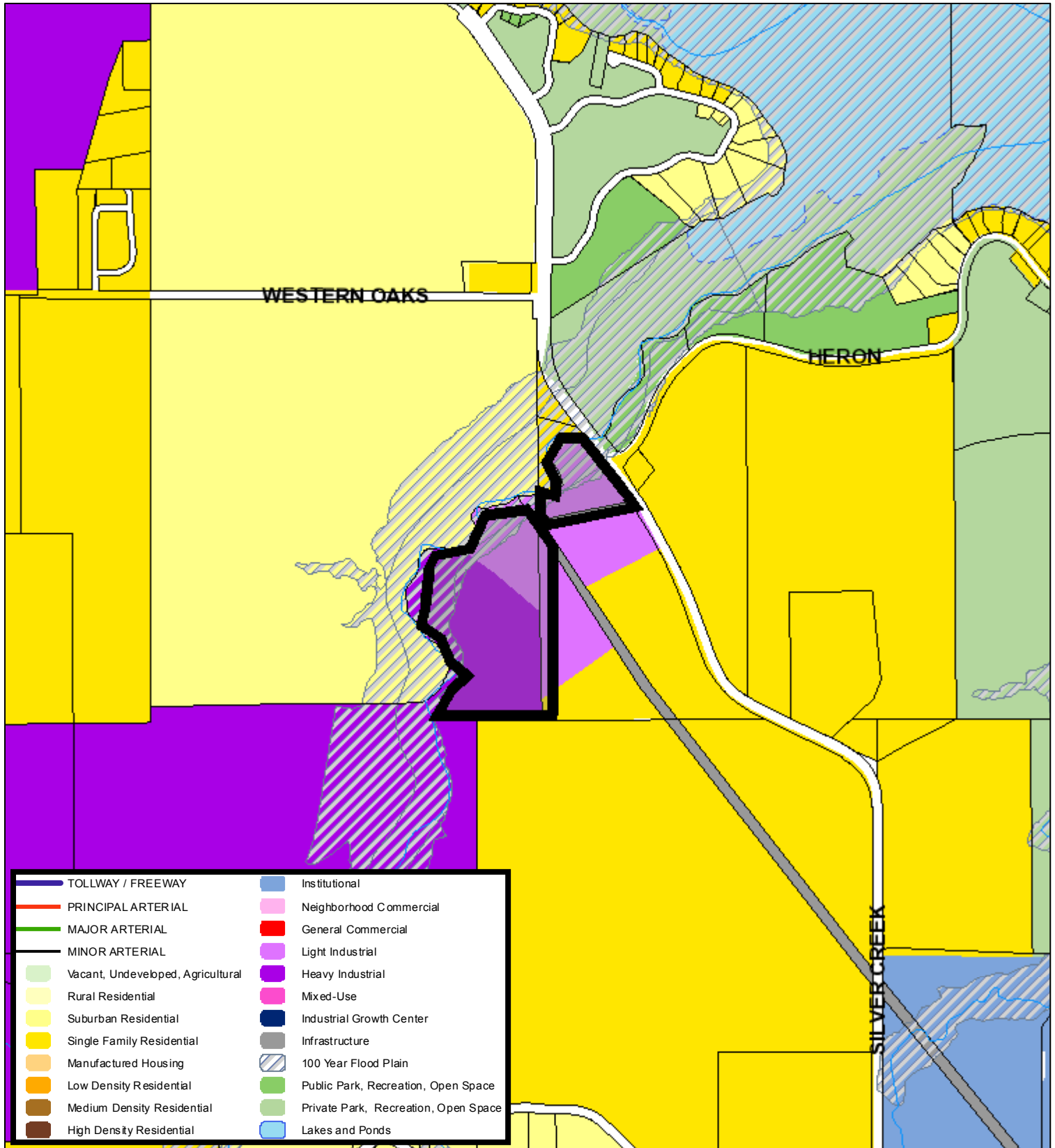
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85



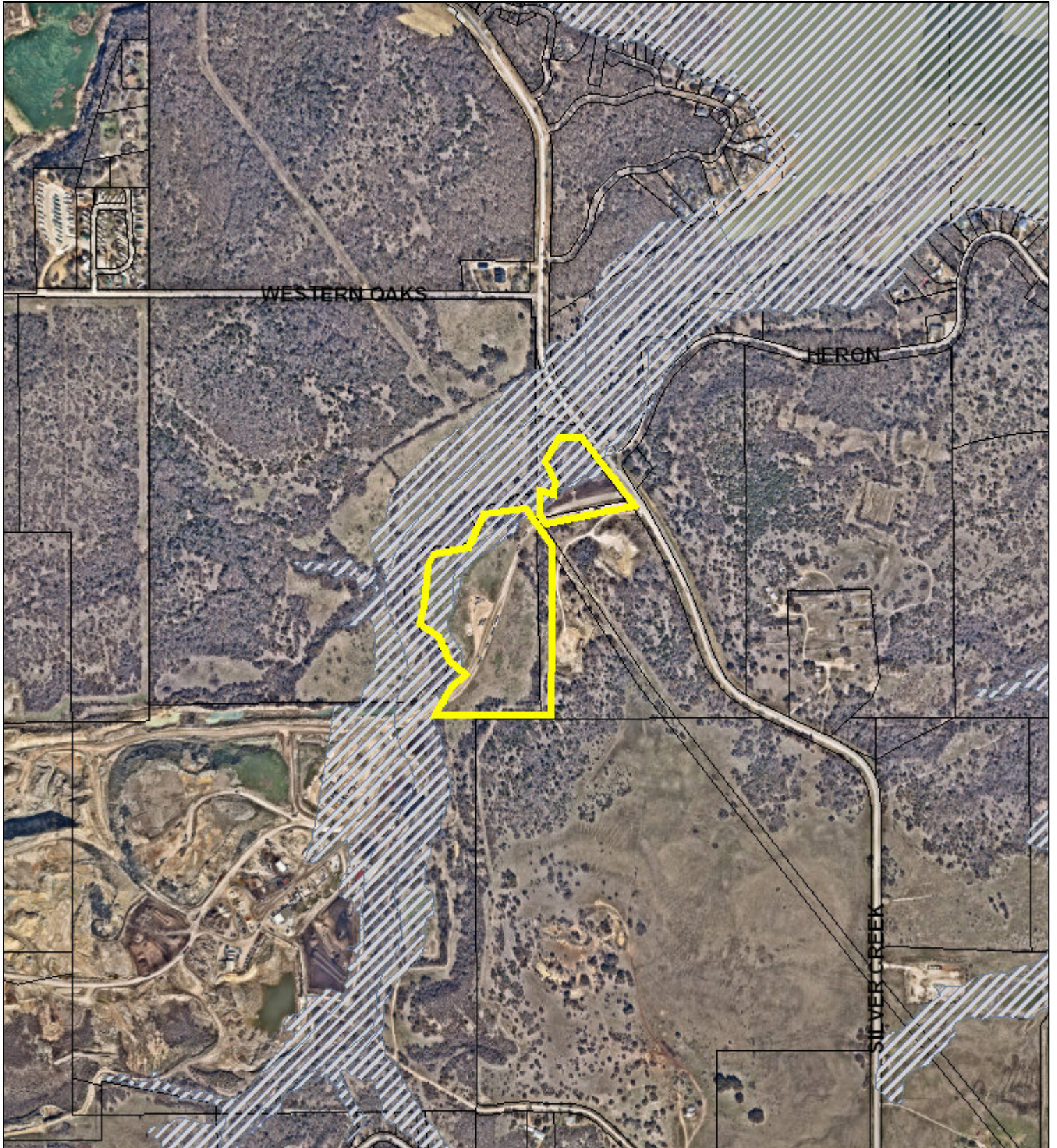
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 550 1,100 2,200 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-133

Council District: 8

Zoning Map Amendment

Case Manager: [Beth Knight](#)

Owner / Applicant: James Austin Jr./ Yvette Kent

Site Location: 3220 Mitchell Boulevard

Acreage: 1.08

Request

Proposed Use: Auto Parts Retail Store

Request: From: "B" Two-Family and "E" Neighborhood Commercial

To: "FR" General Commercial Restricted

Recommendation

Land Use Compatibility: Requested change is **not compatible**.

Comprehensive Plan Consistency: Requested change is **not consistent**.

Staff Recommendation: **Denial**

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 - b. [Comprehensive Plan Consistency](#)
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7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The site is located on the northwest corner of Mitchell Boulevard and E. Berry Street, with the Renaissance shopping center located diagonally across the intersection. Highway 287 is about ½ mile east of the site, and Cobb Park is noted less than ¼ mile to the west. The site is currently used as a restaurant and vacant land, but the building is shown to be demolished on a draft site plan.

The applicant is requesting a zoning change from “B” Two-Family and “E” Neighborhood Commercial to “FR” General Commercial Restricted in order to develop an auto parts retail store. The applicant is proposing an approximately 7,000 square foot building, fronting onto Mitchell Boulevard. The property may have site constraints in meeting the zoning standards, depending on how the building is placed. Several comparable zoning requests have been since 2014 on this lot, which have all been denied. Another auto parts store has been developed generally 700 feet from Highway 287 and is surrounded by other commercial uses.

Because FR would allow are more intensive uses than are proposed at this intersection, the applicant is requesting the case be contiued and revised into a Conditional Use Permit.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single-family

East “CF” Community Facilities / church

South “A-5” One-Family and “CF” Community Facilities / single-family and church

West “A-5” One-Family / single-family

Recent Zoning History

- ZC-11-061, southeast of subject, from PD 720 for E uses and PD 721, add land to PD 720, approved;
- ZC-11-074, north, east, south, and west of subject, Council initiated to be in conformance with Comprehensive Plan, approved;
- ZC-14-151, ZC-17-073, ZC-18-034, ZC-19-158, subject, from B and E to FR (2014), PD for auto parts store (2017), PD for certain E uses (2018), and E (2019), denied;
- ZC-15-002, east of subject, from PD 720 to add auto parts sales, approved;
- ZC-19-133, east of subject, from A-5 to E, approved.
- Platting History: no preliminary plats within last 10 years.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
 The following organizations were notified: (emailed September 27, 2021)

Organizations Notified	
The New Mitchell Boulevard NA*	Streams and Valleys Inc.
Glencrest Civic League NA	Trinity Habitat for Humanity
United Communities Association of South Fort Worth	Fort Worth ISD
East Fort Worth, Inc.	Southeast Fort Worth Inc

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to change to zoning of this property from “B” Two-Family and “E” Neighborhood Commercial to “FR” General Commercial Restricted for an auto parts retail store. Surrounding land uses are single family to the north, south, and west, churches to the east and south, and the Renaissance Square shopping center to the southeast. With the surrounding land uses being predominantly single-family, the proposed zoning for this site **is not compatible** at this location

Comprehensive Plan Consistency – Southeast

The 2021 Comprehensive Plan currently designates the subject property as “Neighborhood Commercial”, where vehicular uses are generally not allowed. (Significant Deviation).

Below is a portion from Chapter 4 Land Use of the Comprehensive Plan.

LAND USE AND ZONING CLASSIFICATIONS

LAND USE	DEFINITION	ZONING
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1

The proposed zoning is **not consistent** with the land use designations for this area, nor with the following policies of the Comprehensive Plan:

- Preserve and protect residential neighborhoods from incompatible land uses, disinvestments, encroachment, speculation, demolition, neglect, and or other negative forces.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Economic Development Plan

The 2021 Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:

1. High-wage job growth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
4. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

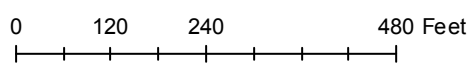
This zoning request does not assist in high-wage job growth, is not a targeted high-growth industry, and contributes less to a quality of place for the community than the existing restaurant.

Area Zoning Map

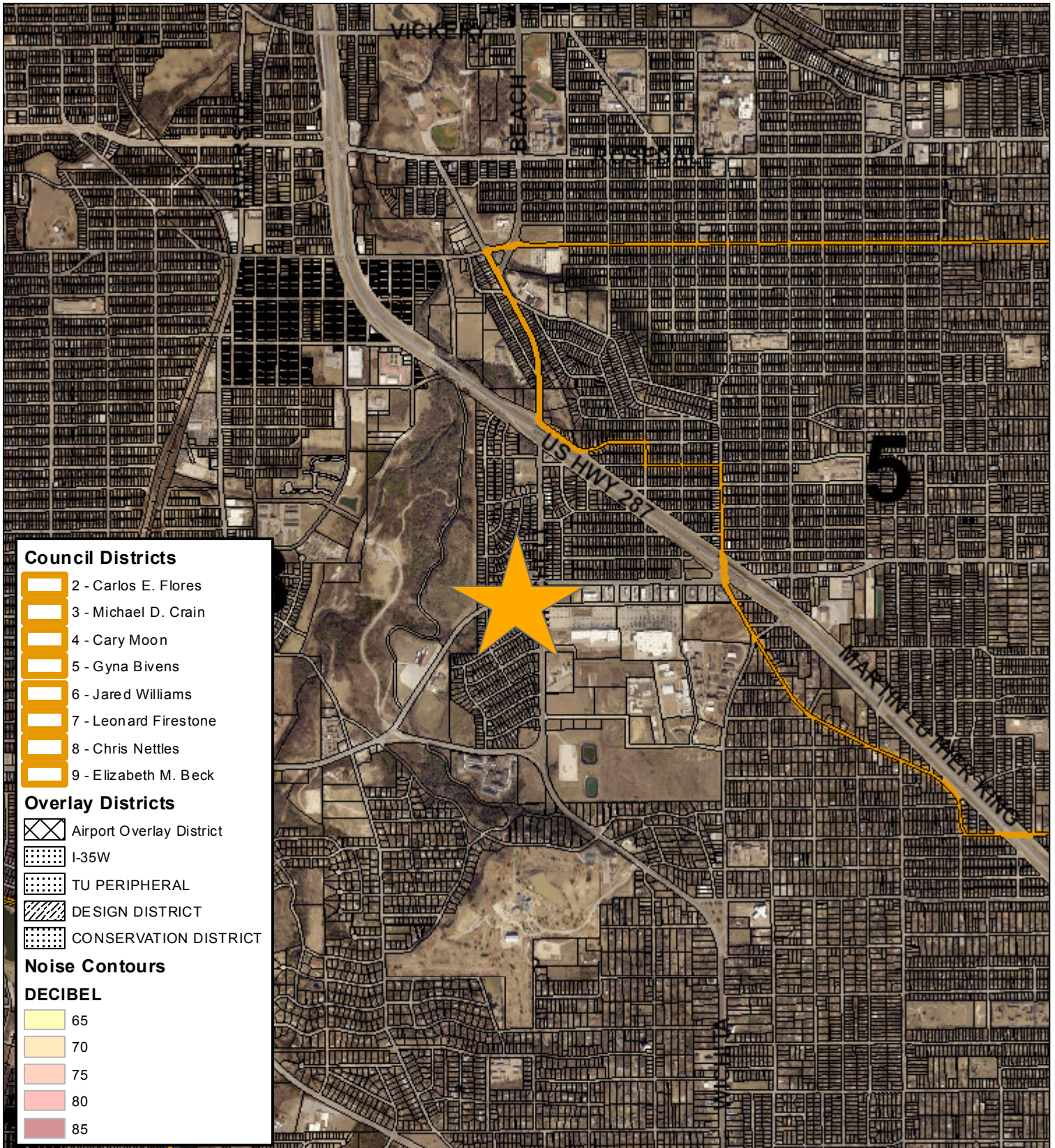
Applicant: James Austin Jr.
 Address: 3220 Mitchell Boulevard
 Zoning From: B, E
 Zoning To: FR
 Acres: 1.08085756
 Mapsco: 78S
 Sector/District: Southeast
 Commission Date: 10/13/2021
 Contact: 817-392-8190



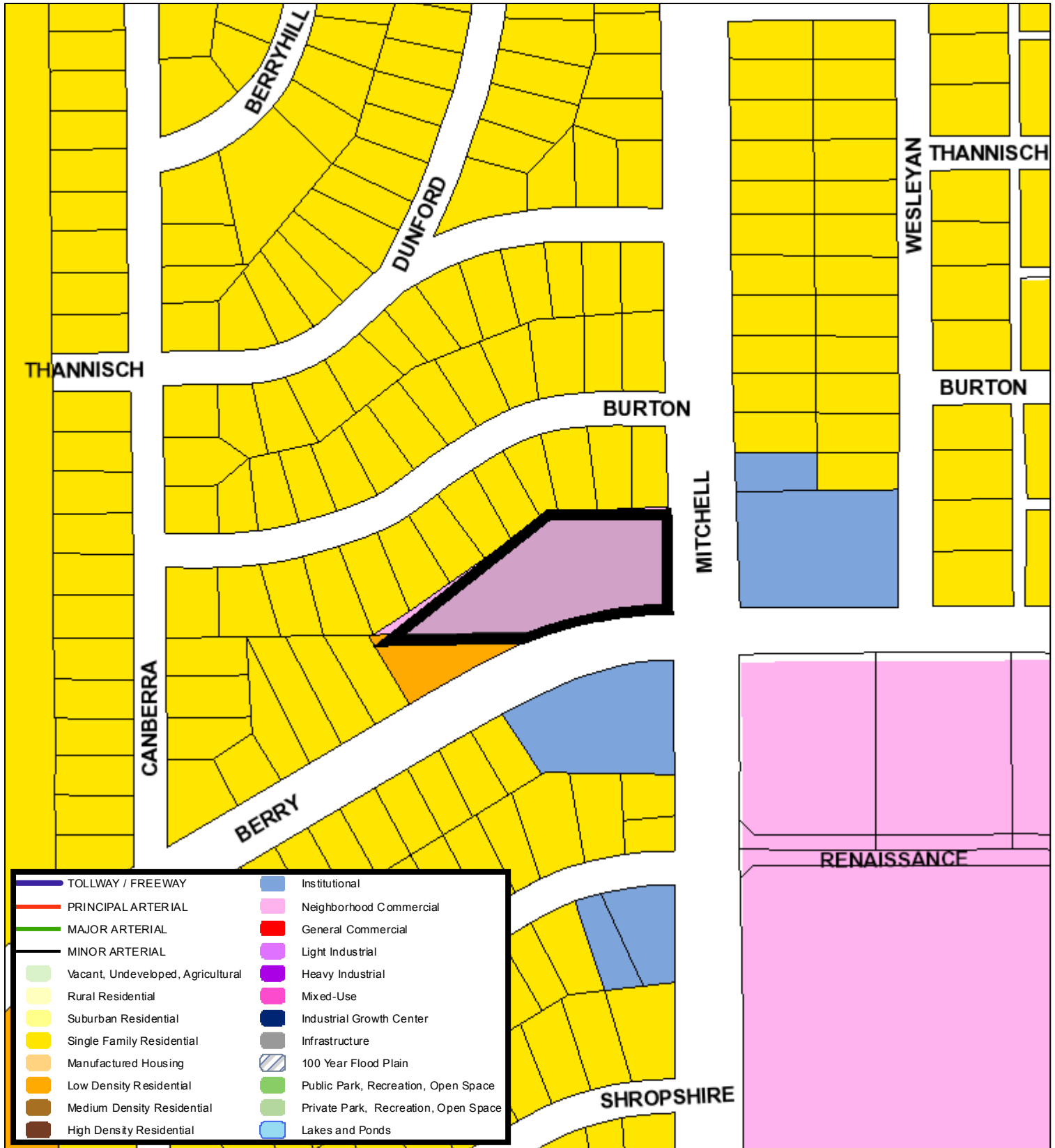
Subject Area
 300 Foot Notification



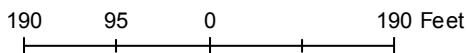
Area Map



Future Land Use



	TOLLWAY / FREEWAY		Institutional
	PRINCIPAL ARTERIAL		Neighborhood Commercial
	MAJOR ARTERIAL		General Commercial
	MINOR ARTERIAL		Light Industrial
	Vacant, Undeveloped, Agricultural		Heavy Industrial
	Rural Residential		Mixed-Use
	Suburban Residential		Industrial Growth Center
	Single Family Residential		Infrastructure
	Manufactured Housing		100 Year Flood Plain
	Low Density Residential		Public Park, Recreation, Open Space
	Medium Density Residential		Private Park, Recreation, Open Space
	High Density Residential		Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 125 250 500 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-142

Council District: 8

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: RLW Residentials LLC, Roderick Woodson

Site Location: 2101 Epps Avenue

Acreage: 0.125 acres

Request

Proposed Use: Multifamily Residential

Request: From: “FR” General Commercial Restricted

To: “CR” Low Density Multifamily

Recommendation

Land Use Compatibility: Requested change is **not compatible**

Comprehensive Plan Consistency: Requested change is **not consistent**

Staff Recommendation: **Denial**

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6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

Currently the site hosts a metal warehouse building that was built in 1973 according to the Tarrant County Appraisal District. The owner is proposing to rezone from the current “FR” General Commercial Restricted zoning to “CR” Low Density Multifamily. The application lists a purchaser as the developer rather than the current owner.

The site is a corner lot located at the intersection of Epps Avenue and Arlington Avenue, directly across from the Ney Yard (Union Pacific Railroad). Under the requested “CR” zoning, the site can only support two units based on the small size of the lot (6,300 square feet). “CR” zoning also requires 60% minimum open space on the lot, which takes away a sizeable amount of the developable area.

Surrounding Zoning and Land Uses

North “A-5” One-Family Residential / undeveloped
East “A-5” One-Family Residential / residence
South “A-5” One-Family Residential / duplex
West “J” Medium Industrial / railroad switching yard

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 24, 2021:

Organizations Notified	
United Communities Association of South Fort Worth	Fort Worth ISD
Hemphill Corridor Task Force SE Fort Worth Inc	Morningside NA*
Streams And Valleys Inc	Trinity Habitat for Humanity
Near Southside, Inc	Southeast Fort Worth Inc

* Located closest to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The proposed site is cut off from major north-south corridors (Hemphill/Main) to the west by two (2) sets of railroad tracks and the Ney Yard (UP Railroad). The zoning is currently "FR" General Commercial Restricted,

and other than an auto body & paint shop two (2) blocks to the north there are very few industrial or commercial uses in the vicinity.

The area is mostly residential in character, despite the commercial zoning classification. Housing stock is primarily older single family houses, some have been converted to duplexes. There are several churches in the immediate neighborhood and across Interstate 35W in the Morningside area. It is likely that the site will be exposed to above average noise levels due to adjacency to several main line railroads.

While multifamily zoning is still a residential land use, the increased density and differences in form from the surrounding houses could potentially create an instance of spot zoning if approved. Staff would suggest the applicant investigate an alternative zoning such as “A-5” One Family or “AR” One Family Restricted zoning which be much more compatible with the traditional form of the surrounding neighborhood. Note that based on the size of the lot, only one (1) A-5 or AR lot could be created. “B” Two-Family zoning is another option, but that would not be in alignment with the Comprehensive Plan (see below for additional details on the Comprehensive Plan).

The proposed zoning change **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

The 2021 Comprehensive Plan currently designates the subject property as future Single Family Residential. This is analogous to but not the same as “A-5”, “A-7.5”, “A-10”, and “AR” zoning. Multifamily zones and Single Family residential zones are both of a similar residential nature. The primary difference is the density and form. “CR” zoning would require a future land use designation of “Medium Density Residential”

LAND USE & ZONING CONFORMANCE COMPREHENSIVE PLAN | LAND USE

LAND USE AND ZONING CLASSIFICATIONS



LAND USE	DEFINITION	ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
High Density Residential	>36 units/acre multifamily, mixed-use multifamily in growth centers	UR, MU-1, MU-2, Form-Based Codes
Institutional	Schools, churches, government, human services, utilities, community centers, day cares	Schools and Churches: ALL Others: CF

The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation.

Area Zoning Map

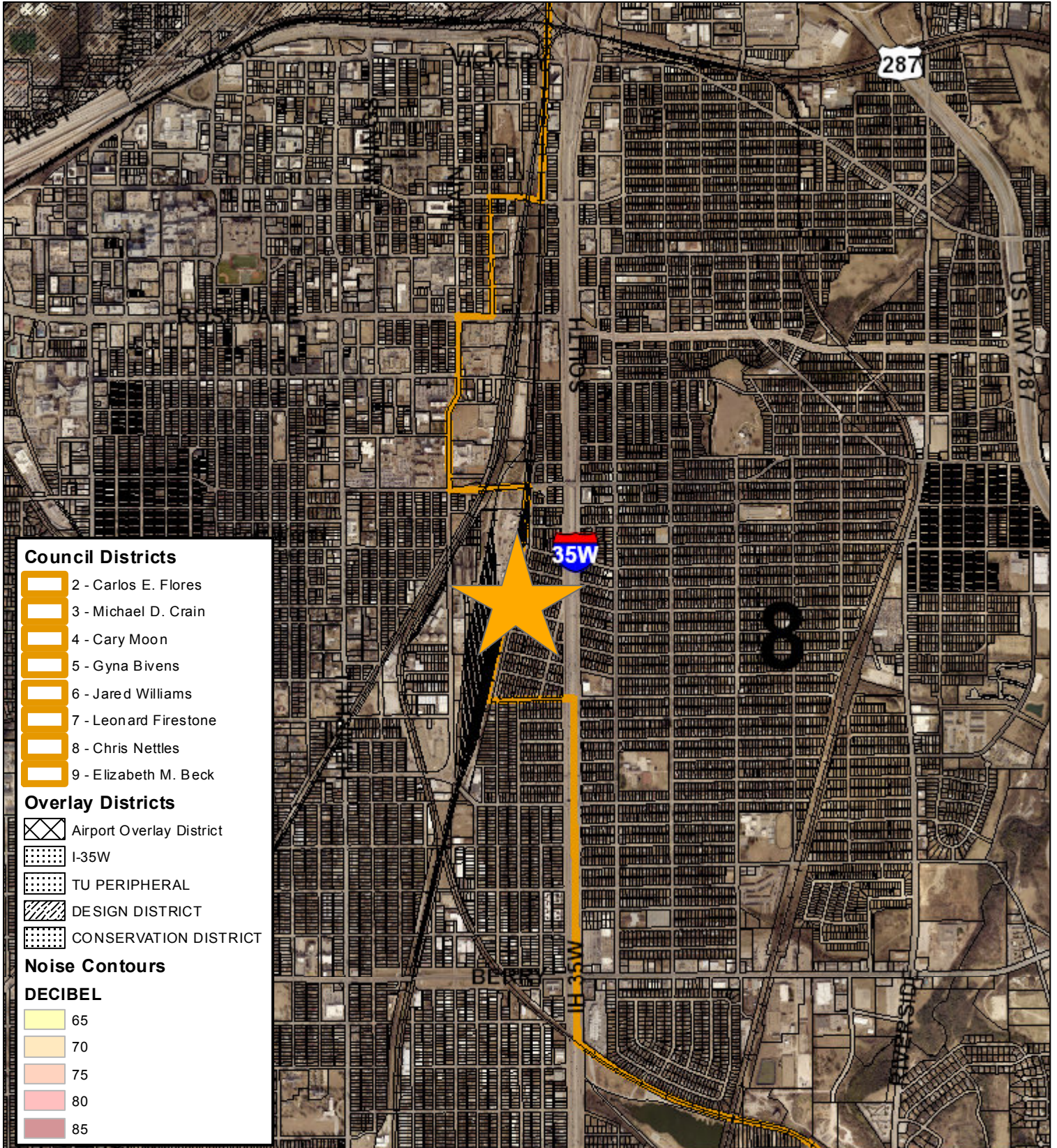
Applicant: RLW Residentials LLC
 Address: 2101 Epps Avenue
 Zoning From: A-5, FR
 Zoning To: CR
 Acres: 0.12518987
 Mapsco: 77P
 Sector/District: Southside
 Commission Date: 10/13/2021
 Contact: 817-392-8043



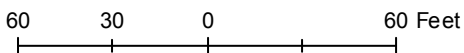
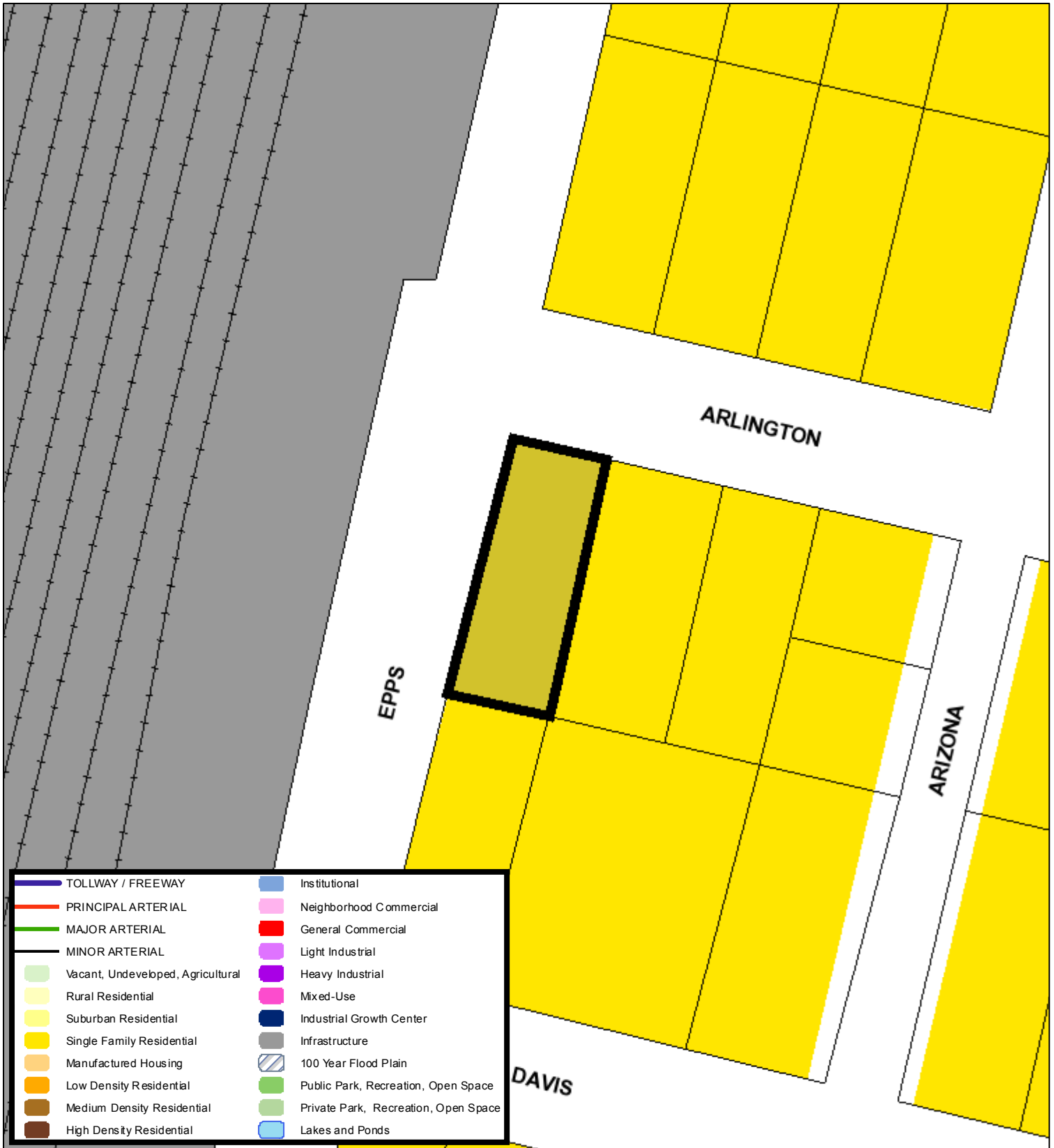
 Subject Area
 300 Foot Notification

0 85 170 340 Feet

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 37.5 75 150 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-150

Council District: 2

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: Randol Mill Investment LLC

Site Location: 2000 – 2100 blocks Belle Avenue **Acreage:** 6.0 acres

Request

Proposed Use: Townhomes

Request:
From: “A-5” One-Family
To: “R-2” Townhouse/Cluster

Recommendation

Land Use Compatibility: Requested change is **compatible**.

Comprehensive Plan Consistency: Requested change is **not consistent (technical inconsistency)**.

Staff Recommendation: **Approval**

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9. Aerial Photograph

Project Description and Background

The subject property is located west of the intersection of Belle Avenue and Northwest 22nd Street. This 6-acre site is currently vacant and is zoned “A-5” One-Family District. The applicant is proposing to rezone the property to “R-2” Townhouse/Cluster to allow for development of townhomes. The “R-2” District allows for several residential land uses that are not allowed by right in the “A-5” District, including townhomes, attached zero lot line homes, duplexes, and cluster housing.

There is an existing Masonic Lodge building directly to the east of this site, and much of the surrounding property to the north and west is currently vacant. Nearby properties along Ephriham Avenue and Jacksboro Highway are zoned commercial and developed with a variety of retail and commercial uses. Northside High School is located approximately 0.2 miles southeast of this site, and to the northeast is an existing residential subdivision zoned “A-5” One-Family.

Prior to 2010, this property was zoned a combination of “J” Medium Industrial and “E” Neighborhood Commercial. In 2010, this site was rezoned to “A-5” One-Family District as part of a larger City-initiated rezoning that included more than 349 acres of land (case ZC-10-181).

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / Retail Use

East “CF” Community Facilities / Masonic Lodge; “A-5” One-Family / Single-Family Homes

South “I” Light Industrial / Warehouses; “A-5” One-Family / Vacant

West “A-5” One-Family / Vacant

Recent Zoning History

- ZC-10-181: Rezoned the subject property from “J” Medium Industrial and “E” Neighborhood Commercial to “A-5” One-Family as part of a larger City-initiated rezoning that included over 349 acres of property.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Inter-District 2 Alliance	Far Greater Northside Historical NA*
North Side NA	Tarrant Regional Water District
Streams and Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	Lake Worth ISD
Castleberry ISD	

* *This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to change the zoning of this property from “A-5” One-Family to “R-2” Townhouse/Cluster. Surrounding property immediately southwest of this site is currently vacant and zoned “A-5” One-Family. Property to the northwest is also vacant, but zoned “E” Neighborhood Commercial. Further west, along Ephriham Avenue, is additional “E” Neighborhood Commercial zoning and development includes retail buildings, an auto-supply store, and a medical office.

Immediately east of the subject property at the corner of Belle Avenue and Northwest 22nd Street is an existing Masonic Lodge building and parking area. To the southeast, along Belle Avenue, are two warehouse buildings on property zoned “I” Light Industrial. Further south, closer to the Jacksboro Highway frontage, is a mix of commercial zoning and land uses.

There is an existing residential subdivision zoned “A-5” One-Family to the north of this site, across 22nd Street, with a few homes also located east of the subject property, across Belle Avenue. However, the majority of these homes are not oriented towards the subject property and the existing Masonic Lodge building as well as the rights-of-way for Belle Avenue and 22nd Street separate these residences from the subject property, making higher-density residential development more appropriate in this location.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Northside

The 2021 Comprehensive Plan currently designates the subject property as “Single-Family Residential” on the Future Land Use Map. “R-2” Townhouse/Cluster is not included in the list of zoning districts envisioned for the Single-Family Residential category, but rather it is included in the “Low Density Residential” designation.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
High Density Residential	>36 units/acre multifamily, mixed-use multifamily in growth centers	UR, MU-1, MU-2, Form-Based Codes

Based on conformance with the policies stated above, the proposed zoning is **not consistent** with the Comprehensive Plan (technical inconsistency).



The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. Six different target areas in Fort Worth were identified and analyzed, including Near Northside. While the subject property is not located within the boundary of the Near Northside study area, the portion that extends along Jacksboro Highway stops just south of this site. The Economic Development Strategic Plan recommends higher-density residential development in Near Northside as described below:

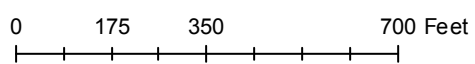
- Priorities should also include the creation of higher-density, more affordable housing for area residents. Housing near employment centers and transportation corridors is needed. The area also includes many existing residential areas that are underutilized and could be redeveloped with the help of the FWHFC and other partners.

Area Zoning Map

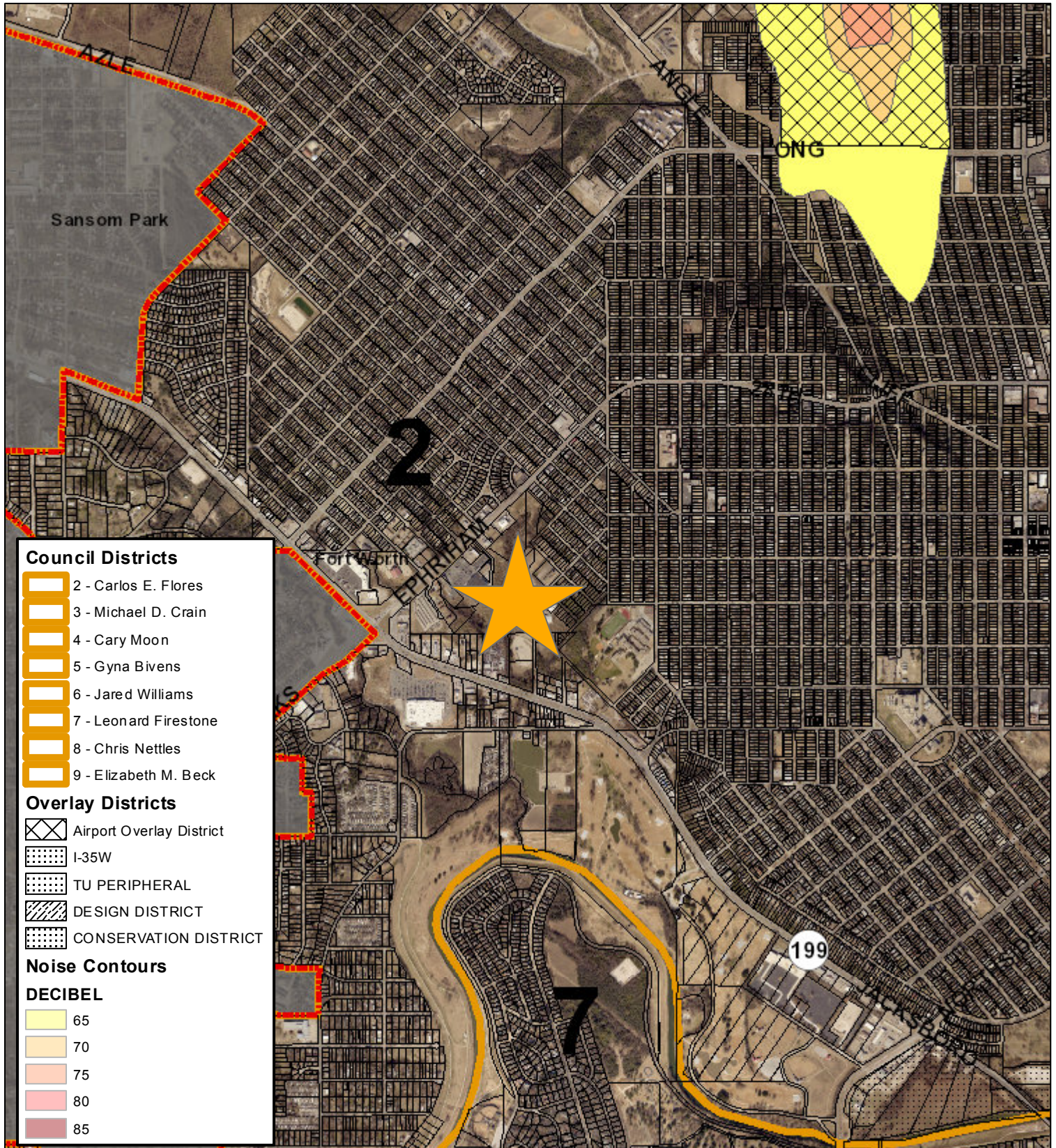
Applicant: Randol Mill Investment LLC
 Address: 2000 - 2100 blocks Belle Avenue
 Zoning From: A-5
 Zoning To: R2
 Acres: 5.99943467
 Mapsco: 61HM
 Sector/District: Northside
 Commission Date: 10/13/2021
 Contact: 817-392-2495



 Subject Area
 300 Foot Notification








Area Map








Council Districts

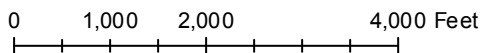
-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

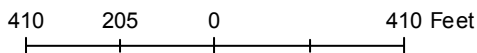
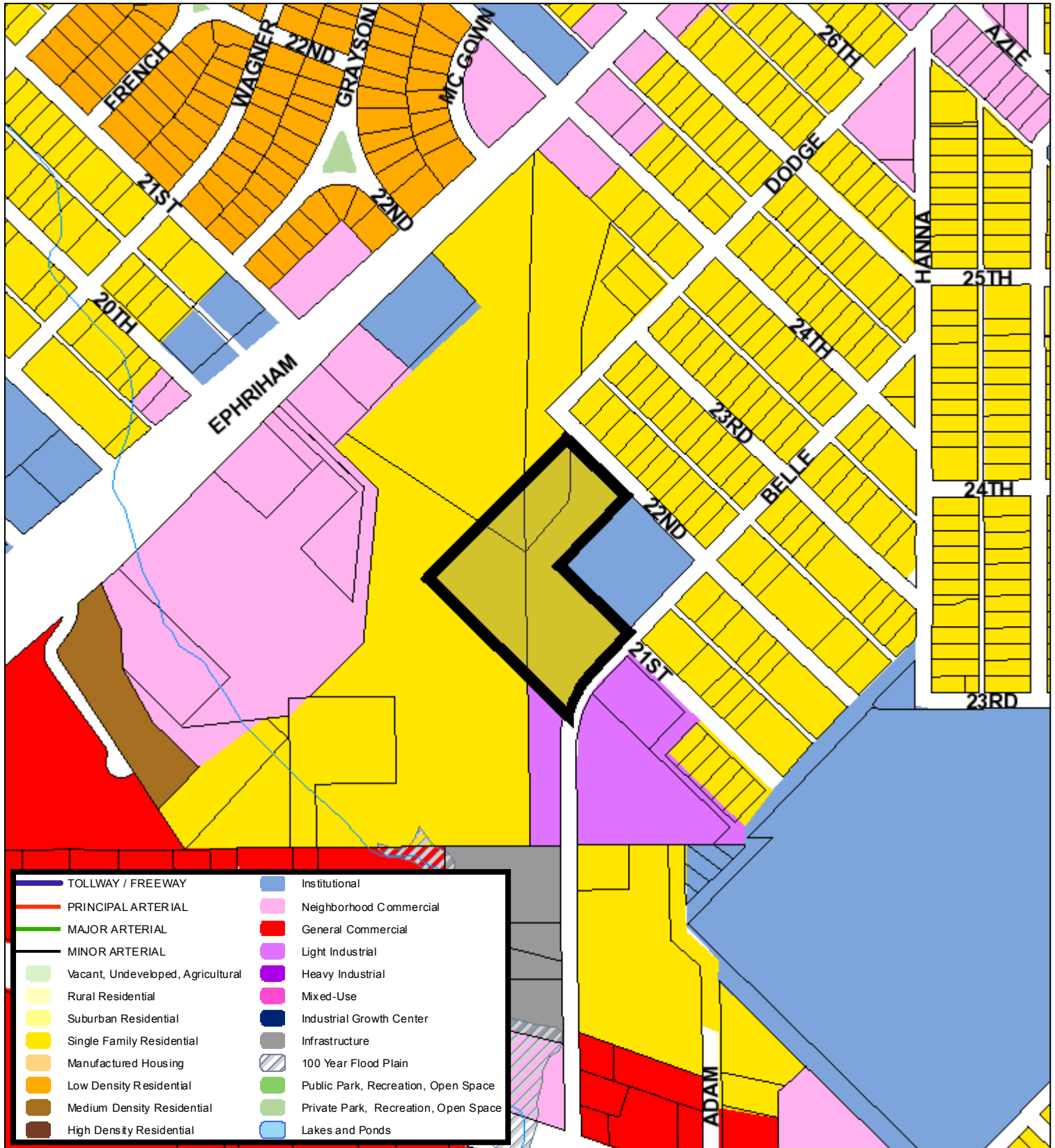
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 260 520 1,040 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-151

Council District: 2

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: Stockyard Masonic Lodge / James Walker

Site Location: 2901 Schwartz Avenue **Acreage:** 0.60

Request

Proposed Use: Event Center

Request:
From: "A-5" One-Family
To: "E" Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is not compatible.**

Comprehensive Plan Consistency: Requested change **is not consistent.**

Staff Recommendation: **Denial**

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7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located at the northwest corner of Schwartz Avenue and Loraine Street, approximately 0.1 miles north of the Northeast 28th Street corridor. There is an existing building on site that was previously used as a masonic lodge, with signage describing it as “Stockyard Lodge,” as well as an associated parking area to the north of the building. The applicant plans to purchase the property and would like to use the existing building as an event center. “Event center or rental hall” is not an allowed land use in any of the City’s standard residential districts. Therefore, the applicant is proposing to change the zoning of this site to “E” Neighborhood Commercial.

The subject property and all adjacent properties within this block are zoned “A-5” One-Family. The majority of surrounding properties within a several-block radius are also zoned “A-5” District and most of these lots are developed with single-family dwellings. A few properties near this site are developed for non-residential use, including several churches as well as Diamond Hill Elementary School which is located two blocks east of the subject property. Schools and Places of Worship are both allowed land uses in the “A-5” District.

If this zoning change request were approved, any future expansion or redevelopment of the site would be subject to all development requirements for “E” Neighborhood Commercial District, including buffering and supplemental setbacks from the adjacent residential properties.

Surrounding Zoning and Land Uses

North “A-5” One-Family / Vacant Commercial Building (owned by City of Fort Worth)
East “A-5” One-Family / Single-Family Dwellings
South “A-5” One-Family / Single-Family Dwellings
West “A-5” One-Family / Single-Family Dwellings

Recent Zoning History

- ZC-06-274: Rezoned the subject property from “C” Medium-Density Multifamily to “A-5” One-Family as part of a larger City-initiated rezoning that rezoned 163 acres of land to “A-5” One-Family.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Inter-District 2 Alliance	Diamond Hill Jarvis NAC*
Streams and Valleys Inc	Trinity Habitat for Humanity
North Fort Worth Historical Society	Fort Worth ISD

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “A-5” One-Family to “E” Neighborhood Commercial to allow for event center use. All surrounding properties are zoned “A-5” One-Family. Properties to the west, south, and east are developed with single-family dwellings. There is an existing non-residential building to the north of this site which appears to be vacant. This property is owned by the City of Fort Worth.

Commercial use in this location would create concern due to proximity to the adjacent residential properties, especially those fronting LuLu Avenue which have rear yards directly abutting this site. Noise would likely be the primary concern with the proposed event center use, especially during evening and weekend hours. However, if the proposed zoning change were approved, commercial uses other than event center would be allowed by right in this location.

The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Northeast

The 2021 Comprehensive Plan currently designates the subject property as “Institutional” on the Future Land Use Map. The “Institutional” category is intended to provide for schools, churches, government buildings, community centers, day cares, etc. and the most appropriate zoning classification for this designation is “CF” Community Facilities, as described in the excerpt below from the Comprehensive Plan.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
High Density Residential	>36 units/acre multifamily, mixed-use multifamily in growth centers	UR, MU-1, MU-2, Form-Based Codes
Institutional	Schools, churches, government, human services, utilities, community centers, day cares	Schools and Churches: ALL Others: CF

“E” Neighborhood Commercial is not listed as an appropriate zoning district for the Institutional category. “Event center or rental hall” is also not an allowed land use in the “CF” Community Facilities district. In addition, the following policy from the Comprehensive Plan applies to the Northeast Sector, where is property is located:

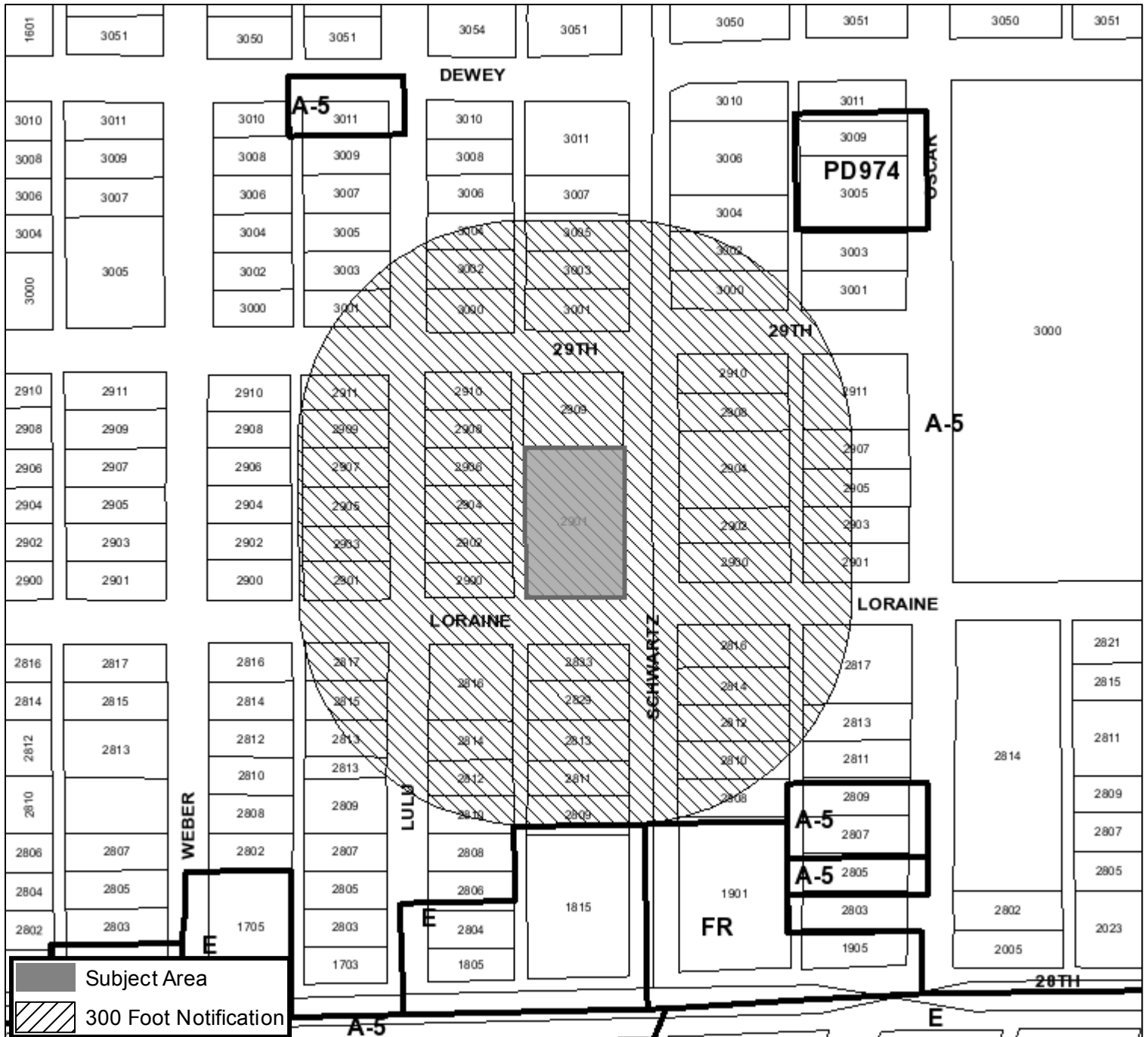
- Protect neighborhoods from commercial and industrial encroachment from Belknap Street, 28th Street, Sylvania Avenue and Riverside Drive



The proposed zoning is **not consistent** with the Comprehensive Plan.

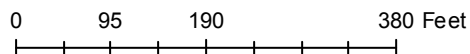


Area Zoning Map

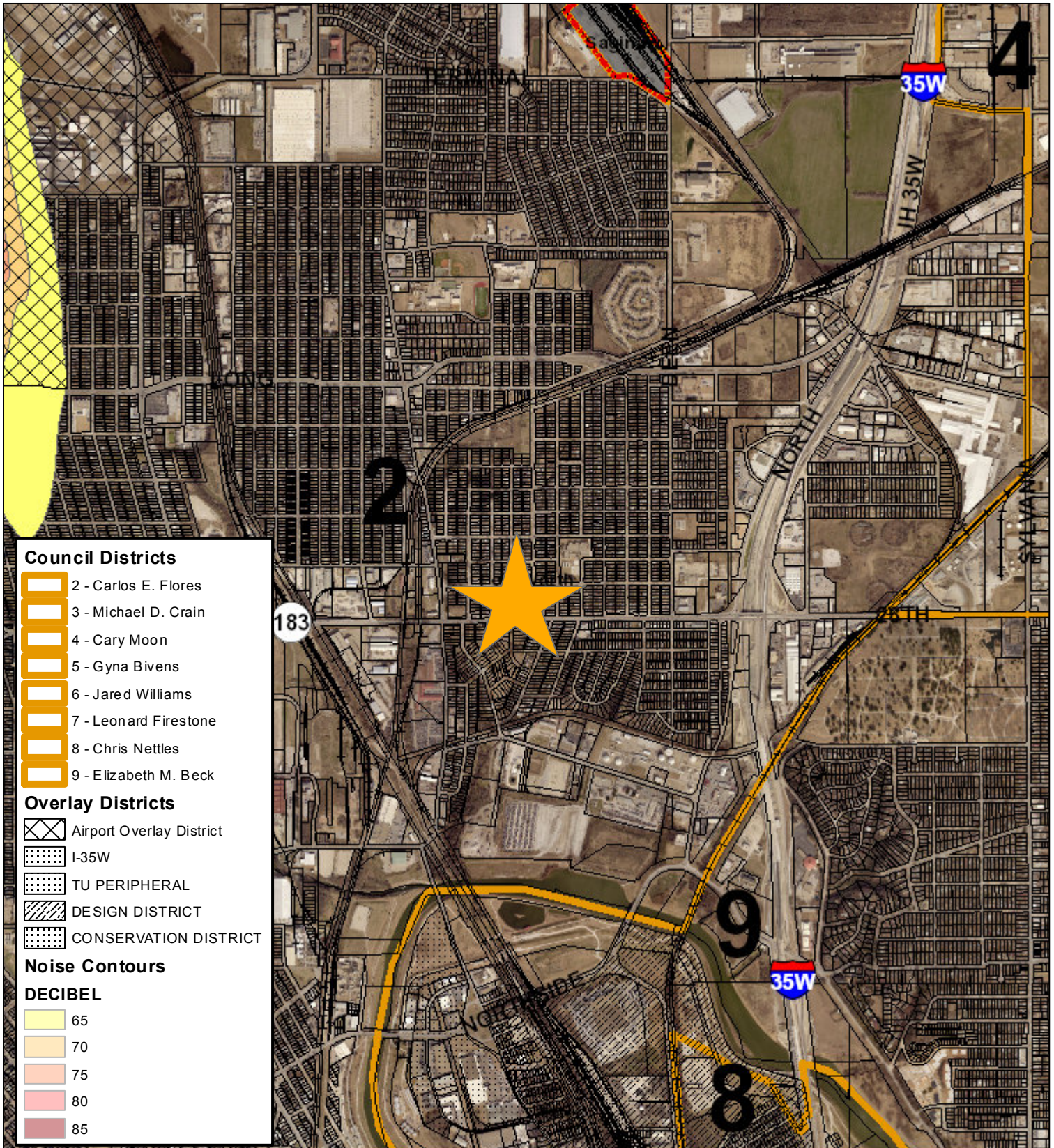
Applicant: Stockyards Masonic Lodge
 Address: 2901 Schwartz Avenue
 Zoning From: A-5
 Zoning To: E
 Acres: 0.60316211
 Mapsco: 62D
 Sector/District: Northeast
 Commission Date: 10/13/2021
 Contact: null



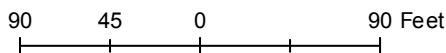
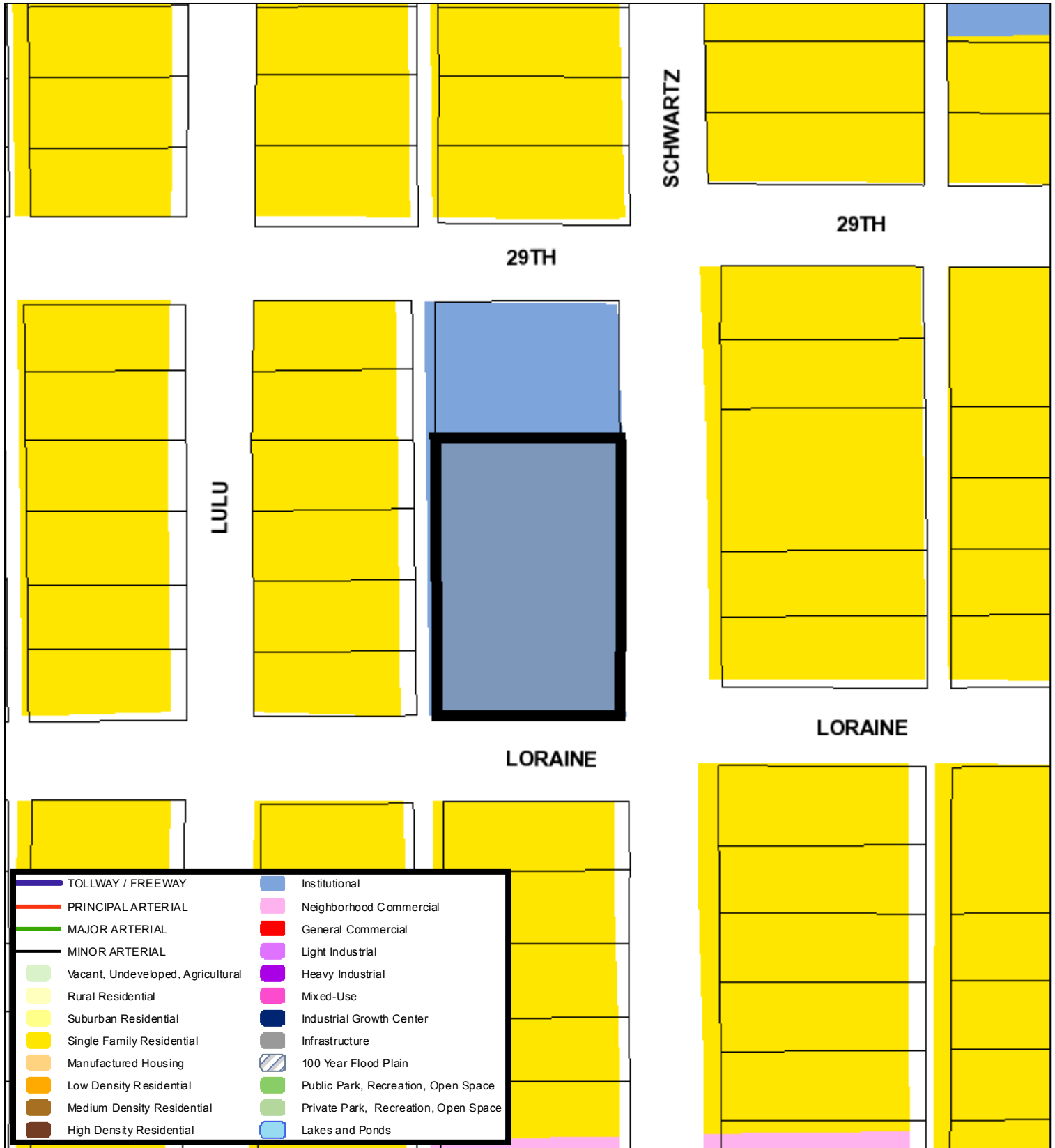
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 60 120 240 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-153

Council District: 9

Zoning Map Amendment

Case Manager: [Beth Knight](#)

Owner / Applicant: Melody Becerra & Chamberlin Heights LP/ Ray Oujesky

Site Location: 4612 Houghton & 4613 Diaz Avenues **Acreage:** 0.34 acres

Request

Proposed Use: Doctor's office

Request: From: "B" Two-Family

To: "ER" Neighborhood Commercial Restricted

Recommendation

Land Use Compatibility: Requested change is **compatible**.

Comprehensive Plan Consistency: Requested change is **consistent (Minor Boundary Adjustment)**.

Staff Recommendation: **Approval**

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Project Description and Background

The subject properties are located mid-block between Hulen and Kenley Streets, and spans from one side of the block to the other across an alley. Both lots are zoned “B” Two-Family District. The northern lot, addressed as 4613 Diaz Avenue, is an existing parking lot, while the southern lot at 4612 Houghton was developed as a single-family home. The applicant is currently proposing to rezone both properties to “ER” Neighborhood Commercial Restricted District.

The northern lot, developed as a parking lot, is flanked by a commercial use to the east and a single family residence to the west. The southern lot with the single family home is part of a block face that is predominantly single family uses and continues to be flanked on both sides by other single family homes. Both lots would face other commercial uses.

In discussions with staff after the request was submitted, the following concerns were identified:

- The northern lot appears to have been developed as a parking lot in the 1980s and does not maintain the residential adjacency standards in the current zoning ordinance. The parking lot paving is immediately adjacent to the neighboring house and is not separated by a screening fence or landscaping. The paving continues to the front property line, instead of maintaining a landscaping area in the projected front yard. The parking lot is currently fenced and used as a construction staging area.
- The location of the southern lot adjacent to properties zoned “B” Two-Family District imposes additional buffer yard and setback requirements upon any new commercial development. The supplemental setback on the western side of the lot would significantly impact the buildable area of this site, even if the existing residence is maintained and converted to an office. The applicant indicated they intend to remove the existing single-family home located on 4612 Houghton Avenue and is aware of the supplemental setback.

Surrounding Zoning and Land Uses

North: “PD 805” Planned Development 805 for certain E uses / convenience store and drive-thru restaurant

East: “ER” Neighborhood Commercial Restricted and “PD 1149” Planned Development 1149 for E uses / single family dwellings, office, and restaurant

South: “C” Medium Density Multifamily and “ER” Neighborhood Commercial Restricted / single-family family dwellings and office

West: “B” Two-Family / single-family dwellings

Recent Zoning History

- ZC-13-092 and ZC-14-045: southeast of subject, from B and E to PD for E uses plus car wash, denied.
- SP-13-010: north of subject, site plan for PD 805 to add new building, approved.
- ZC-15-035: subject properties and surrounding lots, from B, C, ER, and E to PD for E uses with development standard waivers, denied.
- ZC-15-047: southeast of subject, from B to E uses, denied.
- ZC-17-002: southeast of subject, from B and E to PD for E uses plus restaurant with play yard, approved.
- ZC-17-122: east of northern lot, from B and E to PD for E uses plus restaurant, approved.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 27, 2021)

Organizations Notified	
Sunset Heights NA*	Westside Alliance
Alamo Heights NA	Streams and Valleys Inc
Como NAC	Trinity Habitat for Humanity
Arlington Heights NA	Fort Worth ISD

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to change the zoning of this property from “B” Two-Family to “ER” Neighborhood Commercial Restricted. Surrounding properties to the west and southwest are zoned “B” or “C” and developed with single-family homes. Property to the east of the southern lot is also developed with two single family homes, but zoned “ER”, which eliminates the requirement of a supplemental setback on this side. To the north and east, all properties in the general vicinity with Hulen Street frontage, an arterial roadway, are commercially zoned and developed with a variety of retail uses. These commercial uses are one typically lot deep and face Hulen Street, instead of being two lots on either side of an alley that front onto a residential street.

Because any new commercial construction would be subject to the current supplemental setbacks, the lots face other commercial uses, and the northern lot is already used for a non-residential use, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Arlington Heights

The 2021 Comprehensive Plan currently designates the northern property as “Neighborhood Commercial” and the southern lot as “Single-Family Residential”, reflecting their current land uses. The proposed “ER” zoning is not consistent with the following policies of the Comprehensive Plan:

- Coordinate future land uses and development types and intensity with the Complete Streets policy, Master Thoroughfare Plan, Active Transportation Plan, and Transit-Oriented Development (TOD) Plans.
- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

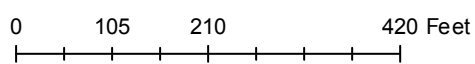
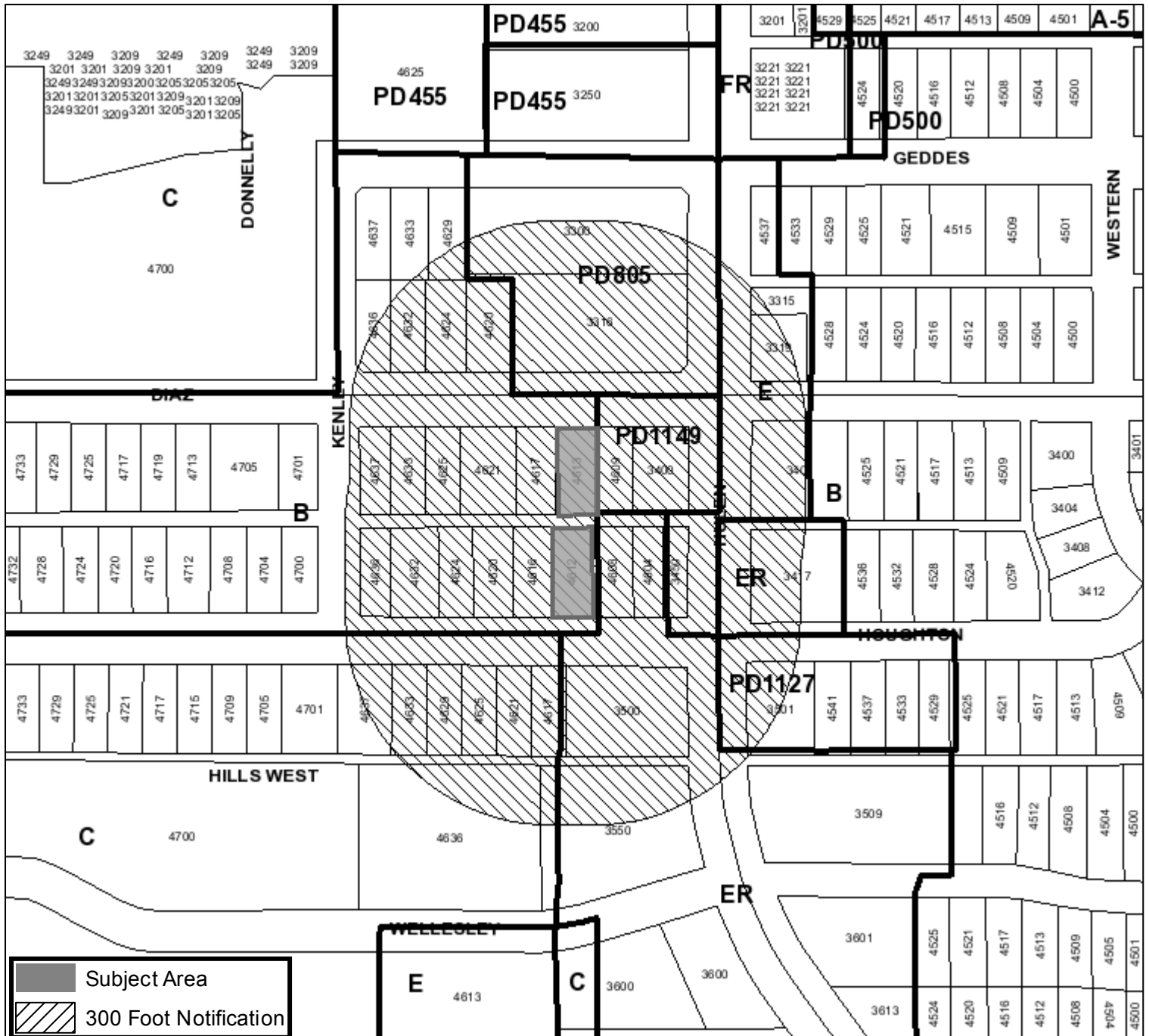
Neither Houghton or Diaz Avenues are designated as an arterial roadway on the City’s Master Thoroughfare Plan (MTP).

Based on a lack of conformance with the policies stated above but a conformance to future land use designations on or adjacent to the site, the proposed zoning is **consistent** with the Comprehensive Plan (**minor boundary adjustment**). If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

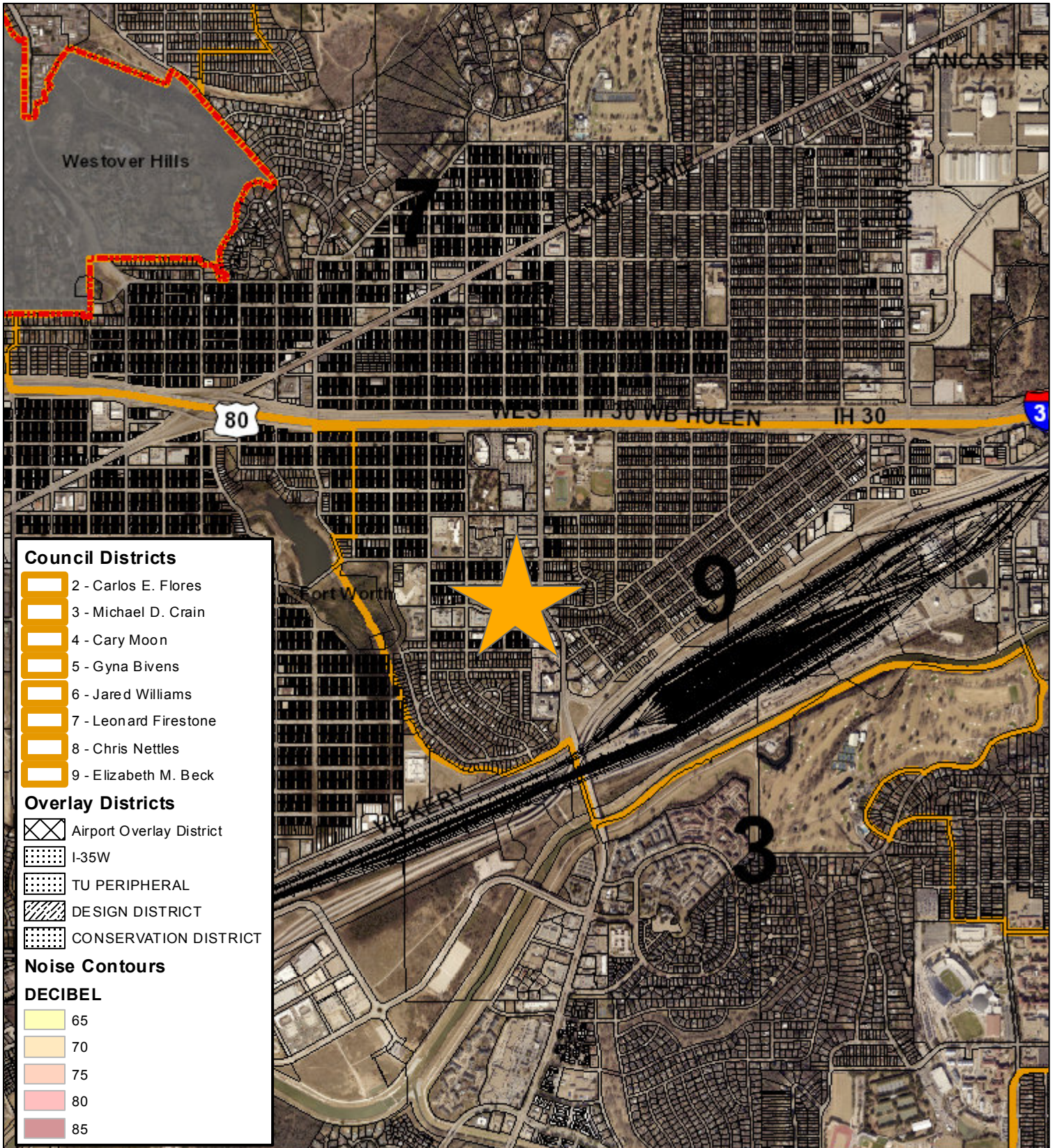


Area Zoning Map

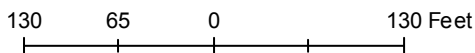
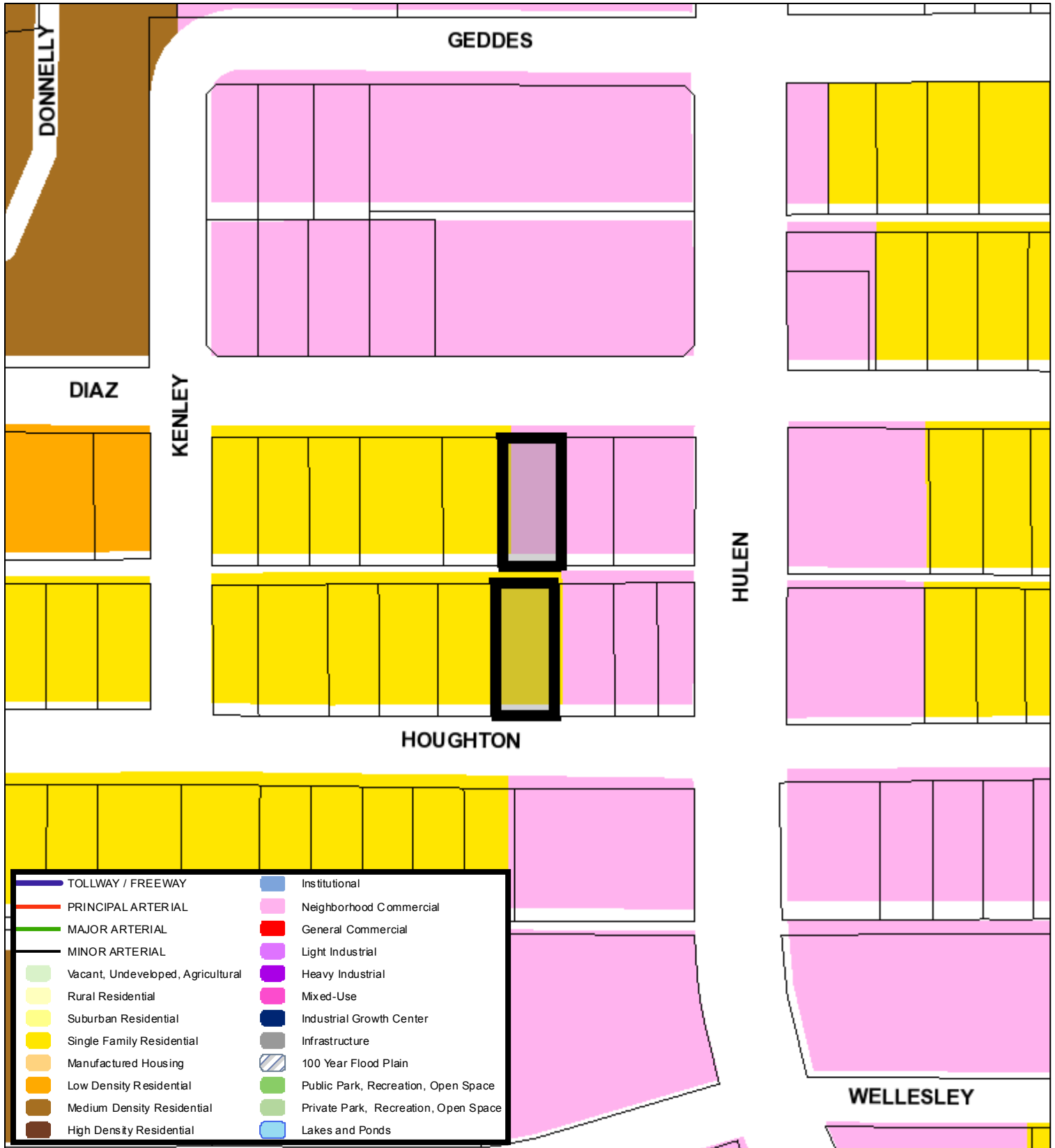
Applicant: Melody Becerra & Chamberlin Heights LP
 Address: 4612 Houghton & 4613 Diaz Avenues
 Zoning From: B
 Zoning To: ER
 Acres: 0.34141394
 Mapsco: 75P
 Sector/District: Arlington Heights
 Commission Date: 10/13/2021
 Contact: 817-392-8190



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 80 160 320 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-155

Council District: 7

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: 6824 LP / Aaron Towner

Site Location: 7617 – 7621 (odds) Jacksboro Highway

Acreage: 2.21

Request

Proposed Use: Boat Sales & Service

Request: From: “E” Neighborhood Commercial

To: “FR” General Commercial Restricted

Recommendation

Land Use Compatibility: Requested change **is not compatible.**

Comprehensive Plan Consistency: Requested change **is not consistent (technical inconsistency).**

Staff Recommendation: **Denial**

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Project Description and Background

The subject property is located along the south side of Jacksboro Highway, just west of Surfside Drive and approximately 0.2 miles north of Lake Worth. This property was annexed into the City of Fort Worth in 2016 as part of a larger 93.4-acre tract and assigned “E” Neighborhood Commercial zoning upon annexation (case no. ZC-16-199). Several of the existing uses on surrounding properties were in operation prior to the annexation in 2016 and may not align with current allowed uses in the “E” Neighborhood Commercial District.

The applicant is requesting to rezone the 2.21-acre subject property from “E” Neighborhood Commercial to “FR” General Commercial Restricted to allow for boat sales and service use. There is an existing commercial building on the property that would be used for the sales office and service space, and boats would be stored on the rear portion of the lot. Most automotive related uses are not allowed in the “E” Neighborhood Commercial zoning district including boat rental or sales.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / Commercial Buildings, Outdoor Storage
East “E” Neighborhood Commercial / RV Park, Convenience Store
South “A-5” One-Family / Single-Family Dwellings
West “E” Neighborhood Commercial / Commercial Buildings, Single-Family Dwelling

Recent Zoning History

- ZC-16-199: Assigned “E” Neighborhood Commercial zoning to the subject property upon annexation.

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were notified: (emailed September 28, 2021)

Organizations Notified	
Northwest Fort Worth Neighborhood Alliance	North Lake Worth NA
Scenic Shores NA*	Streams And Valleys Inc
Trinity Habitat for Humanity	NAS Fort Worth JRB RCC
Fort Worth ISD	Azle ISD

**This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this site from “E” Neighborhood Commercial to “FR” General Commercial Restricted. All surrounding properties to the north, east, and west that front Jacksboro Highway are zoned “E” Neighborhood Commercial. These properties are developed with a variety of commercial and industrial uses, many of which were in operation prior to annexation of this property in 2016. These uses include an RV park, convenience store, and large areas of outdoor storage. Properties immediately to the south are zoned “A-5” One-Family and are developed with single-family residences.

The existing “E” Neighborhood Commercial zoning was assigned upon annexation of the property in 2016 to align with the Future Land Use Designations for this site, and also due to the proximity to Lake Worth, which is a water supply source for the City of Fort Worth.

The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far West

The 2021 Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. “FR” General Commercial Restricted is not included in the list of zoning districts envisioned for the Neighborhood Commercial category, as detailed in the excerpt from the Comprehensive Plan below. The existing zoning of this site, “E” Neighborhood Commercial, is included in this list.

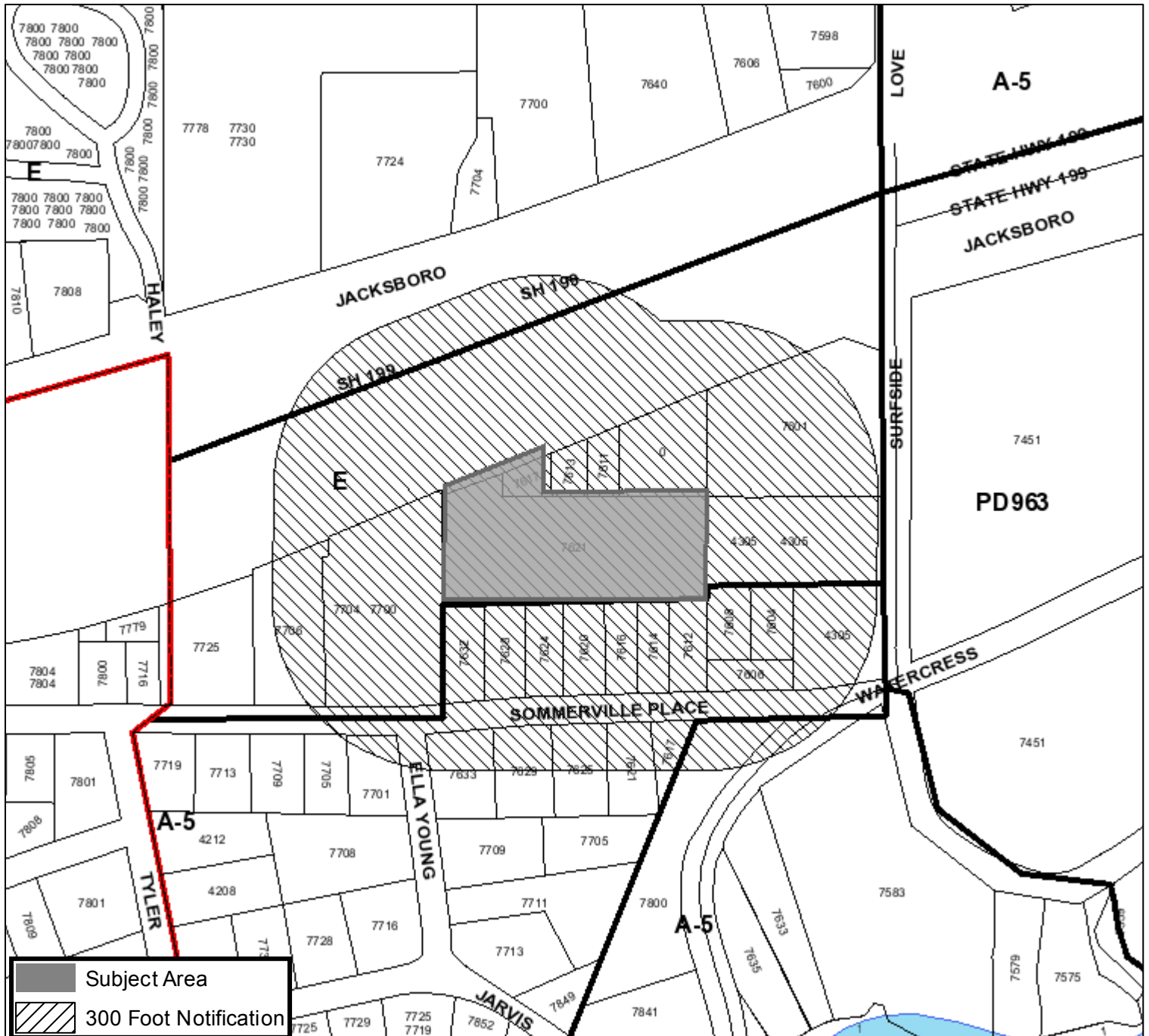
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes



The proposed zoning is **not consistent** with the Comprehensive Plan (technical inconsistency).

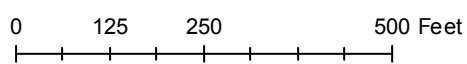


Area Zoning Map

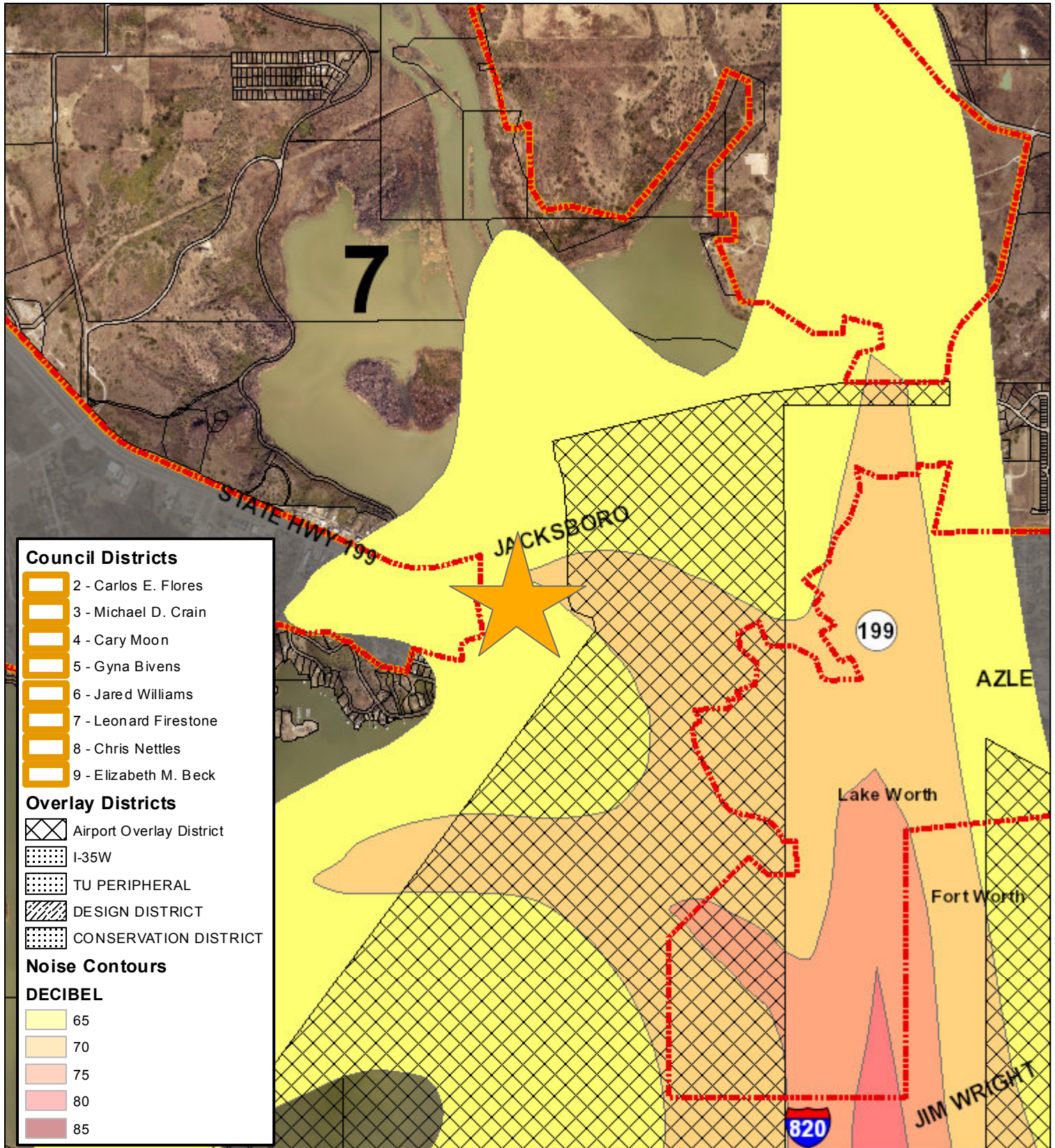
Applicant: 6824 LP
 Address: 7617 - 7621 (odds) Jacksboro Highway
 Zoning From: E
 Zoning To: FR
 Acres: 2.21309391
 Mapsco: 45U
 Sector/District: Far West
 Commission Date: 10/13/2021
 Contact: 817-392-2495



 Subject Area
 300 Foot Notification








Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

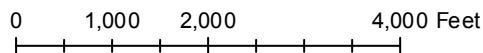
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

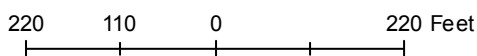
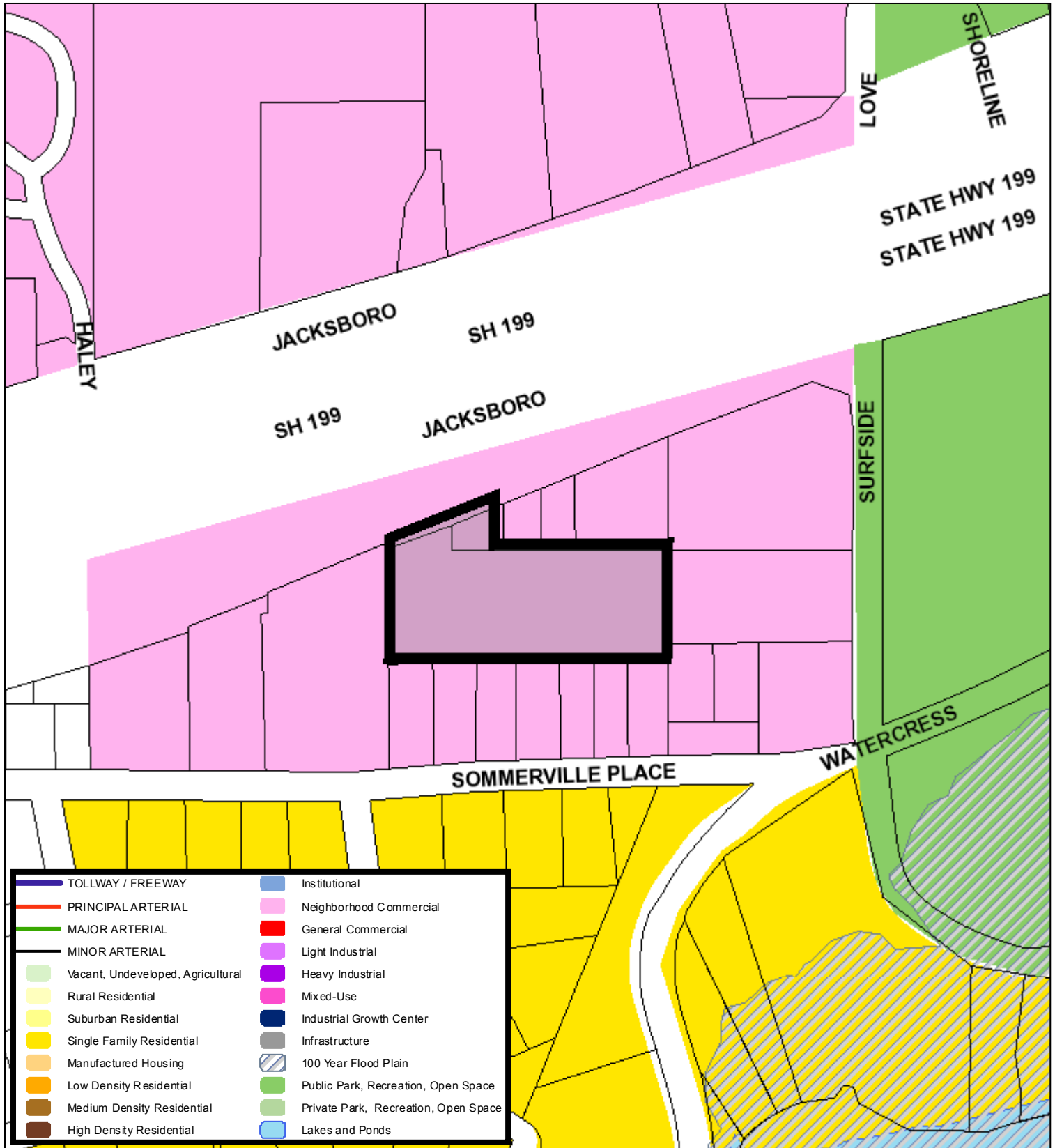
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 140 280 560 Feet





Zoning Commission

Date **October 13, 2021**

Case Number **ZC-21-157**

Council District **9**

Zoning Map Amendment

Case Manager: [Sevanne Steiner](#)

Owner / Applicant: James G. Brooks Jr./ City of Fort Worth- Justin Newhart

Site Location: 2308 Winton Terrace West

Acreage: 1.35 acres

Request

Proposed Use: Intermodal Logistics Center

Request: From: "A-5/ DD" One Family/ Demolition Delay Overlay

To: "A-5/ HC" One Family Historic and Cultural Landmark Overlay

Recommendation

HCLC Recommendation: **Approval**

Staff Recommendation: **Approval**

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- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Eligibility for Designation](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

Constructed in c. 1928, the structure at 2308 Winton Terrace West is significant for its association with one of the first planned subdivisions and designed residential landscapes in Fort Worth's Southside, developed in response to the economic boom of the 1920s (Criterion 1); as an example of residential architecture influenced by Spanish Revival and Romanesque Revival (Criterion 2); and for its association with William A. Hanger, a lawyer and state senator who made significant contributions to the culture and development of Fort Worth during the early and mid-20th century (Criterion 4).

In regards to Criterion 1, the structure at 2308 Winton Terrace West is significant for its association with the creation of planned subdivisions with designed residential landscapes on Fort Worth's Southside, developed in response to the economic boom associated with the discovery of oil fields west of Fort Worth in the 1920s. The early 1920s were a significant time in Fort Worth's efforts to manage growth through planning, with the establishment of the City Plan Commission in 1925 and the issuance of the first municipal bond for infrastructure, sanitation, and park sites. The Parkhill subdivision, platted in 1925, was an exclusive scenic neighborhood designed by the architecture firm Hare & Hare, a group that contributed significantly to landscape and park planning in Fort Worth in the early 20th century. The firm designed hundreds of projects in the city, including the Fort Worth Botanical Gardens. Parkhill was Hare & Hare's first residential subdivision in Fort Worth; designed to take advantage of area topography and the location's proximity to Forest Park and the Fort Worth Zoo, the large-lot subdivision was organized around two concentric, curvilinear and tree-lined streets that encircle the top of the hill. From a landscape design perspective, this hillside backdrop created dramatic views for the area's well-to-do residents. The Parkhill subdivision, and the property at 2308 Winton Terrace W., are excellent examples of a scenic residential landscape in South Fort Worth and exemplifies pre-war planning and suburbanization outside of the city's core.

In regards to Criterion 2, the property at 2308 Winton Terrace West is significant as an important example of a unique architectural style in Fort Worth. Designed by Fort Worth architect James C. Teague in 1928, the structure consists of interlocking two story gabled wings with a third story belvedere. A one-story wing extends to the north and terminates in a garage addition. The primary character of the building is Spanish Revival, as expressed in the rounded arches over windows and doors, the low-pitched roof with a shallow eave overhang, the use of red Spanish tile, and the asymmetrical facade. Detailing such as the repeated use of arches, the drop frieze on the front gable, and the front porch columns are specifically Romanesque Revival in style. The southern elevation is characterized by terraces and arcaded loggias, which open the facade. This large hilltop house is an excellent example of a Spanish Revival-influenced architectural specimen adapted to large lot residential subdivisions in Fort Worth.

In regards to Criterion 4, the property at 2308 Winton Terrace West is significant not only for its association with the firm of Hare & Hare, but also for its association with its former resident and owner, William A. Hanger (1869-1944). Hanger was one of Fort Worth's most prominent lawyers of the pre-war period and practiced law in Tarrant County for fifty-four years. Hanger joined the law firm of William Capps and S.B. Cantey (which is still in business in Fort Worth today as Cantey & Hanger) shortly after the turn of the century and was instrumental in the formation of the Northern Texas Traction Company, an entity that operated the streetcar and interurban streetcar lines in Fort Worth. From 1898 to 1906, William Hanger was a state senator, attaining the position of president pro tem of the Senate. Additionally, both William Hanger and his wife Mattie had a significant influence on the culture and development of Fort Worth during the early and mid-20th century through their involvement in a number of civic organizations; Mattie Hanger was the first female president of the Fort Worth Library Association, and William Hanger was a director of the Fort Worth Exposition and Fat Stock Show. William Hanger thus played a significant role in the civic and political life of the city of Fort Worth for decades.

Integrity is the ability of a property to convey its significance. The designation of a property must not only be shown to have significance under Zoning Ordinance, but it also must have integrity. Within the concept of integrity for example, the National Park Service criteria recognizes seven aspects that define integrity.

Seven Aspects of Integrity

1. **Location.**
2. **Design.**
3. **Setting.**
4. **Materials.**
5. **Workmanship**
6. **Feeling.**
7. **Association.**

In relation to the Seven Aspects of Integrity:

1. The structure is still in its original **location** from when it was constructed in 1928.
2. The **design** of the structure is still intact and identifiable.
3. The structure's original **setting** from the 1920s is still extant, including significant tree canopy and scenic views of the park. The overall residential subdivision of Parkhill is still intact (See Fig. 5).
4. The property's original **materials** appear generally intact. The original brick walls, 6/1 windows, roof tiles, and site features such as the terraced backyard garden area are still extant. However, the buff brick of the exterior was covered over sometime between 2013 and 2014 with a treatment that appears to be stucco (thus hiding the original brick texture and pattern on the exterior). Enough archival evidence remains to reinstate original conditions and original materials. Additionally, the application of stucco will help to protect and prolong the life of the masonry cladding beneath.
5. The property still displays the physical evidence of **workmanship** from the 1920s, such as its front facing stained glass windows, porch columns, and the drop frieze on the front gable.
6. The property still retains its **feeling** as a revival-style residence that was constructed to house the Fort Worth's professional and political class.
7. The property still retains its **association** with pre-WWII suburban development and growth outside the city's core.

Surrounding Zoning and Land Uses

North "A-5" One Family/ single family residence
East "A-5" One Family/ single family residence
South "A-5" One Family/ single family residence
West "A-5" One Family/ single family residence

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Park Hill Place HOA*	Colonial Hills NA
Frisco Heights NA	University West NA
Berkeley Place NA	Tarrant Regional Water District
Streams and Valleys Inc	Trinity Habitat for Humanity

* Located within this registered Neighborhood Association

Development Impact Analysis

Eligibility for Designation

The structure meets the following City of Fort Worth criteria for historic designation:

Criterion 1: Is distinctive in character, interest or value, and exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States.

Criterion 2: Is an important example of a particular architectural type or specimen or embodies elements of architectural design, detail, material or craftsmanship that represent a significant architectural innovation in Fort Worth.

Criterion 4: Has been identified with a person or persons who significantly contributed to the culture and development of the City of Fort Worth, State of Texas or the United States.

Integrity

Based on the evidence still extant at the property, the property at 2308 Winton Terrace West sufficiently retains all seven aspects of integrity (location, design, setting, materials, workmanship, feeling, and association).



Summary

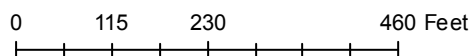
Staff have found evidence that the property meets 3 of the 8 Criteria for Designation. The property also retains its original integrity and the identity for which it is significant. This is consistent with the requirements of the ordinance for Historic & Cultural Landmark properties.

Area Zoning Map

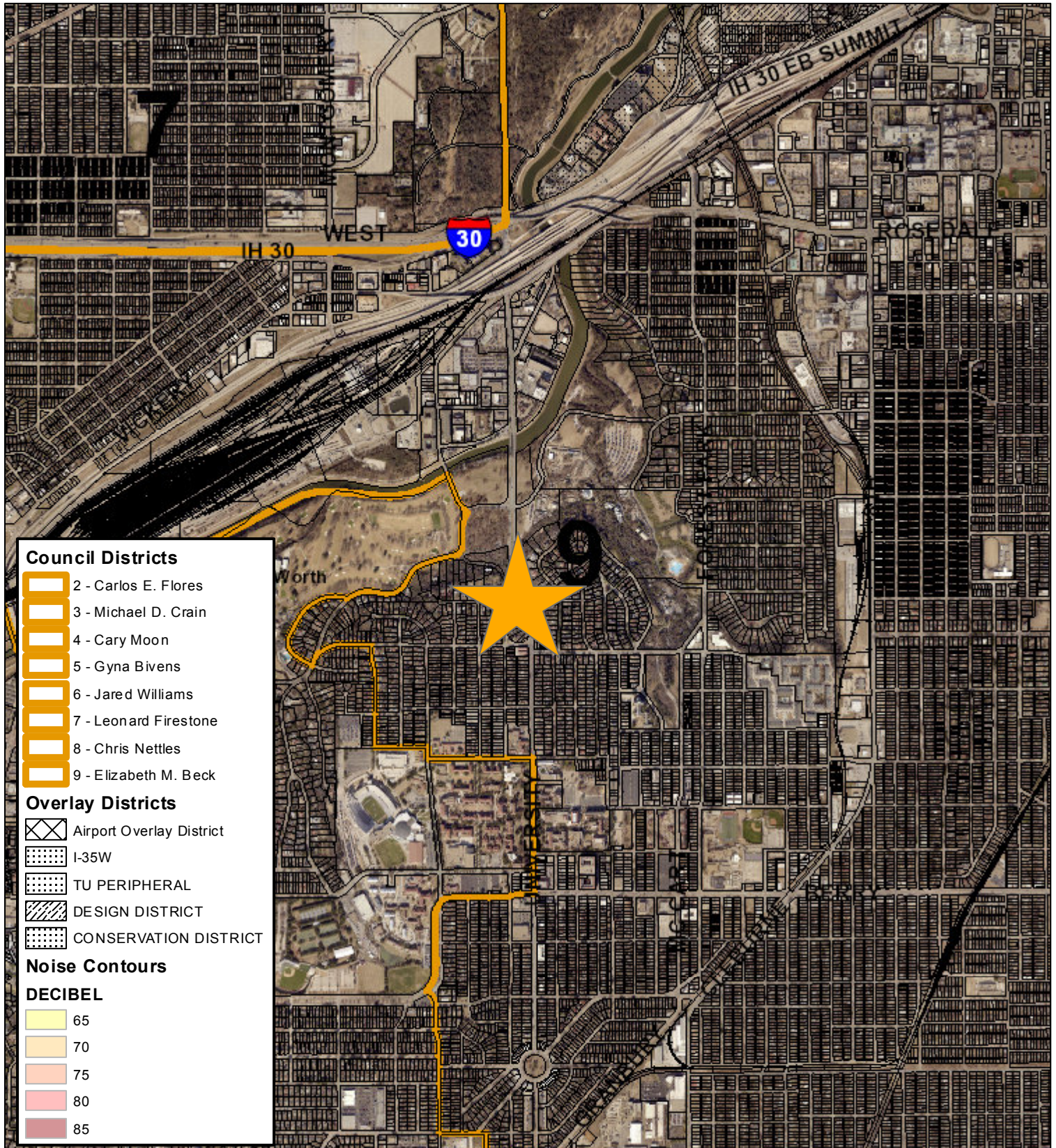
Applicant: James Brooks Jr.
 Address: 2308 Winton Terrace West
 Zoning From: A-5/DD (Demolition Delay Overlay)
 Zoning To: Conversion to Historic and Cultural Overlay (HC)
 Acres: 1.35083023
 Mapsco: 76S
 Sector/District: TCU/W.cliff
 Commission Date: 10/13/2021
 Contact: 817-392-8574



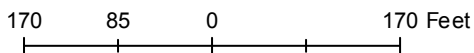
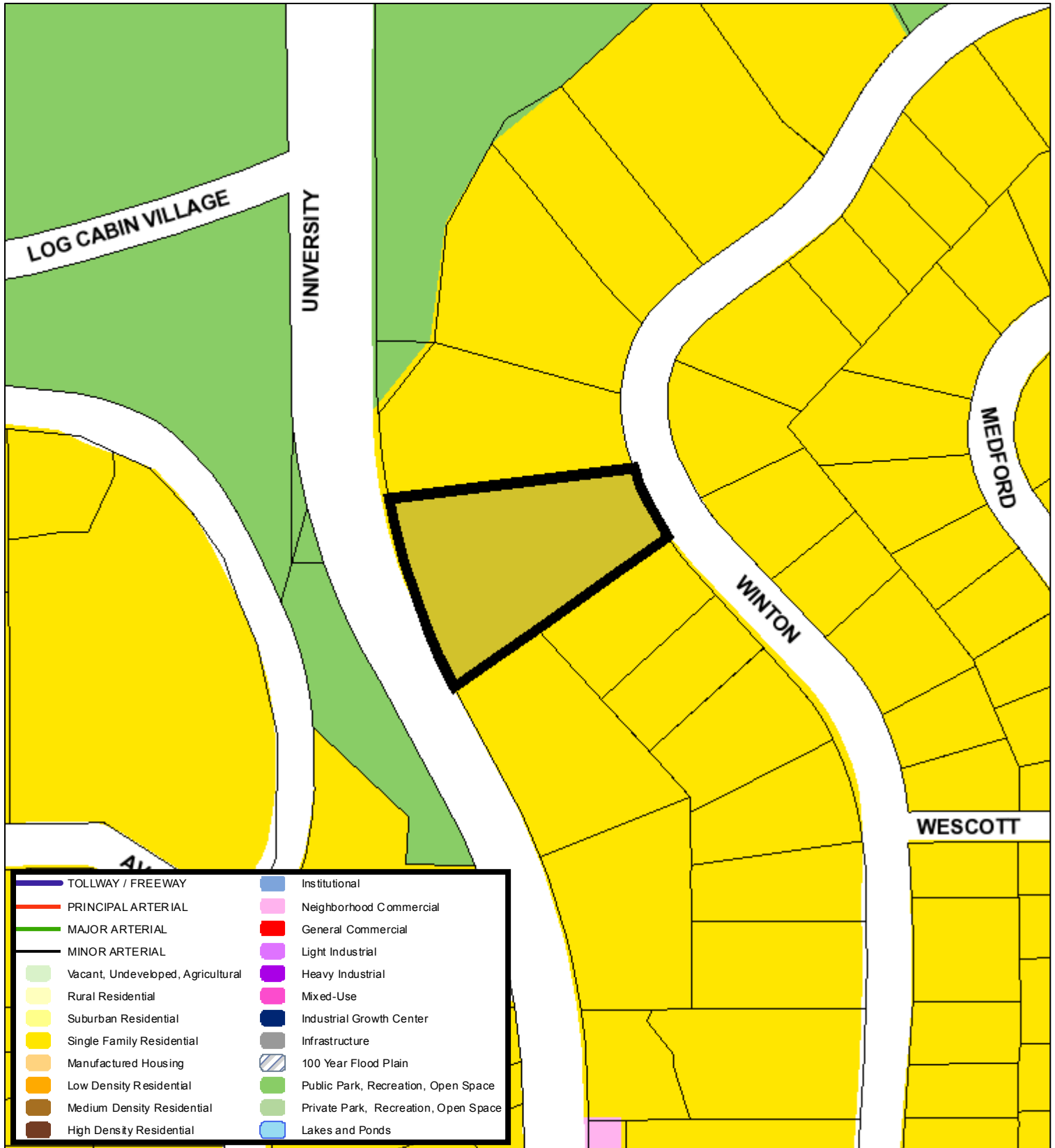
	Subject Area
	300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 110 220 440 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-159

Council District: 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Sorany Marulanda & Orbin Portillo / Jocelyn Cruz

Site Location: 5336 Ramey Avenue

Acreage: 0.1086 acres

Request

Proposed Use: Single Family Residential

Request: From: "E/SS" Neighborhood Commercial with Stop Six Overlay

To: "AR/SS" One-Family Restricted with Stop Six Overlay

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change is **not consistent**

Staff Recommendation: **Denial**

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4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Area Zoning Map with 300 ft. Notification Area
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Project Description and Background

The property is within the Whitmore Courts Addition and NEZ Area Six. The present owner is listed as the intended developer of the property on the application. The proposal to rezone this lot would change the current “E” Neighborhood Commercial zoning to “AR” One Family Restricted zoning, granting an allowance for one (1) single family dwelling unit to be built on the lot. The lot is slightly less than 5,000 square feet, and does not meet the criteria for “A-5” zoning, so “AR” makes sense as the next closest residential zoning category for lots of this size. The setbacks for a house would be based on a combination of the “AR” zoning requirements and plat requirements. The plat shows a 25’ building setback line along Willspoint Court. The zoning requires 5’ minimum rear yard building setback, and a 10’ side building setback facing Ramey Avenue. The interior lot line would have a 0’ building setback, but may need to inquire about establishing a maintenance easement if a building is proposed to be built this close to the property line.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / vacant
East “E” Neighborhood Commercial / retail strip center
South “E” Neighborhood Commercial / undeveloped
West “E” Neighborhood Commercial / undeveloped

Recent Zoning History

- ZC-19-116 approved September 10, 2019 to add Stop Six Design Overlay,

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 24, 2021:

Organizations Notified	
Parkside NA	Stop 6/Poly Oversight
Historic Stop Six NA	East Fort Worth, Inc
Historic Rosedale Park NA	Trinity Habitat for Humanity
Historic Carver Heights NA	Streams and Valleys Inc
Stop Six Sunrise Edition NA*	Fort Worth ISD

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

A residential use (such as a single family house) is considered among the least intensive land uses, in comparison to commercial or industrial type applications. If a house is built on this site, it should face Willspoint Court, which is a residential street, rather than Ramey Avenue. Ramey functions more as a neighborhood collector street, and contains transit lanes and the #9 Trinity Metro bus route which is not conducive to curb cuts and driveways.

The Stop Six Overlay contains the following requirements for new single-family construction:

ELEMENT	STANDARD
Building Materials	At least 70% of all sides of a new residential structure shall be masonry: stone, brick, terra cotta, patterned pre-cast concrete, cement board siding, cast stone or prefabricated brick panels
Garages	A 2-car garage is required. Garages facing the street shall be located at or behind the front wall and shall not project in front of the front wall. All required parking spaces above 2 shall be behind the front wall.
Building Design and Architectural Features	<ul style="list-style-type: none"><input type="checkbox"/> Homes shall have an entry feature such as a porch or stoop that faces the street.<input type="checkbox"/> Open porches can extend up to 10 feet into the minimum front yard to encourage larger porches. If a porch is provided, it shall be a minimum 6 feet in depth.<input type="checkbox"/> Homes shall have a minimum of one 8 square foot window on all sides of the house. The front wall shall have a minimum total window area of 16 square feet.<input type="checkbox"/> Front doors shall face the public street and shall be visible from the public street. Front door openings shall not be recessed more than 6 feet from the front wall of the home.
Landscaping	Landscaping shall be kept to allow visibility to and from street-facing doors and windows. A variety of landscape plants and materials in the front yard is highly encouraged.

The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2021 Comprehensive Plan currently designates the subject property as future Neighborhood Commercial. The zoning types that would support this vision are Multifamily Residential (“C”, “CR”, or “D”), Neighborhood

Commercial (“ER” or “E”), and Mixed-Use (“MU-1”). The proposed One Family Restricted “AR” zoning does not support the growth of future commercial.

The segment of Ramey Avenue between Dillard Street on the west and Stalcup Road on the east is largely zoned and classified under the Comprehensive Plan as a commercial node. There are no houses adjacent to Ramey Avenue in this four (4) block segment. Beyond Dillard Street and Stalcup Road, Ramey Avenue does transition to a more residential character, however this particular street segment seems to be historically more of a commercial center for the community. There should be some consideration for preserving existing commercially zoned sites to support future commercial development as the area continues to grow with infill residential development.

The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation. If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

Economic Development Plan

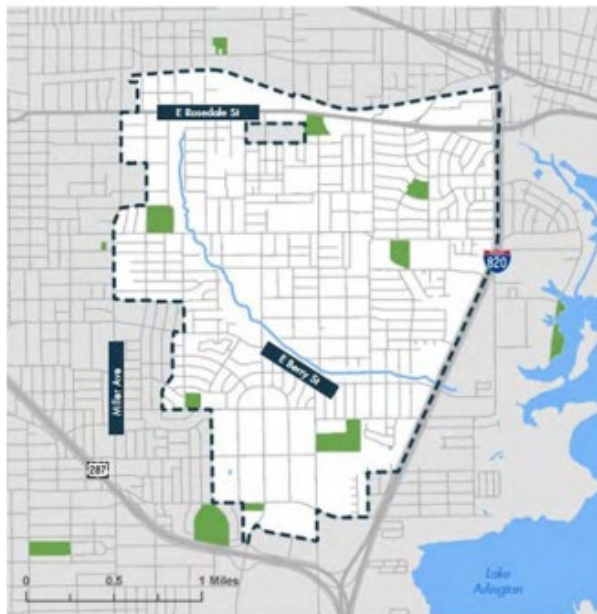
The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. Six different target areas in Fort Worth were identified and analyzed. The below recommendations apply to this project:

Stop Six Target Area

“Housing investment and reinvestment are the most important strategies for this area to raise the level of appeal to existing and future residents as well as businesses.”

TARGET AREA: STOP SIX

FIGURE 9. STOP SIX SNAPSHOT

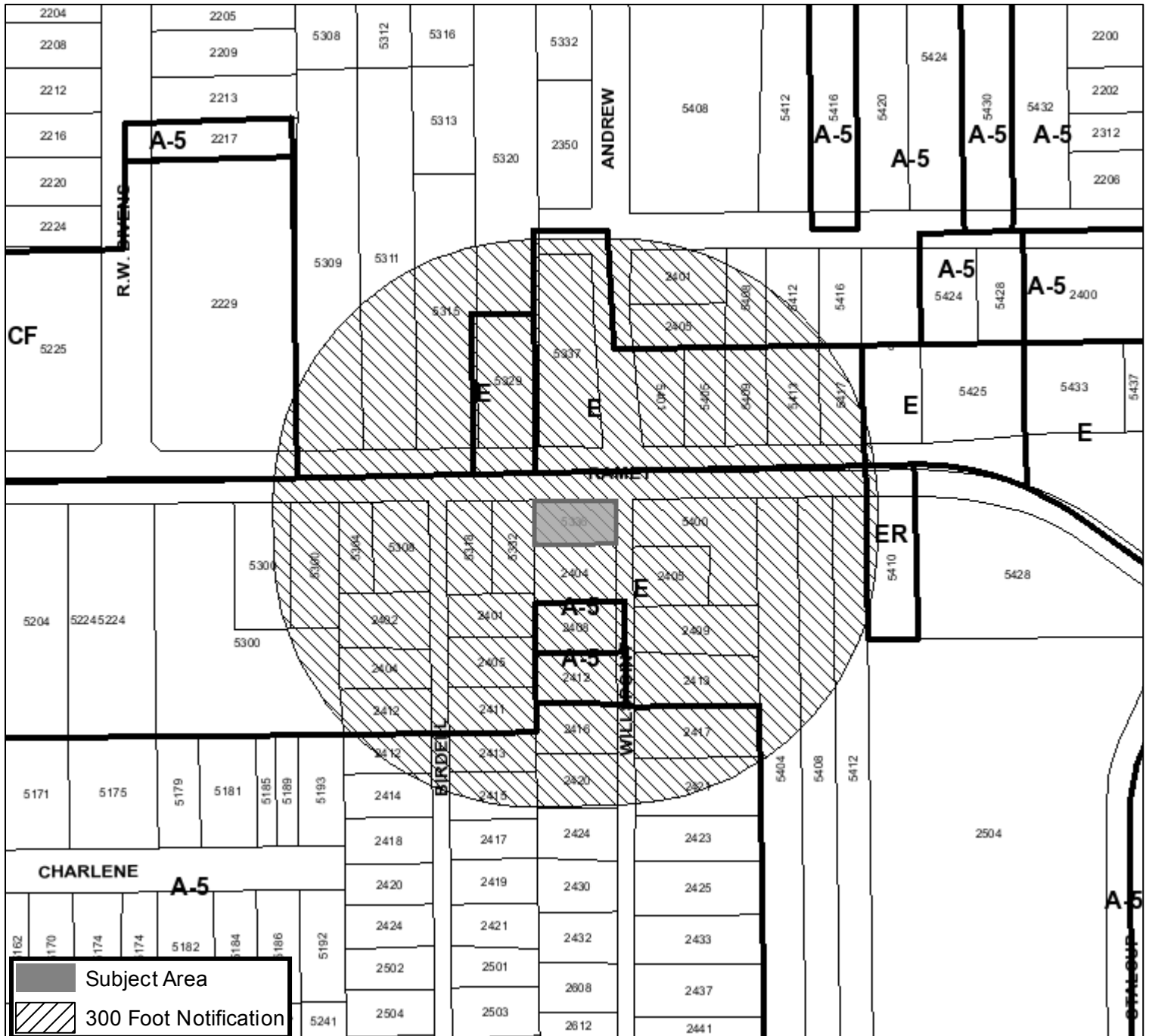




INDICATOR	VALUE
Total area (acres)	2,638
Dominant zoning district: single family A-5	55%
DEMOGRAPHICS & COMMUTING	
Total residents	13,321
Median household income	\$27,772
Inbound commuters (work in area)	1,552
Outbound commuters (live in area)	4,844
PROJECTED EMPLOYMENT INCREASE BY 2040	
NCTCOG forecast (jobs added)	3,575
FA growth target (jobs added)	3,575
INCENTIVES IN STUDY AREA	
Urban Villages Plan	Yes
Neighborhood Empowerment Zone	Yes
PID District	No
TIF District	No

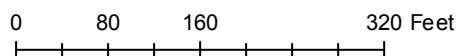
Sources: City of Fort Worth (map, acreage, land use, zoning, and incentives); U.S. Census Bureau ACS, 2015 5-year estimates (population and income); US Census Bureau, Local Employment Dynamics (commuting); FA Envision Tomorrow analysis (FA Employment Growth); NCTCOG 2040 regional growth forecast (NCTCOG employment growth forecast).

Area Zoning Map

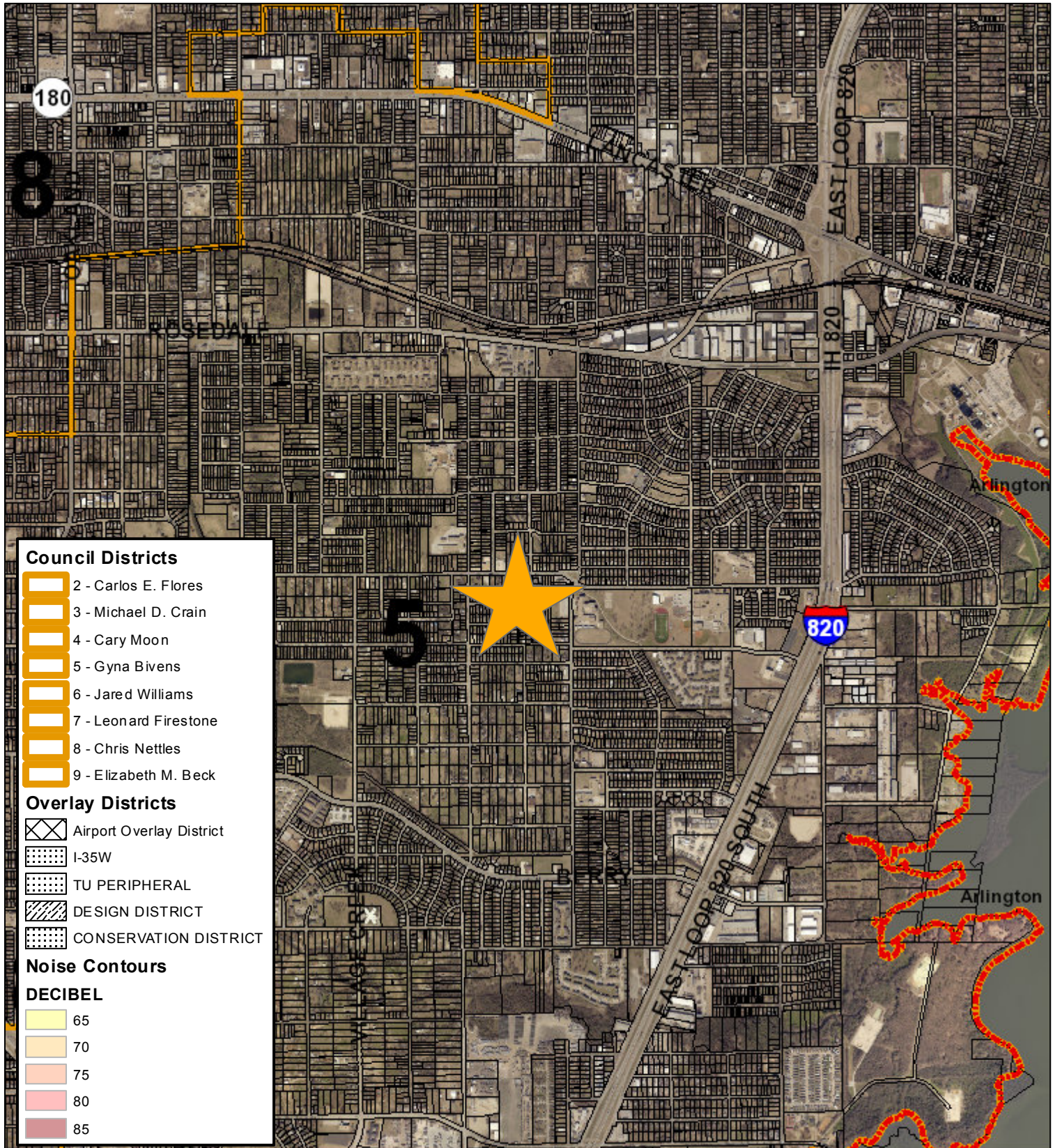
Applicant: Sorany Marulanda & Orbin Portillo
 Address: 5336 Ramey Avenue
 Zoning From: E
 Zoning To: AR
 Acres: 0.10861131
 Mapsco: 79Q
 Sector/District: Southeast
 Commission Date: 10/13/2021
 Contact: 817-392-8043



	Subject Area
	300 Foot Notification








Area Map








Council Districts

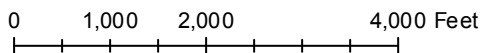
-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

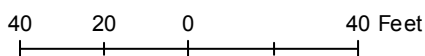
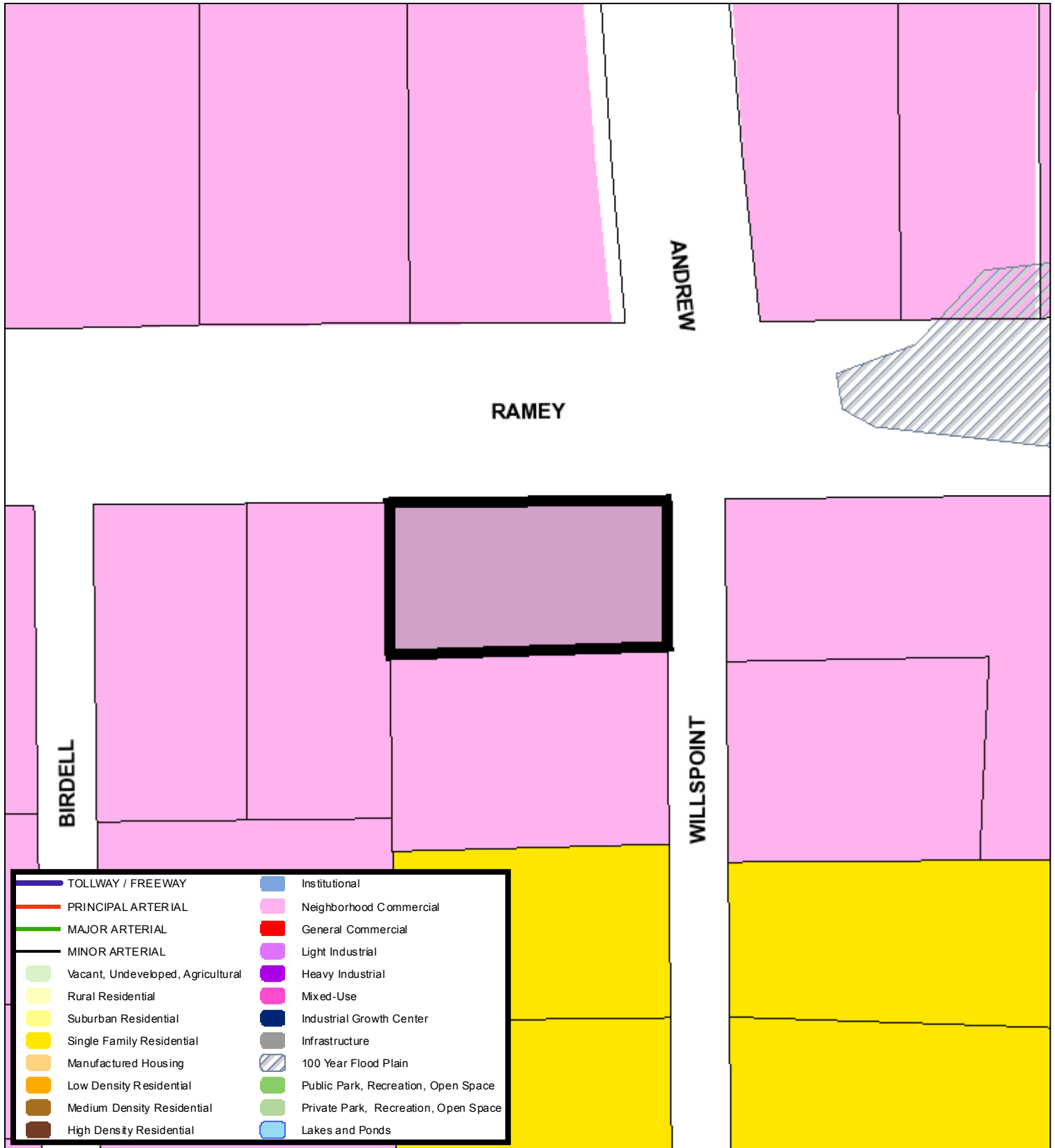
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 25 50 100 Feet





Zoning Commission

Date: October 13, 2021

Case Number: ZC-21-161

Council District 9

Zoning Map Amendment

Case Manager: [Sevanne Steiner](#)

Owner / Applicant: BH Operations/ Phillip Stewart

Site Location: 515 – 521 Samuels Avenue Acreage: 0.27

Request

Proposed Use: Multifamily

Request: From: “D” High Density Multifamily, PD 489/ “H” Central Business District/Downtown Urban Design District Overlay

To: “PD/H” Planned Development for “H” Central Business District uses and the Downtown Urban Design District overlay with a ten (10) story height limit; site plan waiver requested

Recommendation

Land Use Compatibility: Requested change **is compatible.**

Comprehensive Plan Consistency: Requested change **is consistent.**

Staff Recommendation: **Approval**

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The properties are located between at the top of Trinity River bluff and Samuels Avenue. The applicant is proposing a zoning change from various zoning districts to “PD/H” Planned Development for “H” Central Business District uses and the Downtown Urban Design District Overlay with a height restriction of ten (10) stories. The property is currently vacant land. The applicant intends to redevelop the property for townhomes. The applicant will be subject to the Downtown Urban Design Standards and Guidelines and the Downtown Urban Design District will approve the site plan.

Surrounding Zoning and Land Uses

North PD 489/ “H” Central Business District / Townhomes
East PD 489/ “H” Central Business District / Apartments
South PD 489/ “H” Central Business District / Condominiums
West PD 488/ “H” Central Business District/ Vacant- Trinity River

Recent Zoning History

- A portion of the site was rezoned to PD 489/ H in 2008.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Downtown Fort Worth Inc.	Samuels Ave/ Rock Island NA*
Greenway NA	Inter-District 2 Alliance
Fort Worth ISD	East Fort Worth, Inc.
Streams and Valleys Inc.	Fort Worth Downtown Neighborhood Alliance
Trinity Habitat for Humanity	

Development Impact Analysis

** Located within this registered Neighborhood Association*

Land Use Compatibility

The surrounding land uses are all high-density multifamily projects. Additionally, they are all zoned PD/ “H” Central Business District.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency

The 2021 Comprehensive Plan designates the subject property as Downtown Growth Center. The proposed “PD/H” Planned Development for “H” Central Business District zoning district, is consistent with the following Comprehensive Plan policies.

- Accommodate higher density residential and mixed uses in areas designated as a mixed-use growth center on the City’s future land use maps.

Based on conformance with the future land use map and policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

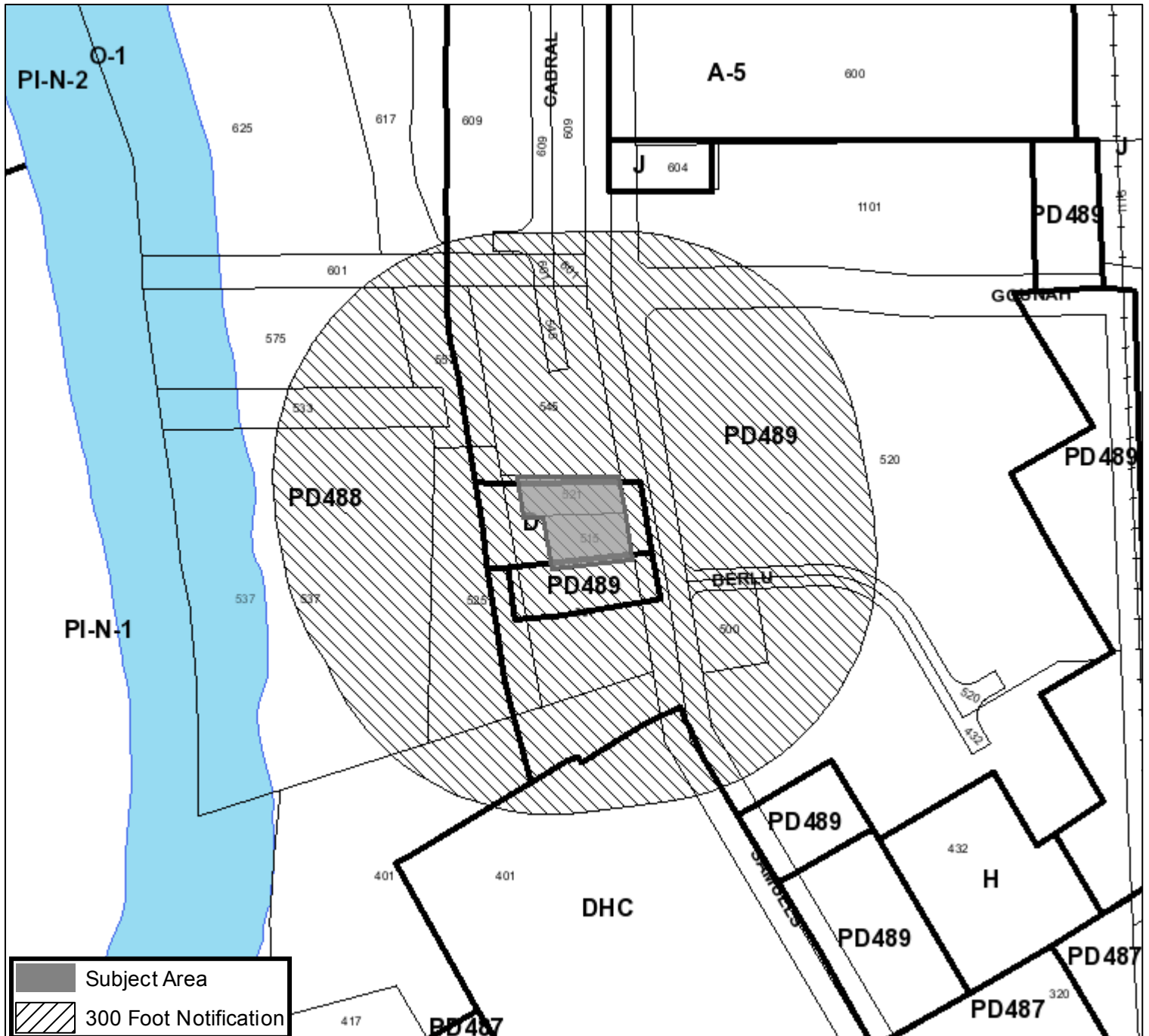
Economic Development Plan



The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. Six different target areas in Fort Worth were identified and analyzed. The below recommendations apply to this project:

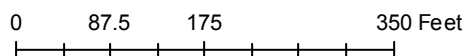
- Rapidly increase the density of residential development in downtown Fort Worth and surrounding urban districts.
- Evaluate and revise zoning to encourage dense mixed-use development along key corridors radiating out from downtown

Area Zoning Map

Applicant: Brewer & Hale LLC
 Address: 515 - 521 (odds) Samuels Avenue
 Zoning From: D, PD 489 for certain H uses
 Zoning To: PD for H uses
 Acres: 0.27861967
 Mapsco: 63S
 Sector/District: Northeast
 Commission Date: 10/13/2021
 Contact: 817-392-8012



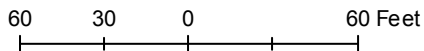
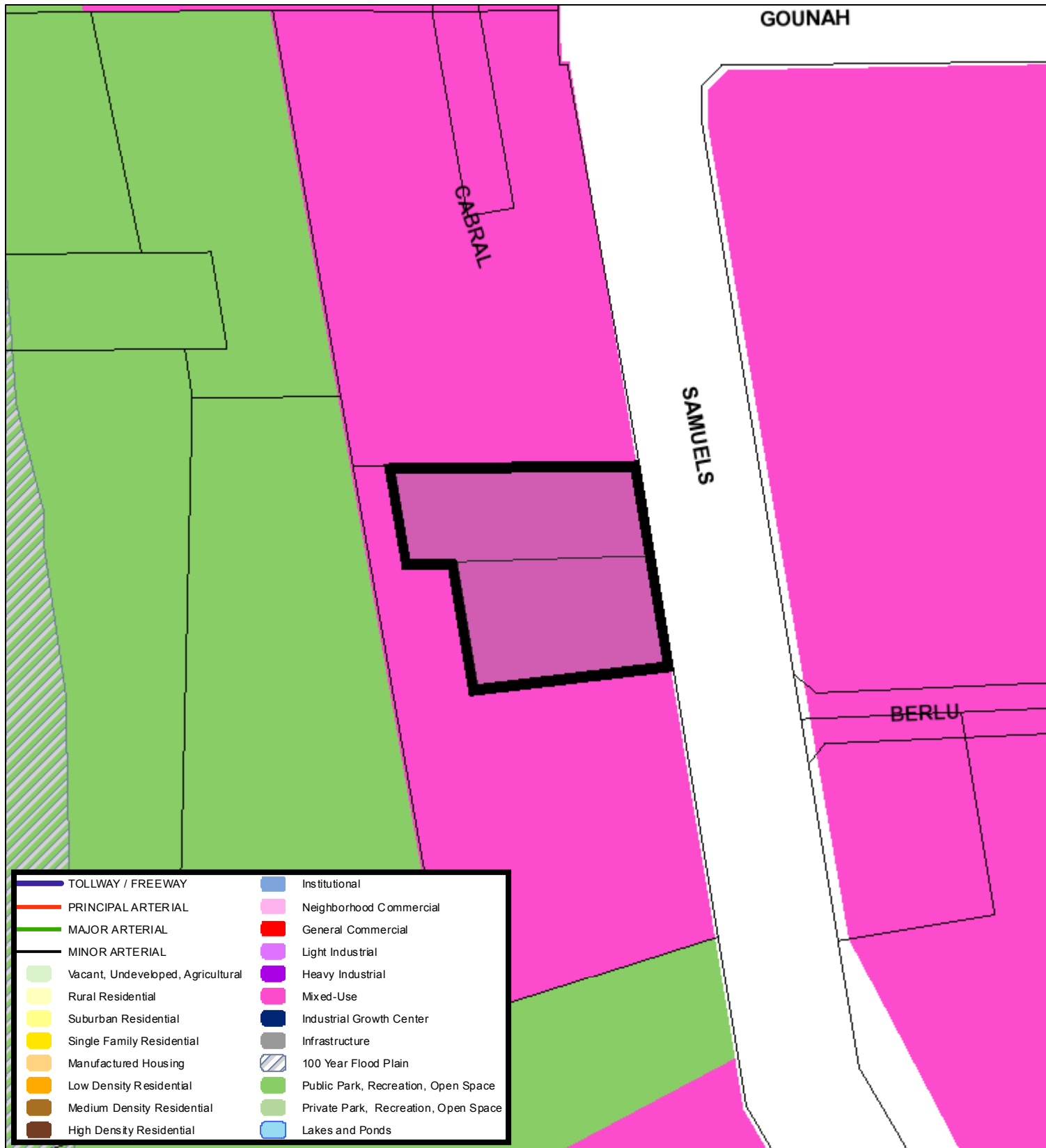
	Subject Area
	300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-162

Council District: 7

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: 11120 North Freeway LLC / TX-Davis Development, Gene Babb

Site Location: 3048 Bailey Drive

Acreage: 11.00 acres

Request

Proposed Use: Multifamily

Request: From: “G” Intensive Commercial with I-35W Central Overlay

To: “D” High Density Multifamily with I-35W Central Overlay

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The site is located near the intersection of North Freeway (I-35W) and Golden Triangle Boulevard. The site has a limited amount of frontage on I-35W, however a majority of the site faces and accesses off of Bailey Drive. This area is contained within City Council District 7 and is currently zoned “G” Intensive Commercial. The applicant is proposing a zoning change to “D” High Density Multifamily in order to develop an apartment community. The proposed development will need to meet all “D” requirements, including a cap not to exceed 32 units per acre and at least 35% Open space.

Surrounding Zoning and Land Uses

North “G” Intensive Commercial / auto dealership
East “G” Intensive Commercial / self-storage and mini warehouse
South “G” Intensive Commercial / hotel
West “J” Medium Industrial / undeveloped

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 24, 2021:

Organizations Notified	
North Fort Worth Alliance	Trinity Habitat for Humanity
Villages of Woodland Springs HOA*	Keller ISD
Streams and Valleys Inc	

* Located closest to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

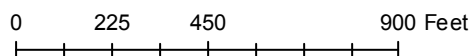
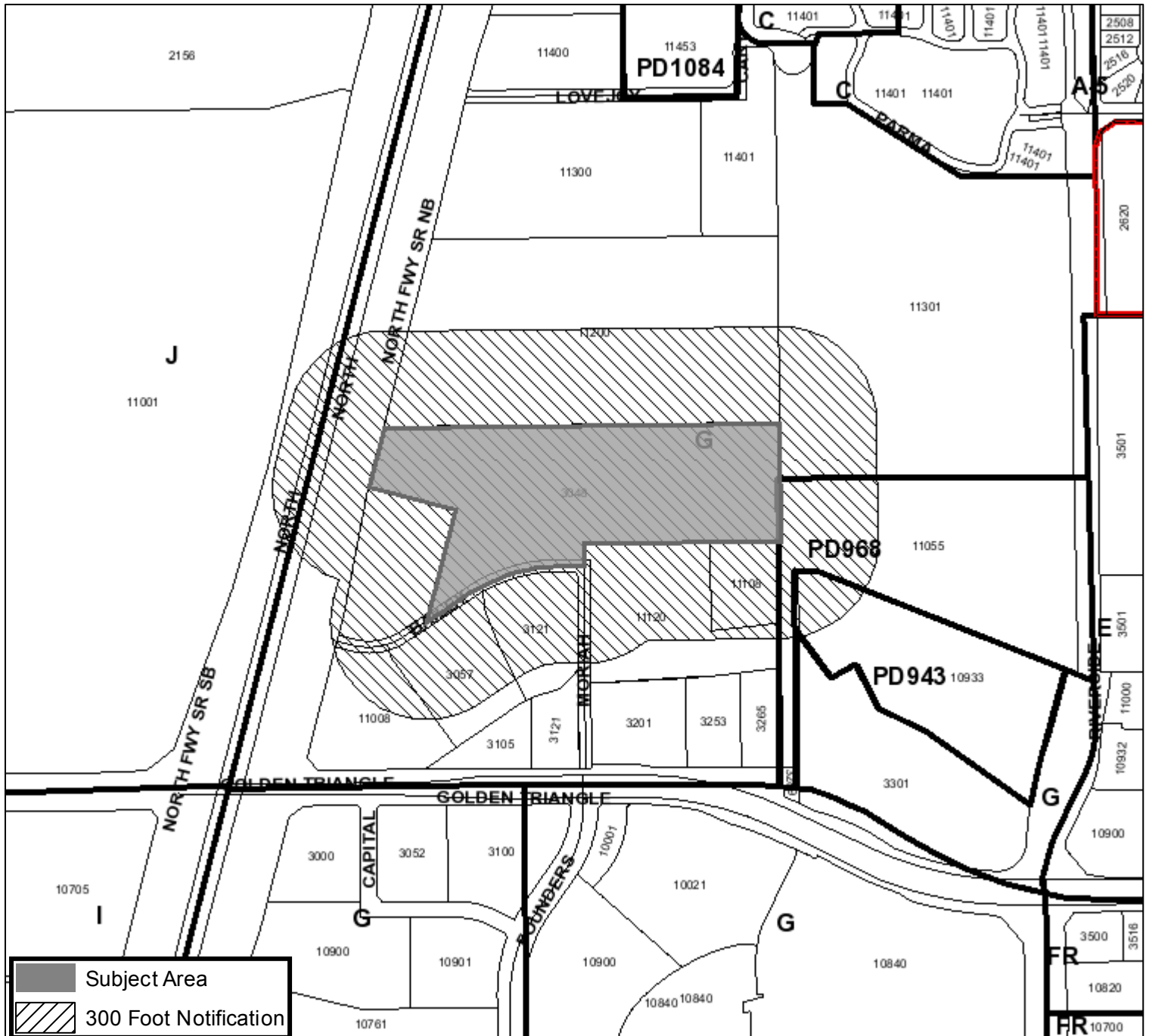
The applicant is requesting to change to zoning of this property from “G” Intensive Commercial to “D” High Density Multifamily. Surrounding land uses consist of self-storage, a car dealership, a church, a gas station, and a fast food outlet. Based in part on the large amount of undeveloped land close by, an apartment community would not be disruptive to existing uses in the vicinity. Proximity to the Trinity Metro North Park-n-Ride Express bus (63X) is also favorable for multifamily projects. The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far North

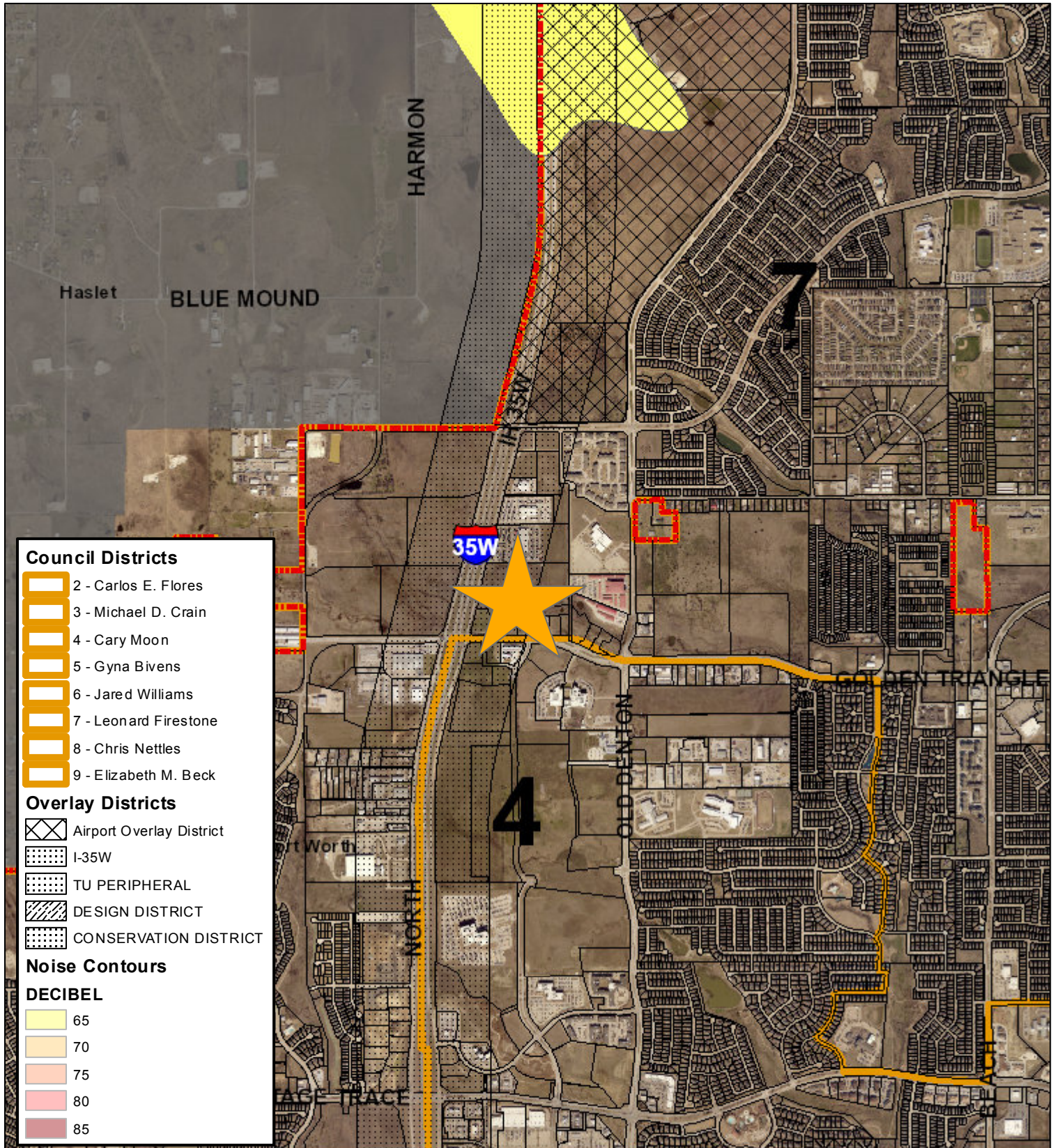
The 2021 Comprehensive Plan currently designates the subject property as General Commercial. The proposed zoning **is consistent** with the land use designations for this area.

Area Zoning Map









Applicant: 11120 North Freeway LLC
 Address: 3048 Bailey Drive
 Zoning From: G with I-35W Central Overlay
 Zoning To: D with I-35W Central Overlay
 Acres: 11.00525245
 Mapsco: 21L
 Sector/District: Far North
 Commission Date: 10/13/2021
 Contact: 817-392-8043








Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

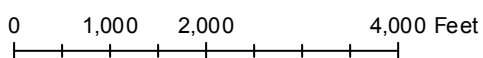
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

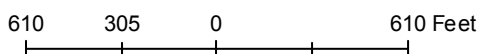
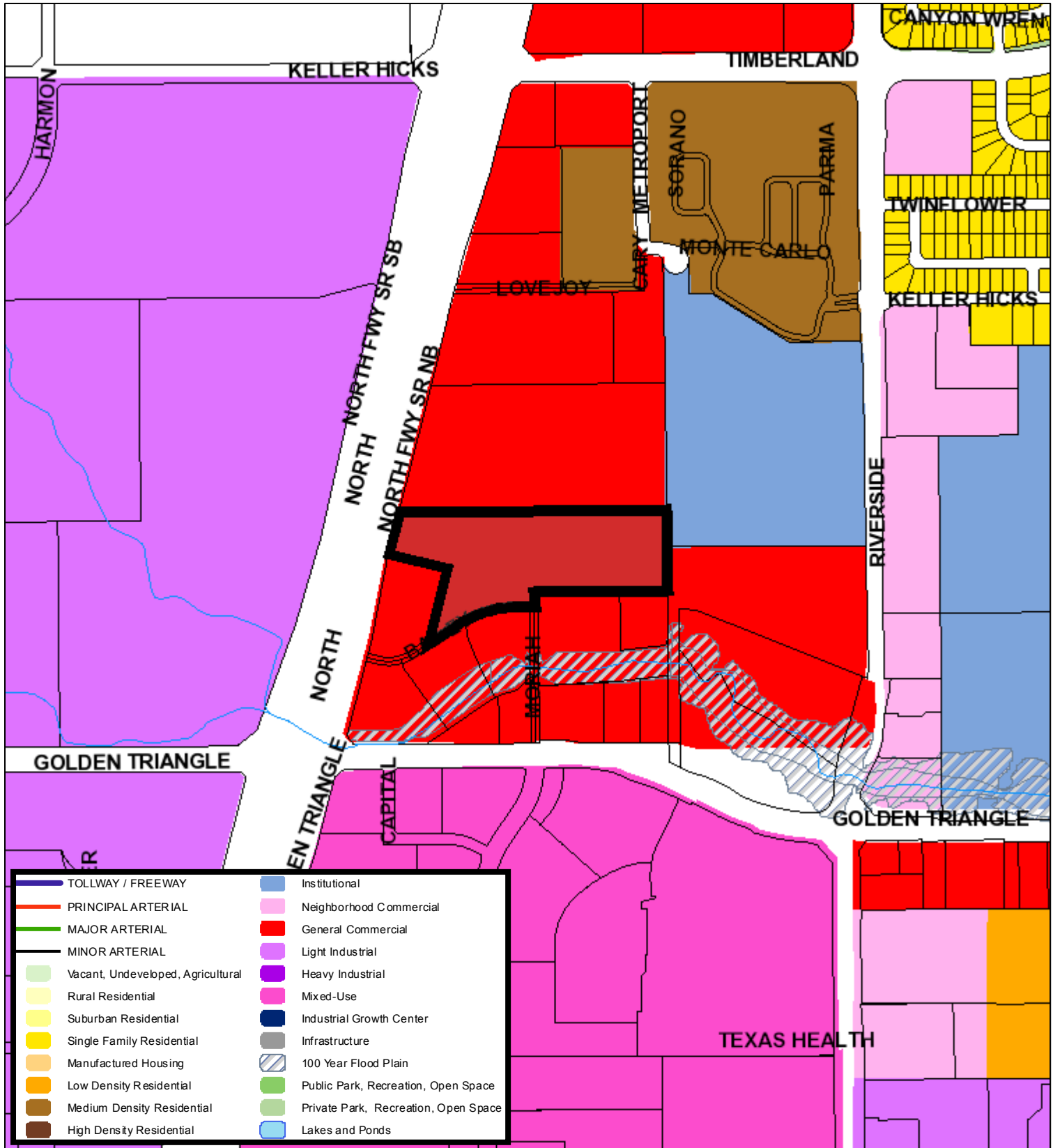
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



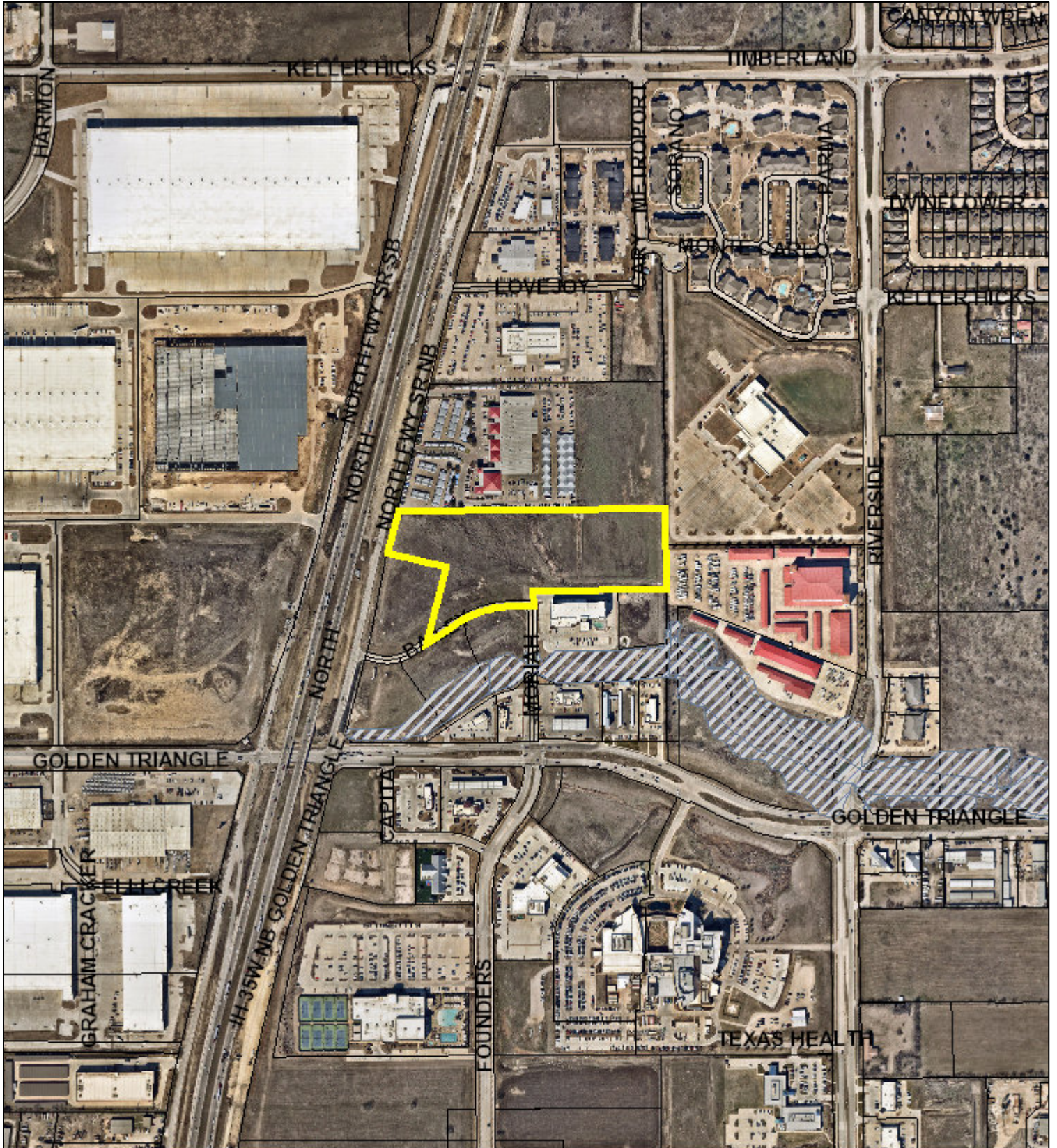
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 380 760 1,520 Feet





Zoning Commission

Date: October 13, 2021

Case Number: SP-21-023

Council District: 9

Site Plan Amendment

Case Manager: [Sevanne Steiner](#)

Owner / Applicant: 3017 Morton LLC/ Urbanworth, LLC – Darin Norman

Site Location: 3033 Morton Street

Acreage: 1.422 acres

Request

Proposed Use: Mixed - Use

Request: To: Amend the site plan for PD 1058

Recommendation

Staff Recommendation: **Approval**

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
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5. [Development Impact Analysis](#)
 - a. [Site Plan Comments](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The proposed development is located within the W. 7th Urban Village. High density mixed uses are encouraged within these areas in order to take advantage of proximity to employment areas, proximity to public amenities, and proximity to public transit. This vibrant, walkable, live/work environment is an important link between Downtown and the Cultural District. Mid- and high-rise housing, retail, and offices overlook the Trinity River corridor, providing scenic and recreational opportunities.

The property is located on the corners of University Street, Bledsoe and Morton Streets. The applicant is proposing to amend the site plan for PD 1058. The PD is based on “MU-2” for a single use building with a maximum 85 feet height.

Originally a multi-story hotel with parking garage was proposed. The applicant is now proposing a ten (10) story mixed-use structure with office, multifamily, hotel and retail with ground floor garage parking. Additionally, the new proposed project will encompass the entire block.

Surrounding Zoning and Land Uses

- ZC-15-124 to “PD/MU-2” Planned Development for all uses in “MU-2” High Intensity Mixed Use allowing a single use building to have a maximum 85 ft. height, 0’ rear yard, including façade variation for two scaling elements, low e efficient glass, integrated mechanical shading/glazing or other thermal light heat energy measure, metal, porcelain, spandrel panels or curtain walls for masonry requirement and utilize landscaping architectural elements for screening parking garage facade; site plan included
- ZC-02-221, from “G” Intensive Commercial and “J” Medium Industrial to “MU-2” High Intensity Mixed-use, effective 10/2/02 (subject property)

Surrounding Zoning and Land Uses

North “MU-2” High Intensity Mixed-Use / restaurant, commercial, car wash

East “MU-2” High Intensity Mixed-Use / bar, automotive

South “MU-2” High Intensity Mixed-Use / office, spa

West “PD/897” Planned Development for all uses in “CF” Community Facilities plus alcohol sales, with development standards; site plan waived / Modern Art Museum

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Westside Alliance	Cultural District Alliance*
Linwood NA	Trinity Habitat for Humanity
Monticello NA	Streams And Valleys Inc
Camp Bowie District Inc.	Fort Worth ISD

* *This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Site Plan Comments

The original site plan had the hotel facing University Boulevard with Morton and Bledsoe Streets as secondary street. The parking was tucked at the rear (east elevation) of the building with access to Morton and Bledsoe. The parking had minimum frontage on the secondary streets.

The current MU-2 parking structure façade standards state the following:

Parking Structure Facades

- Façade design: All parking structure facades that face a public space must be designed to incorporate architectural elements and materials that complement the adjacent building or buildings in the area.
- Ground level screening: Screening must be incorporated to minimize the visual impact of garages and parked cars at the pedestrian level. Landscaping, including trees and shrubs, may be utilized for screening purposes but must screen at least 50% of pedestrian level parking garage facades immediately upon installation, with species selected to eventually provide a full 100% screening.
- Parking structure openings along primary and secondary street frontages must not exceed 50 percent (%) of the total ground floor façade.

The proposed site plan meets the above standards; however, at the last the Zoning Commission meeting (to be approved by City Council October 12, 2021) it was recommended to City Council that the standards be changed:

- Remove green screen system, planter walls, or similar vegetation from fenestration alternatives.
- Require parking structure openings to not exceed 20 feet per entrance.

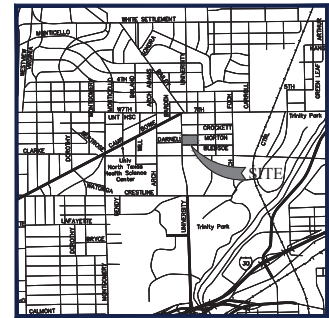
- Require ground floor occupiable space for multifamily buildings and limiting the street façade allowance for parking structure openings, parking structures or both combined.

The western portion of the site located in PD 1058 conforms conceptually to MU-2 standards adopted in 2018 and thus staff is recommending **approval**. The remainder of the site (Zoned MU-2) will need to conform to the recently adopted MU-2 standards. It is staff's understanding that the applicant is proposing pedestrian garage parking along all of the secondary streets. This would not meet the new MU-2 standards nor does it meet the following guiding principles of the MU-2 ordinance:

- **Promote a pedestrian-oriented urban form.** In contrast to conventional zoning standards that place a primary emphasis on the regulation of land uses, mixed-use development standards and guidelines focus on promoting a walkable, urban form of development, consistent with the surrounding areas historic urban development patterns. The focus on form promotes buildings that conform to tested urban design principles.
- **Require excellence in design of the public realm and of buildings that front public spaces.** The most successful and memorable urban environments are those in which walking down the street is appealing. Streets, plazas, parks, and other public spaces should be comfortable and inviting, and buildings fronting those spaces should be active and visually interesting at the pedestrian level.
- **Promote walkability.** Walkable communities are desirable places to live, work, and play. Walkable communities give higher priority to pedestrian activity by creating streetscapes that are safe, comfortable, interesting, and that accommodate a wide range of transportation modes and users. To foster walkability, development patterns should promote a mix of land uses and density, have an emphasis on the placement and orientation of buildings, have properly placed parking, place a high value on the design of quality streetscapes, provide access to transit, and provide unimpeded pedestrian connections to multiple destinations and open space.

At the time of permitting the applicant will either need to conform to the MU-2 standards or ask for a waiver from the Urban Design Commission (UDC).





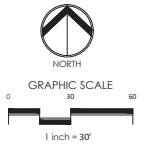
VICINITY MAP
NOT TO SCALE

OWNER/DEVELOPER
Goldenrod Industries
5700 Granite Parkway, Suite 200
Plano, TX 75024

ENGINEER / PLANNER / SURVEYOR
Dunaway Associates
550 Bailey Ave., Suite 400
Fort Worth, TX 76107

LEGEND
 - - - - - PROPERTY LINE
 - - - - - EXISTING RIGHT OF WAY (R.O.W.)
 - - - - - EXISTING ZONING BOUNDARY

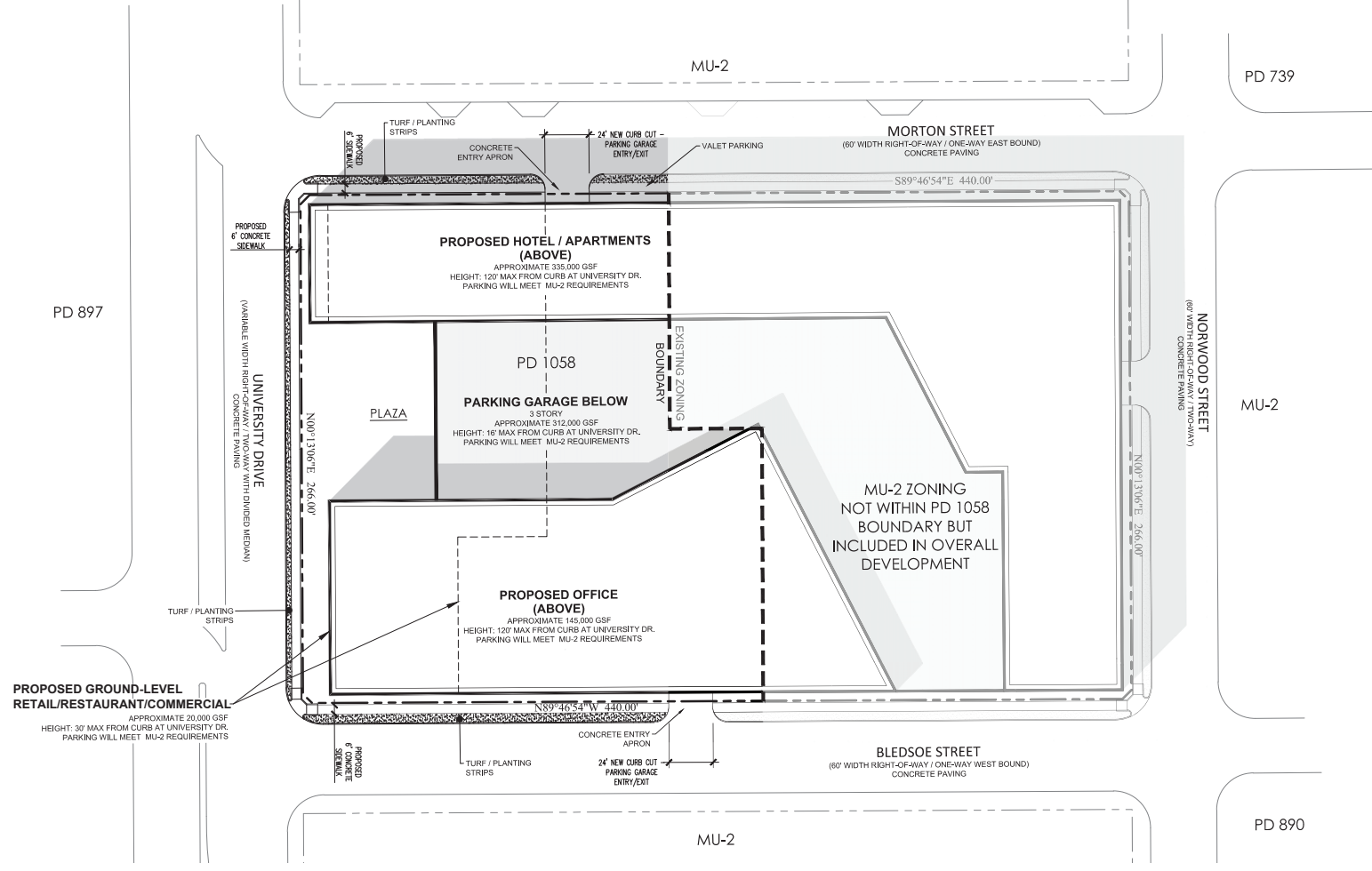
- NOTES:**
1. ALL LIGHTING WILL CONFORM TO THE LIGHTING CODE.
 2. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
 3. THIS PROJECT WILL COMPLY WITH 6.301, LANDSCAPING AND SECTION 6.302 URBAN FORESTRY.
 4. ALL SETBACKS WILL MEET ZONING REGULATIONS.
 5. ALL PREVIOUS WAIVERS FOR PD 1058 SHALL STILL BE IN EFFECT.
 6. PROPOSED HOTEL / APARTMENTS AND OFFICE USES ARE ABOVE PARKING GARAGE.



PD 1058
REVISED SITE PLAN
UNIVERSITY DRIVE HOTEL
1.422 ACRES
LOTS 1R-4R, 14R-18R
BLOCK 11
VAN ZANDT'S PARK ADDITION
September 3, 2021



DA 19077445.02



SITE PLAN - PROPOSED
SCALE: 1" = 30'

SP-21- (ASSOCIATED WITH APPROVED ZC-15-124)

DIRECTOR OF PLANNING AND DEVELOPMENT DATE

PD 897

PD 739

MU-2

PD 890

MU-2

MU-2

MORTON STREET
(60' WIDTH RIGHT-OF-WAY / ONE-WAY EAST BOUND)
CONCRETE PAVING

MU-2 ZONING
NOT WITHIN PD 1058
BOUNDARY BUT
INCLUDED IN OVERALL
DEVELOPMENT

BLED SOE STREET
(60' WIDTH RIGHT-OF-WAY / ONE-WAY WEST BOUND)
CONCRETE PAVING

**PROPOSED HOTEL / APARTMENTS
(ABOVE)**
APPROXIMATE 335,000 GSF
HEIGHT: 120' MAX FROM CURB AT UNIVERSITY DR.
PARKING WILL MEET MU-2 REQUIREMENTS

PARKING GARAGE BELOW
3 STORY
APPROXIMATE 312,000 GSF
HEIGHT: 18' MAX FROM CURB AT UNIVERSITY DR.
PARKING WILL MEET MU-2 REQUIREMENTS

**PROPOSED OFFICE
(ABOVE)**
APPROXIMATE 145,000 GSF
HEIGHT: 120' MAX FROM CURB AT UNIVERSITY DR.
PARKING WILL MEET MU-2 REQUIREMENTS

**PROPOSED GROUND-LEVEL
RETAIL/RESTAURANT/COMMERCIAL**
APPROXIMATE 20,000 GSF
HEIGHT: 30' MAX FROM CURB AT UNIVERSITY DR.
PARKING WILL MEET MU-2 REQUIREMENTS

TURF / PLANTING STRIPS
CONCRETE ENTRY APRON
24" NEW CURB CUT - PARKING GARAGE ENTRY/EXIT
VALET PARKING

TURF / PLANTING STRIPS
CONCRETE ENTRY APRON
24" NEW CURB CUT - PARKING GARAGE ENTRY/EXIT

PROPOSED 6" CONCRETE SIDEWALK

UNIVERSITY DRIVE
(VARIABLE WIDTH RIGHT-OF-WAY / TWO-WAY WITH DIVIDED MEDIAN)
CONCRETE PAVING

TURF / PLANTING STRIPS

PROPOSED 6" CONCRETE SIDEWALK

NORWOOD STREET
(60' WIDTH RIGHT-OF-WAY / ONE-WAY)
CONCRETE PAVING

N100°13'00"E 266.00'

N100°13'00"E 266.00'

S89°46'54"E 440.00'









S89°46'54"E 440.00'

S89°46'54"E 440.00'






Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

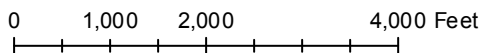
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

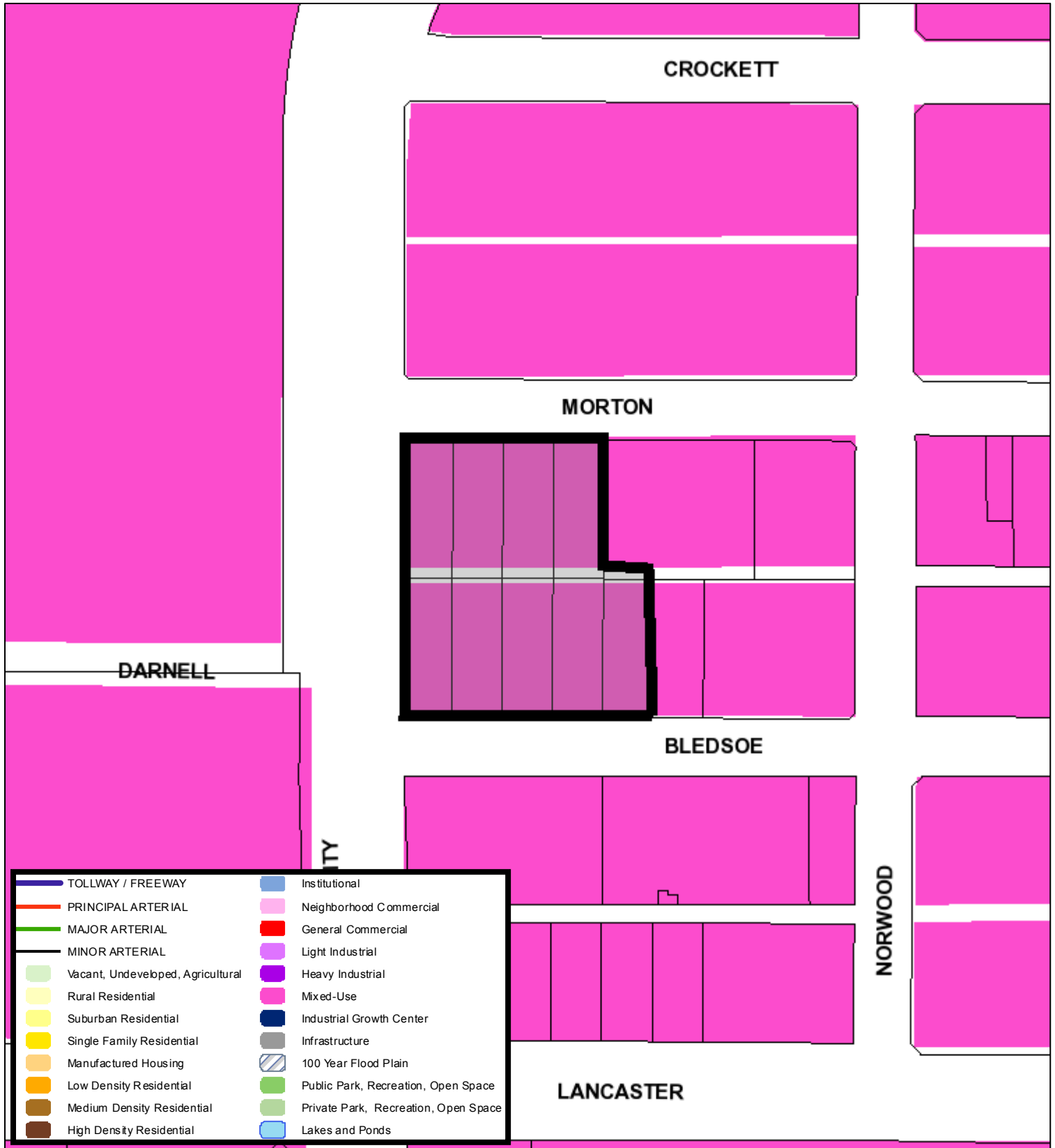
Noise Contours

DECIBEL

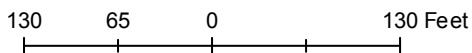
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Future Land Use



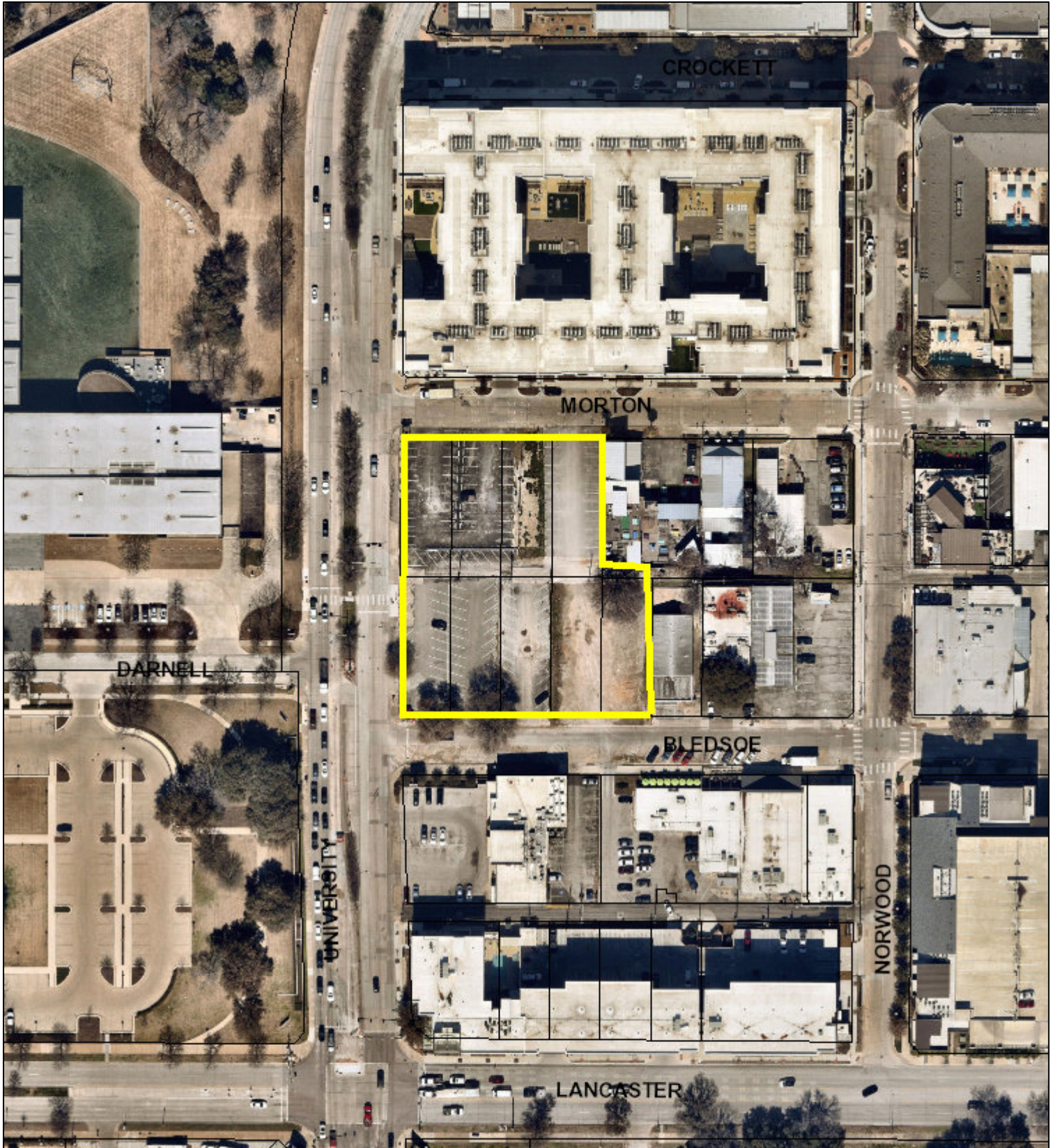
TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 80 160 320 Feet





Zoning Commission

Date October 13, 2021

Case Number ZC-21-163

Council District 2

Zoning Map Amendment

Case Manager: [Sevanne Steiner](#)

Owner / Applicant: ITM International Trading & Marketing, Inc./ City of Fort Worth – Justin Newhart

Site Location: 1602 NW 25th Street

Acreage: 0.4820 acres

Request

Proposed Use: Intermodal Logistics Center

Request: From: “E” Neighborhood Commercial

To: “E”/ HC Historic and Cultural Landmark Overlay

Recommendation

HCLC Recommendation: Approval

Staff Recommendation: Approval

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Eligibility for Designation](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

Constructed in c. 1950, the structure at 1602 NW 25th Street is significant for its value as one of the earliest “supermarket” grocery stores and Safeway Grocery Store locations in Fort Worth (Criterion 1). The property is significant because it is a rare example of Art Deco commercial design in Fort Worth’s Northside (Criterion 2). Lastly, the property is significant because it bears a significant relationship to larger commercial area along NW 25th Street, which was an important center of commercial activity for the residential neighborhoods in Fort Worth’s Northside during the early and mid-20th century (Criterion 5).


In regards to Criterion 1, the structure at 1602 NW 25th Street is significant for its value as an early “modern” supermarket and Safeway Grocery Store locations in Fort Worth. Founded in 1911 in Los Angeles, the Safeway Grocery Store chain eventually expanded into Texas in the 1930s (El Paso). Supermarkets, or grocery stores as they are known today, were first created in the 1930s in New York. Supermarkets proliferated across the United States with the growth of automobile ownership and suburban development after World War II. In 1950, John C. Hubbard constructed and opened this Safeway Grocery Store at location of 1602 NW 25th Street as part of the ongoing expansion of Safeway into Texas and the national expansion of auto-oriented grocery stores. The supermarket at 1602 NW 25th Street was one of the earliest supermarkets within Fort Worth’s Northside, representing an innovative way for local residents to shop and provide food for their families that had not existed in this area of Fort Worth prior to World War II.

In regards to Criterion 2, the property at 1602 NW 25th Street is significant as an important example of a unique architectural style in Fort Worth. The structure is designed in the Art Deco style, which is unique to the Northside of Fort Worth. It is characterized by smooth wall surfaces, low-relief geometric designs on the front parapet, distinctive fluted pilasters, and a suspended canopy on the front facade. The property also retains the original site layout to accommodate auto-oriented customers, which was an important part of its early success. This structure is an excellent example of adapting an international architectural style to create a truly unique local architectural specimen in Fort Worth.

In regards to Criterion 5, the property at 1602 NW 25th Street bears a significant relationship to other commercial buildings along NW 25th Street. The commercial corridor along NW 25th Street has served Northside residents for well over 100 years. NW 25th Street is one of the main east-west corridors on the Northside, and remains so today, providing important commercial services (restaurants, auto-repair, dry goods and other services) to generations of Northside residents. Many of the commercial structures from the early 1920s- to the 1950s are still extant, particularly between Roosevelt Avenue and Columbus Avenue. The property at 1602 NW 25th Street, along with the surrounding neighboring historic commercial structures, are tied together by a common theme – providing commercial services to Northside residents.

Integrity is the ability of a property to convey its significance. The designation of a property must not only be shown to have significance under Zoning Ordinance, but it also must have integrity. Within the concept of integrity for example, the National Park Service criteria recognizes seven aspects that define integrity.

Seven Aspects of Integrity

- 1. Location.**
 - 2. Design.**
 - 3. Setting.**
 - 4. Materials.**
- 

5. Workmanship

6. Feeling.

7. Association.

Staff visited the property on October 30, 2020 to assess the integrity of the property.

In relation to the Seven Aspects of Integrity:

1. The structure is still in its original **location** from when it was constructed in 1950.
2. The **design** of the structure is still intact and identifiable.
3. The structure’s original **setting** from the 1950s is still extant. The adjacent commercial corridor is still mostly intact.
4. The property’s original **materials** are mostly intact. The original stucco siding, stone detailing on the front elevation, and suspended canopy are still extant. However, the stone has painted and the original storefront appears to have been replaced at some point in time. The paint is considered removable, and an appropriate storefront can be reinstated based on the design and form of the structure in the future.
5. The property still displays the physical evidence of **workmanship** from the 1950s, such as decorative fluting and detailed parapet.
6. The property still retains its **feeling** as a commercial building that was constructed to provide grocery and other commercial services to residents of the Northside and the Stockyards.
7. The property still retains its **association** with the development of the commercial corridor along NW 25th Street from the early 1920s through the 1950s.

Surrounding Zoning and Land Uses

- North “E” Neighborhood Commercial/ Parking Lot
- East “E” Neighborhood Commercial/ Parking Lot
- South “CF” Community Facilities / Church
- West “E” Neighborhood Commercial / Automotive repair

Recent Zoning History

- ZC-10-188 Council Initiated Rezoning to “E” Neighborhood Commercial

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
 The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Inter-District 2 Alliance	Far Greater Northside Historic NA
North Side NA	Stream and Valleys INC
Trinity Habitat for Humanity	Fort Worth ISD
Lake Worth ISD	

Eligibility for Designation

The structure meets the following City of Fort Worth criteria for historic designation:

Criterion 1: Is distinctive in character, interest or value, and exemplifies the cultural, economic, social, ethnic or historical heritage of the City of Fort Worth, State of Texas or the United States.

Criterion 2: Is an important example of a particular architectural type or specimen or embodies elements of architectural design, detail, material or craftsmanship that represent a significant architectural innovation in Fort Worth.

Criterion 5: Bears a significant relationship to other distinctive buildings, structures, sites, objects or areas, either as an important collection of properties of architectural style, or craftsmanship with few intrusions, or by contributing to the overall character of the area according to a plan based on architectural, historic or cultural motif.

Integrity

Based on the evidence still extant at the property, the property at 1602 NW 25th Street sufficiently retains all seven aspects of integrity (location, design, setting, materials, workmanship, feeling, and association).

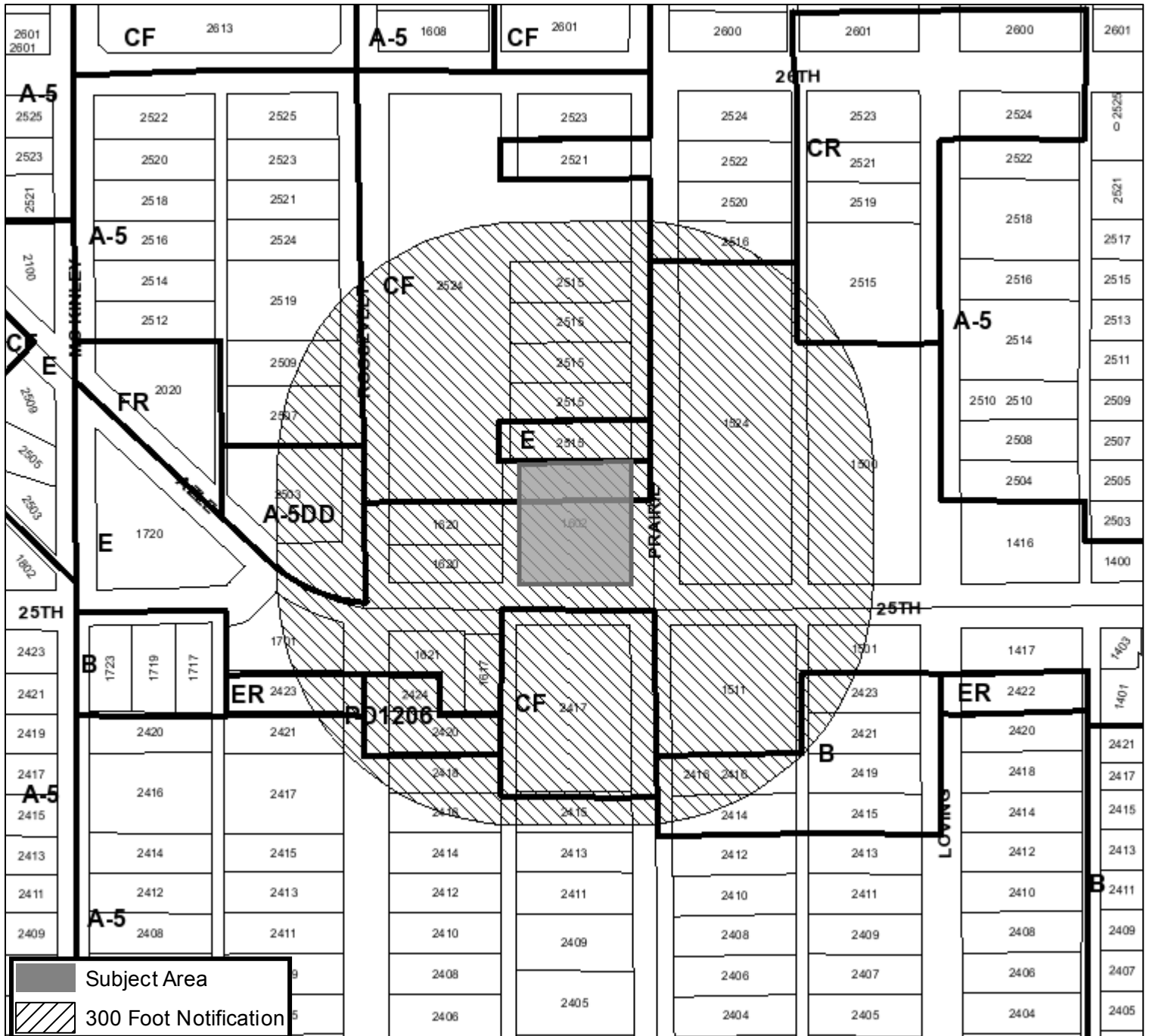
Summary



Staff have found evidence that the property meets 3 of the 8 Criteria for Designation. The property also retains its original integrity and the identity for which it is significant. This is consistent with the requirements of the ordinance for Historic & Cultural Landmark properties.

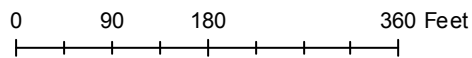


Area Zoning Map

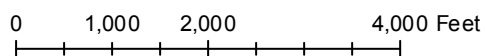
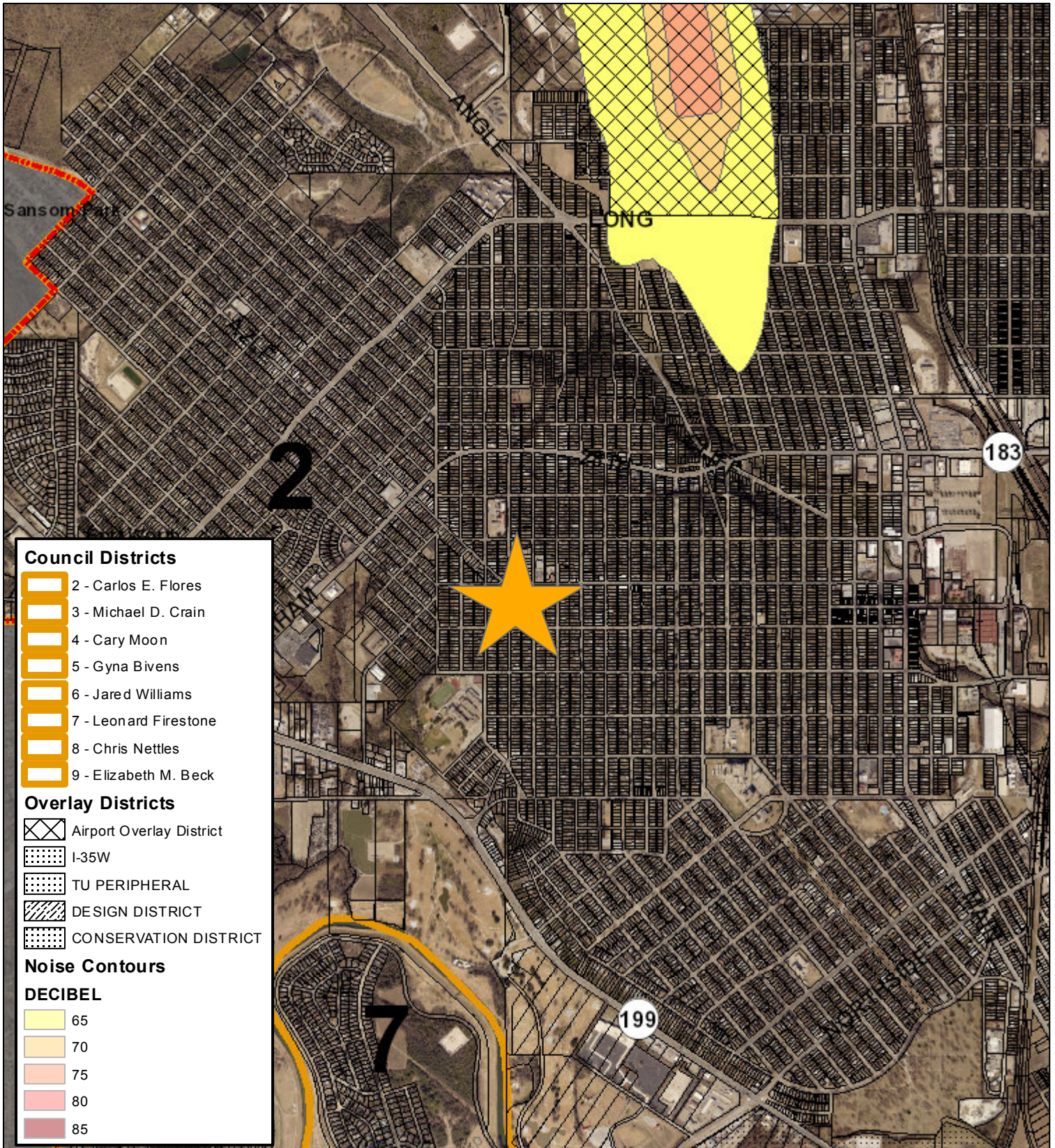
Applicant: International Trading & Market
 Address: 1602 NW 25th Street
 Zoning From: E
 Zoning To: Addition of Historic and Cultural Overlay (HC)
 Acres: 0.4849232
 Mapsco: 62E
 Sector/District: Northside
 Commission Date: 10/13/2021
 Contact: 817-392-8574



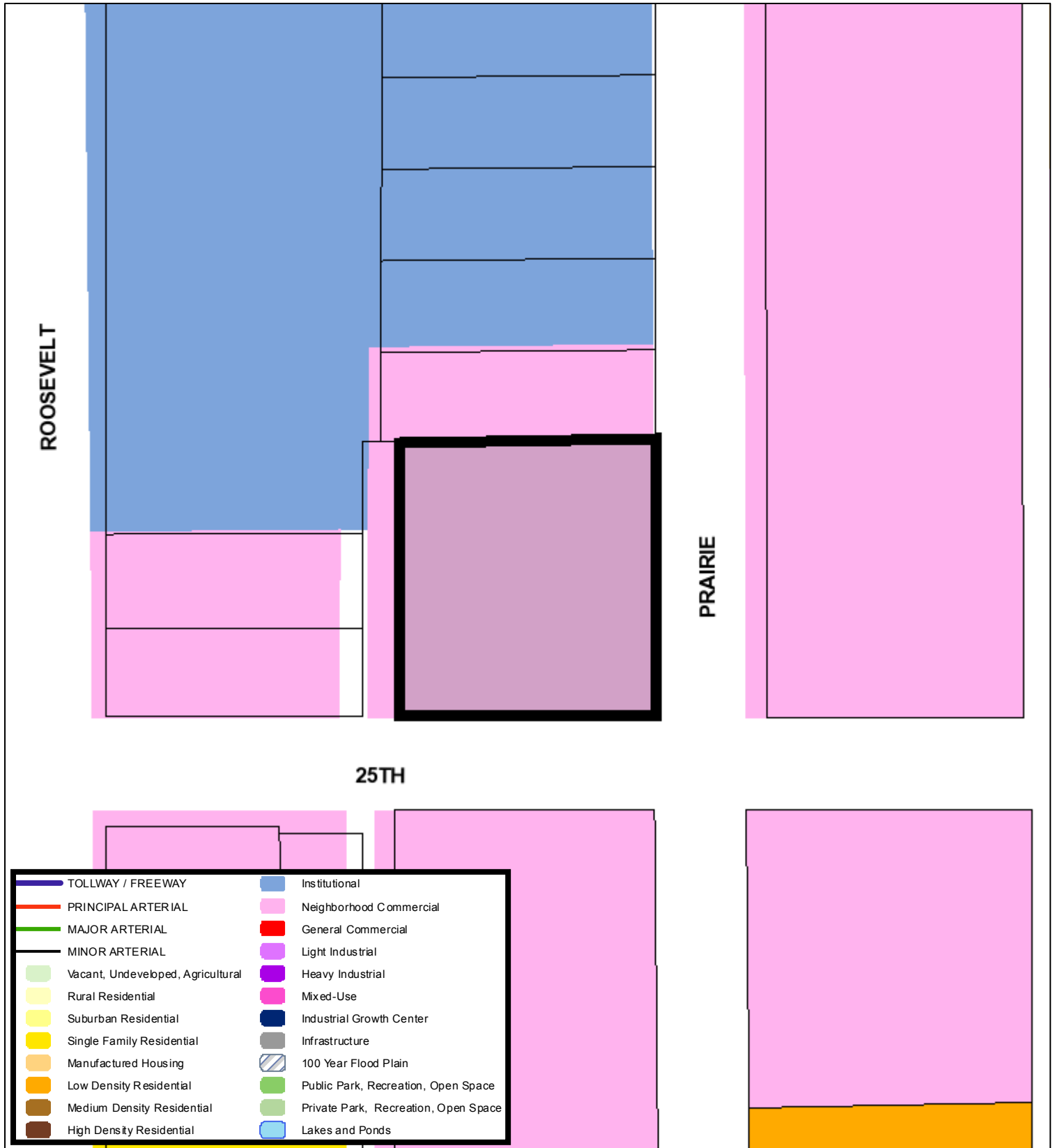
 Subject Area
 300 Foot Notification



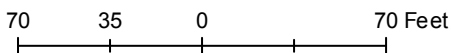
Area Map



Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 45 90 180 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-164

Council District: 8

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: Bibi Wafayee / Diana Carrillo

Site Location: 1109 Oak Grove Road

Acreage: 0.38

Request

Proposed Use: Tire Sales & Automotive Repair

Request: From: “E” Neighborhood Commercial

To: “FR” General Commercial Restricted

Recommendation

Land Use Compatibility: Requested change **is not compatible.**

Comprehensive Plan Consistency: Requested change **is not consistent (technical inconsistency).**

Staff Recommendation: **Denial**

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located southeast of the intersection of Oak Grove Road and the IH-20 Freeway. This site was previously used as a car wash, and the applicant is proposing to redevelop the site for tire sales and automotive repair use. The current zoning of this property is “E” Neighborhood Commercial which does not allow auto parts supply or automotive repair use. Therefore, the applicant is requesting to rezone this site to “FR” General Commercial Restricted.

All surrounding properties on the northeast side of Oak Grove Road are also zoned “E” Neighborhood Commercial and are developed with various retail uses. To the south, across Oak Grove Road, are single-family dwellings on lots zoned “A-5” One-Family.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / Church
East “E” Neighborhood Commercial / Retail Center
South “A-5” One-Family / Single-Family Dwellings
West “E” Neighborhood Commercial / Commercial Building

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Oakridge Terrace NA	Highland Hills NA*
Streams and Valleys Inc	Trinity Habitat for Humanity
Southeast Fort Worth Inc	Fort Worth ISD
Everman ISD	

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this site from “E” Neighborhood Commercial to “FR” General Commercial Restricted. All surrounding properties on the north side of Oak Grove Road are zoned “E” Neighborhood Commercial and include retail uses such as a convenience store, restaurant, salon, and church. To the south, across Oak Grove Road, is a single-family residential subdivision zoned “A-5” One-Family.

The “E” Neighborhood Commercial zoning district specifically excludes most automotive related land uses, including repair and auto parts supply, and is intended to provide areas for neighborhood-serving commercial, institutional and office uses.

The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Sycamore

The 2021 Comprehensive Plan currently designates the subject property as “Neighborhood Commercial” on the Future Land Use Map. “FR” General Commercial Restricted is not included in the list of zoning districts envisioned for the Neighborhood Commercial category, as detailed in the excerpt from the Comprehensive Plan below. The existing zoning of this site, “E” Neighborhood Commercial, is included in this list.

COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

In addition, the following policies of the Comprehensive Plan apply to the Sycamore Sector:

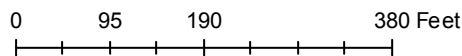
- Protect residential areas from encroachment by commercial and industrial uses.
- Encourage redevelopment of Highland Hills consistent with the Highland Hills Revitalization Plan.
- Attract freeway commercial uses that portray a positive image and lasting investment

Therefore, the proposed zoning is **not consistent** with the Comprehensive Plan (technical inconsistency).

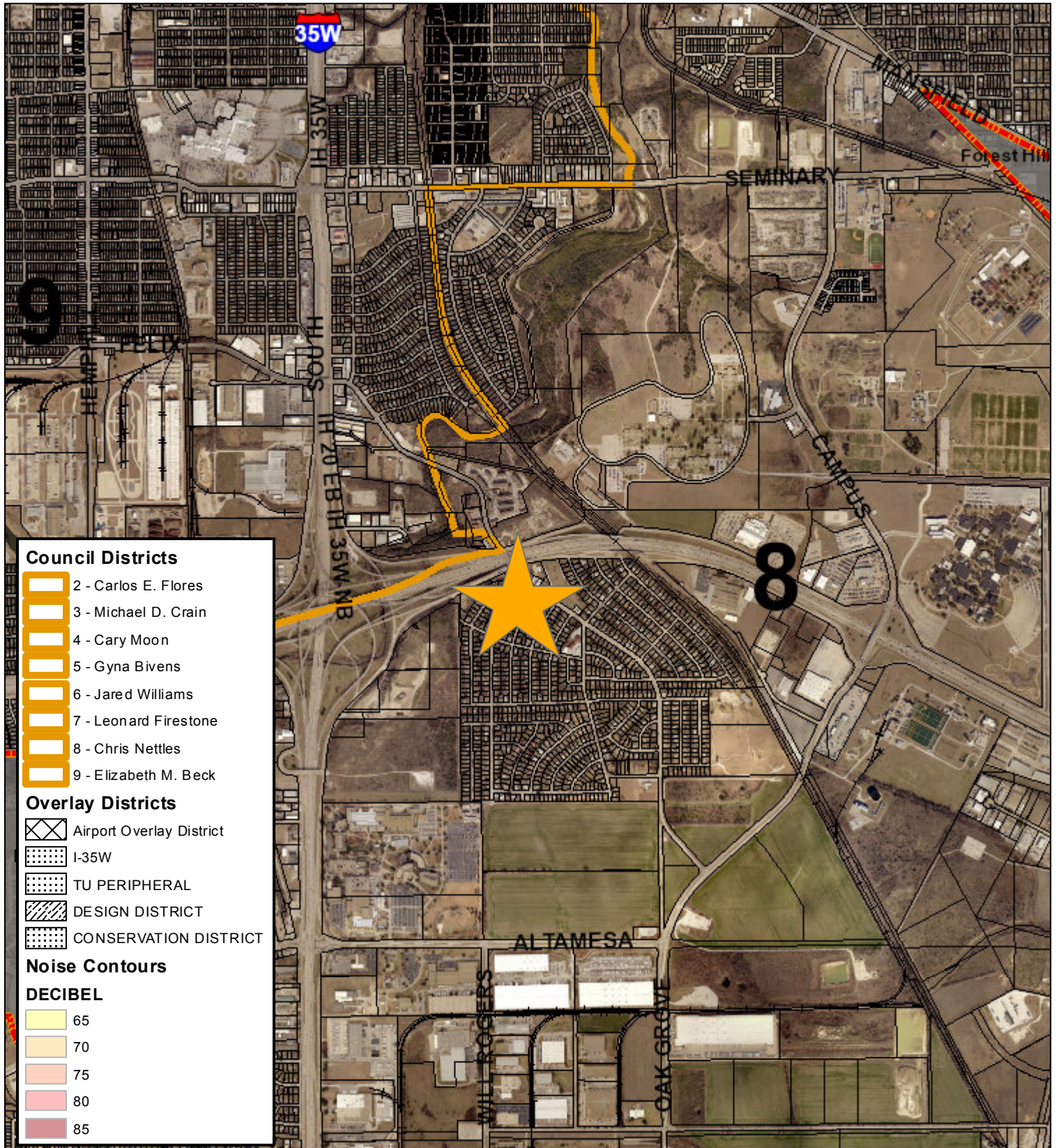


Area Zoning Map

Applicant: Bibi Wafayee
 Address: 1109 Oak Grove Road
 Zoning From: E
 Zoning To: FR
 Acres: 0.38445591
 Mapsco: 91U
 Sector/District: Sycamore
 Commission Date: 10/13/2021
 Contact: 817-392-2495



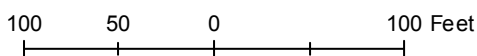
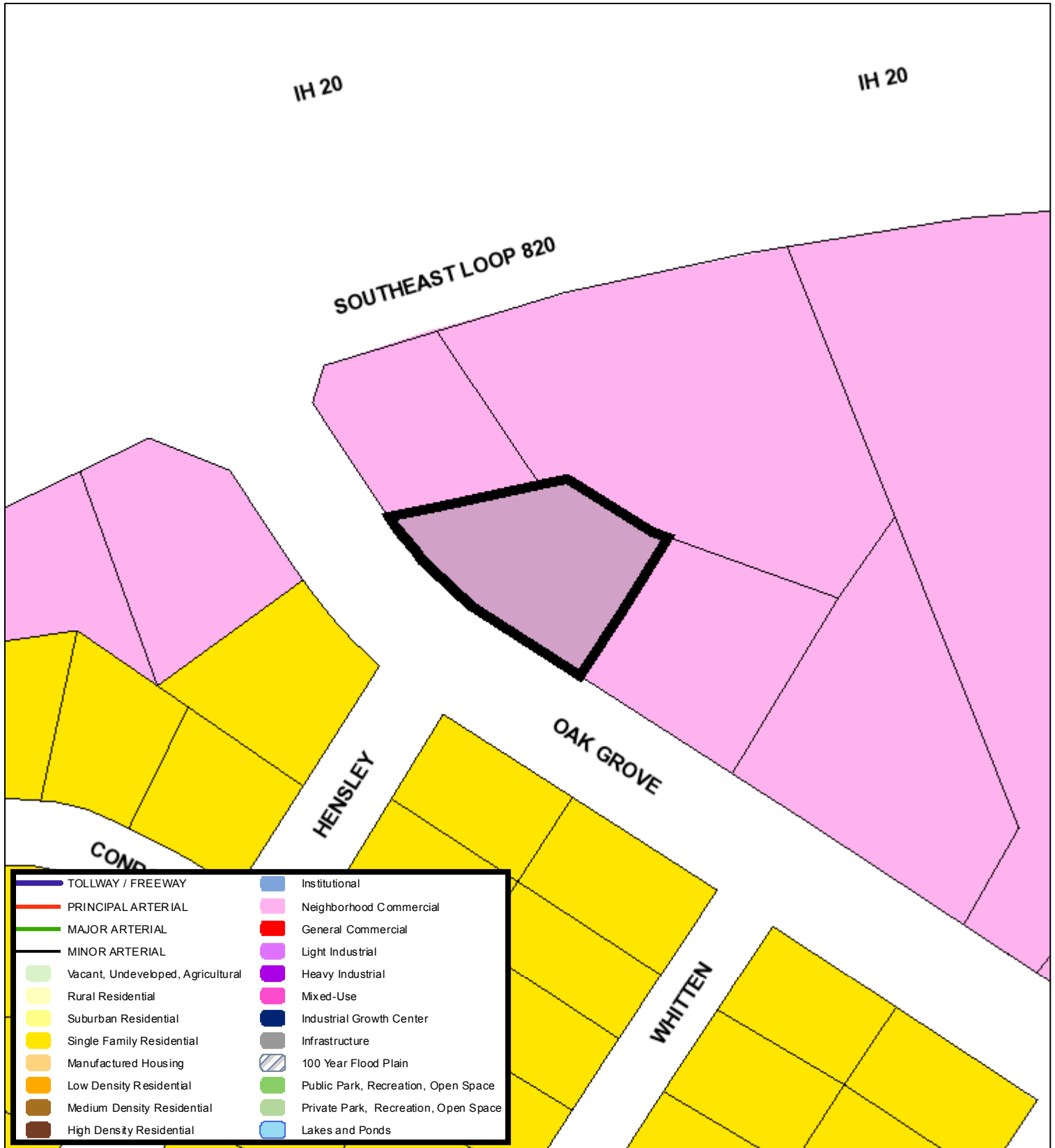
Area Map





ZC-21-164

Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 62.5 125 250 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-165

Council District: 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Pedraza Property Group / Jesus Guzman

Site Location: 1928 Amanda Avenue

Acreage: 0.178 acres

Request

Proposed Use: Single Family Residential

Request: From: “E/SS” Neighborhood Commercial with Stop Six Overlay

To: “AR/SS” One-Family Restricted with Stop Six Overlay

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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9. Aerial Photograph

Project Description and Background

The property is within the WR Howard Addition and NEZ Area Six. The present owner is listed as the intended developer of the property on the application. The proposal to rezone this lot would change the current “E” Neighborhood Commercial zoning to “AR” One Family Restricted zoning, allowing construction of one (1) single family dwelling unit. There would be a 20’ building setback along Amanda Avenue, 10’ building setback along Chapman Street, and a 5’ building setback along the rear property line. The lot is approximately 7,800 square feet, and meets the “AR” zoning minimum requirements.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / undeveloped
East “E” Neighborhood Commercial / vacant
South “A-5” One-Family / residential
West “A-5” One-Family / undeveloped

Recent Zoning History

- ZC-19-116 approved September 10, 2019 to add Stop Six Design Overlay

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 24, 2021:

Organizations Notified	
Historic Stop Six NA*	Trinity Habitat for Humanity
Stop Six Sunrise Edition NA	Southeast Fort Worth Inc
Stop 6/Poly Oversight	East Fort Worth Business Association
East Fort Worth, Inc	Fort Worth ISD
Streams and Valleys Inc	

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The proposed zoning of “AR” One-Family restricted would allow construction of one (1) dwelling unit, which aligns with the applicant’s intentions.

The Cavile Place Neighborhood Transformation Plan sheds light on the history of Amanda Avenue as a commercial center for the neighborhood. Amanda is the traditional “main street” of the neighborhood that, in the past, supported both residential and local serving retail commercial uses. The Cavile Place Neighborhood Transformation Plan envisions the creation of a vibrant, sustainable community over the next 10–15 years. Amanda Street is proposed to be upgraded with new paving and pedestrian amenities. New mixed-use development incorporating local neighborhood serving businesses is proposed along the improved street, along with possible roundabouts and a landscaped median to re-establish it as a desirable address for neighborhood retail and services.

The Stop Six Overlay contains the following requirements for new single-family construction:

ELEMENT	STANDARD
Building Materials	At least 70% of all sides of a new residential structure shall be masonry: stone, brick, terra cotta, patterned pre-cast concrete, cement board siding, cast stone or prefabricated brick panels
Garages	A 2-car garage is required. Garages facing the street shall be located at or behind the front wall and shall not project in front of the front wall. All required parking spaces above 2 shall be behind the front wall.
Building Design and Architectural Features	<input type="checkbox"/> Homes shall have an entry feature such as a porch or stoop that faces the street. <input type="checkbox"/> Open porches can extend up to 10 feet into the minimum front yard to encourage larger porches. If a porch is provided, it shall be a minimum 6 feet in depth. <input type="checkbox"/> Homes shall have a minimum of one 8 square foot window on all sides of the house. The front wall shall have a minimum total window area of 16 square feet. <input type="checkbox"/> Front doors shall face the public street and shall be visible from the public street. Front door openings shall not be recessed more than 6 feet from the front wall of the home.
Landscaping	Landscaping shall be kept to allow visibility to and from street-facing doors and windows. A variety of landscape plants and materials in the front yard is highly encouraged.

The site appears to be conducive to residential infill development and compatible with the Cavile Place Neighborhood Transformation Plan as adopted. As such, the proposed zoning **is compatible** with surrounding land uses.



Comprehensive Plan Consistency – Southeast

The 2021 Comprehensive Plan currently designates the subject property as Mixed-Use. The proposed zoning of “AR” One-Family Restricted is compatible with the future land use designation of the adopted Comprehensive Plan.

LAND USE AND ZONING CLASSIFICATIONS

LAND USE	DEFINITION	ZONING
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

Additionally, the proposed zoning would be in alignment with the following policies of the Comprehensive Plan for the Southeast Planning Sector:

11. Promote a balance of residential, commercial, and industrial uses in the Southeast sector.
14. Encourage marketable infill houses, particularly in the Polytechnic and Stop Six neighborhoods.

The proposed zoning **is consistent** with the Comprehensive Plan future land use designation.

Economic Development Plan

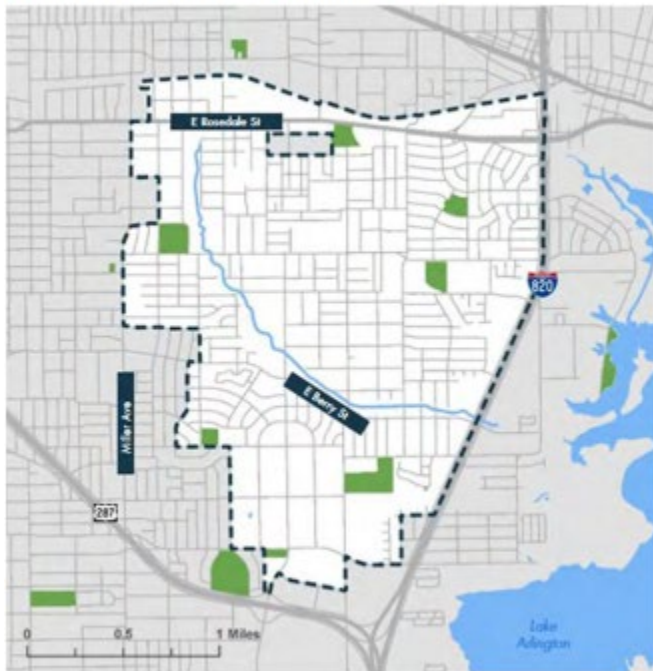
The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. Six different target areas in Fort Worth were identified and analyzed. The below recommendations apply to this project:

Stop Six Target Area

“Housing investment and reinvestment are the most important strategies for this area to raise the level of appeal to existing and future residents as well as businesses.”

TARGET AREA: STOP SIX

FIGURE 9. STOP SIX SNAPSHOT



INDICATOR	VALUE
Total area (acres)	2,638
Dominant zoning district: single family A-5	55%
DEMOGRAPHICS & COMMUTING	
Total residents	13,321
Median household income	\$27,772
Inbound commuters (work in area)	1,552
Outbound commuters (live in area)	4,844
PROJECTED EMPLOYMENT INCREASE BY 2040	
NCTCOG forecast (jobs added)	3,575
FA growth target (jobs added)	3,575
INCENTIVES IN STUDY AREA	
Urban Villages Plan	Yes
Neighborhood Empowerment Zone	Yes
PID District	No
TIF District	No

Sources: City of Fort Worth (map, acreage, land use, zoning, and incentives); U.S. Census Bureau ACS, 2015 5-year estimates (population and income); US Census Bureau, Local Employment Dynamics (commuting); FA Envision Tomorrow analysis (FA Employment Growth); NCTCOG 2040 regional growth forecast (NCTCOG employment growth forecast).

OVERVIEW

Stop Six, along with East Lancaster, is one of the most challenged of all the target areas. Its primarily Black and Latino residents earn just above half of the city median income. The City has already made strides toward improving this target area. Stop Six is included in a unique program designed to improve the health of a community's residents, the Blue Zones Program, which has shown progress in the area. The area is also fully covered by the Stop Six Empowerment Zone, which offers incentives for redevelopment. Part of Stop Six is also covered by the Berry/Stalcup Urban Village. In March 2017, Fort Worth announced an investment of \$2.56 million dollars into beautification, code enforcement, public improvements, and maintenance of Stop Six as the first Neighborhood Improvement Strategy target area. The area has several major barriers to economic development including some of the city's highest pockets of poverty, crime, and vacant housing stock. Stop Six also does not benefit from proximity to downtown and the city's thriving urban core in the same way as other target areas such as Evans & Rosedale, the Near Northside, and the western segment of East Lancaster.

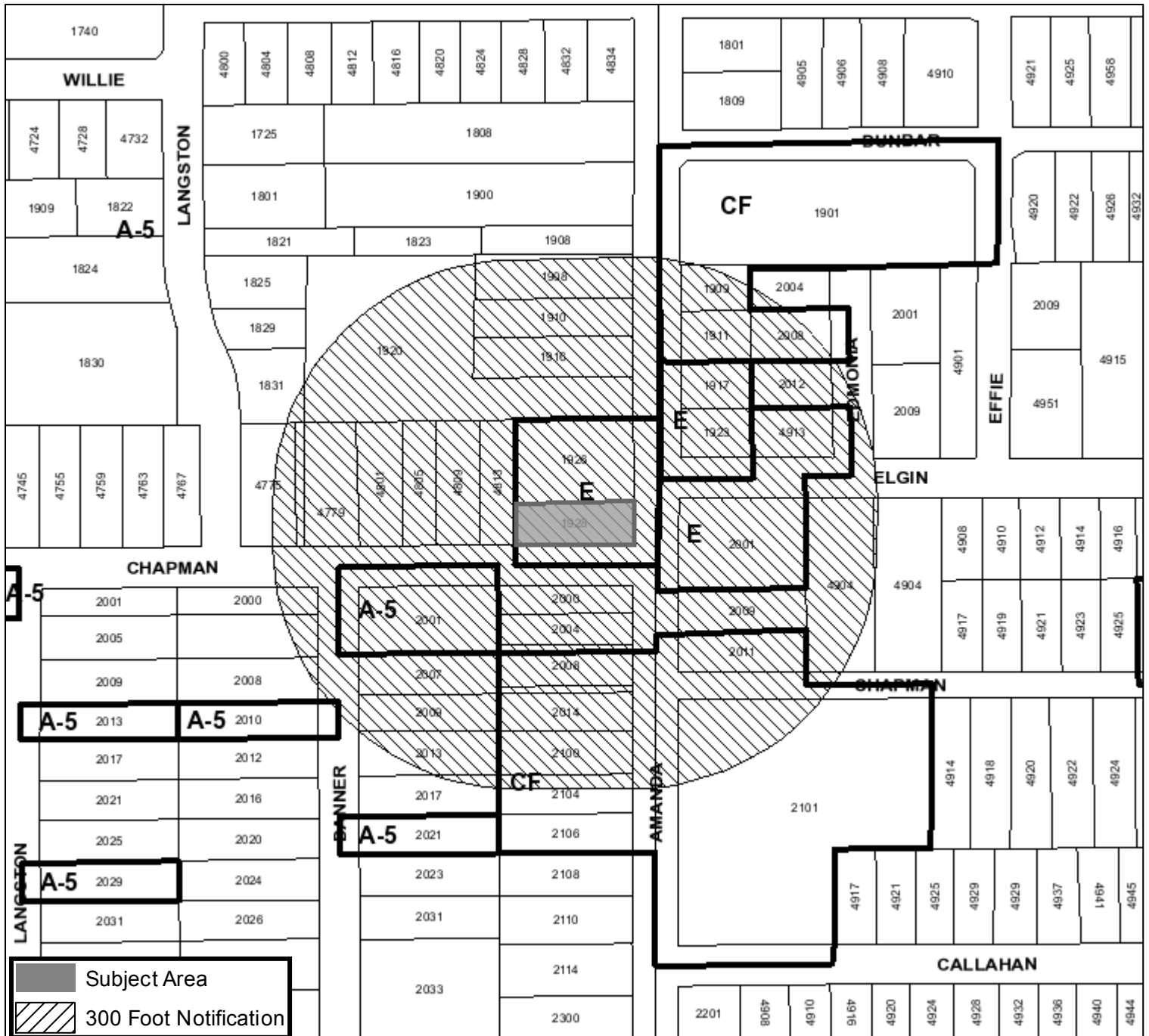
PRIMARY CONSIDERATIONS

- Housing investment and reinvestment are the most important strategies for this area to raise the level of appeal to existing and future residents as well as businesses.
- Strategic City investments should be focused along corridors and nodes of existing activity. New and existing business should be supported, and mixed-use projects should be targeted for the area.
- Transportation and infrastructure also needs to be addressed, with a focus on connecting key locations within Stop Six to employment centers in surrounding cities and educational and training opportunities.

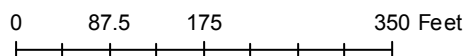


Area Zoning Map

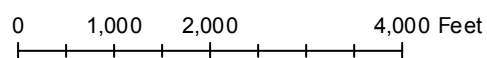
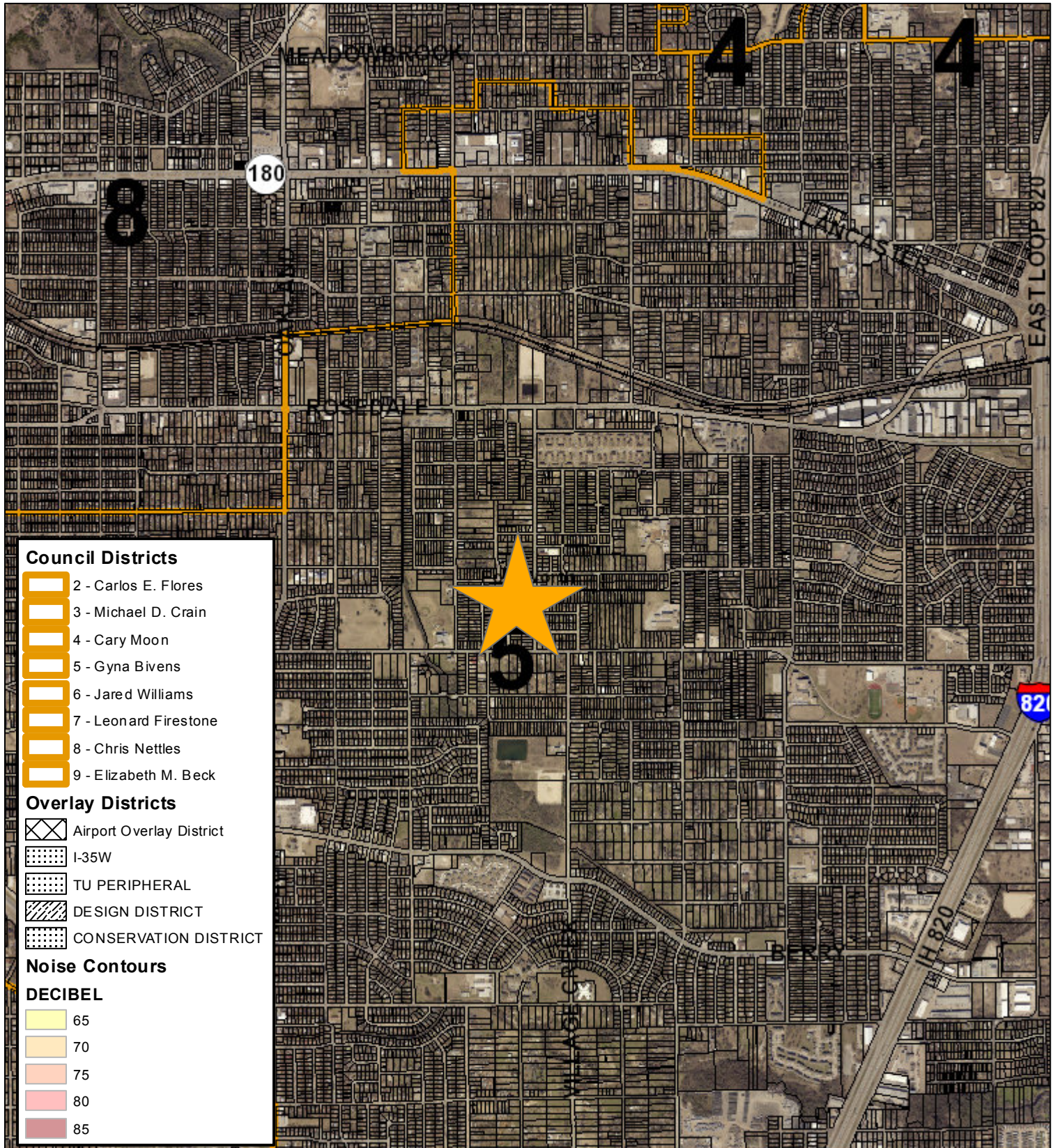
Applicant: Pedraza Property Group
 Address: 1928 Amanda Avenue
 Zoning From: E in the Stop Six Overlay
 Zoning To: AR in the Stop Six Overlay
 Acres: 0.17799086
 Mapsco: 79P
 Sector/District: Southeast
 Commission Date: 10/13/2021
 Contact: 817-392-8043



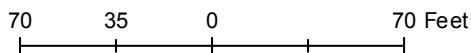
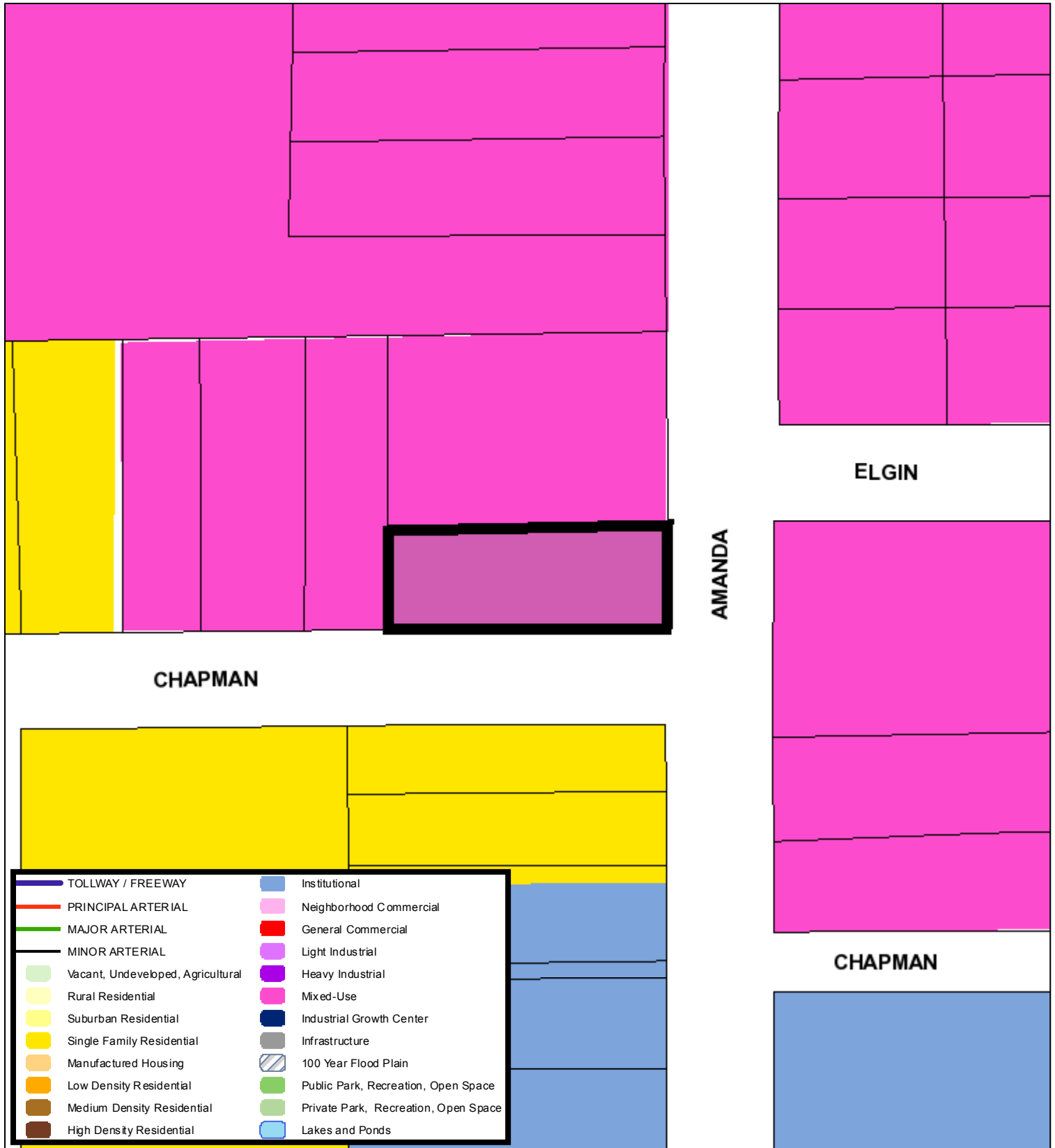
Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-167

Council District: 8

Zoning Map Amendment

Case Manager: [Sarah Bergman](#)

Owner / Applicant: Maria Villanueva

Site Location: 3030 Mecca Street

Acreage: 0.86

Request

Proposed Use: New Single-Family Home

Request: From: "A-21" One-Family

To: "A-5" One-Family

Recommendation

Land Use Compatibility: Requested change **is not compatible.**

Comprehensive Plan Consistency: Requested change **is consistent.**

Staff Recommendation: **Denial**

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Project Description and Background

The subject property is located along the southern side of Mecca Street, just west of Trueland Drive. There is an existing single-family home on this site and the applicant would like to construct an additional dwelling unit. In order to allow for creation of a new single-family lot, the applicant is requesting to change the zoning of this site from “A-21” One-Family to “A-5” One-Family. The minimum lot size requirement in the “A-21” District is half an acre (21,780 square feet) and the minimum lot size requirement in the “A-5” District is 5,000 square feet.

This property was rezoned from “A-5” One-Family to “A-21” One-Family as part of a City-initiated rezoning approved in 2010 (ZC-10-117). Surrounding land uses are all single-family residential, with the majority of lots along this block of Mecca Street being zoned “A-21” One-Family. The properties located along the intersection of Mecca Street and Trueland Drive are zoned “A-5” One-Family, including the lots immediately east of the subject property. There are also areas of “A-10” One-Family and “A-7.5” One Family zoning in the vicinity of this site. These zoning classifications were all established during the City-initiated rezoning of this area in 2010.

Surrounding Zoning and Land Uses

North “A-21” One-Family / Single-Family Dwellings
East “A-5” One-Family / Single-Family Dwellings
South “A-10” One-Family / Single-Family Dwellings
West “A-21” One-Family / Single-Family Dwellings

Recent Zoning History

- ZC-10-117: City-initiated rezoning of 1,125 acres; rezoned the subject property from “A-5” One-Family to “A-21” One-Family.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
United Communities Association of South Fort Worth	Glen Park NA
Glencrest Civic League*	Streams and Valleys Inc
Trinity Habitat for Humanity	Southeast Fort Worth Inc
Fort Worth ISD	

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “A-21” One-Family to “A-5” One-Family in order to construct a new single-family home. While surrounding land uses are all residential, the majority of lots that front this section of Mecca Street are zoned “A-21” and are significantly larger than lots allowed in the A-5 District. The majority of adjacent lots that are zoned “A-5” front Trueland Drive rather than Mecca Street. The proposed zoning change is not compatible with the existing pattern of development in this location.

The proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2021 Comprehensive Plan currently designates the subject property as “Single-Family Residential” on the Future Land Use Map. The excerpt below from the Comprehensive Plan specifies that “A-5” is an appropriate zoning district within the “Single-Family Residential” designation.

RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
High Density Residential	>36 units/acre multifamily, mixed-use multifamily in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning is **consistent** with the Comprehensive Plan.

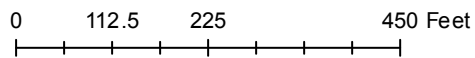


Area Zoning Map

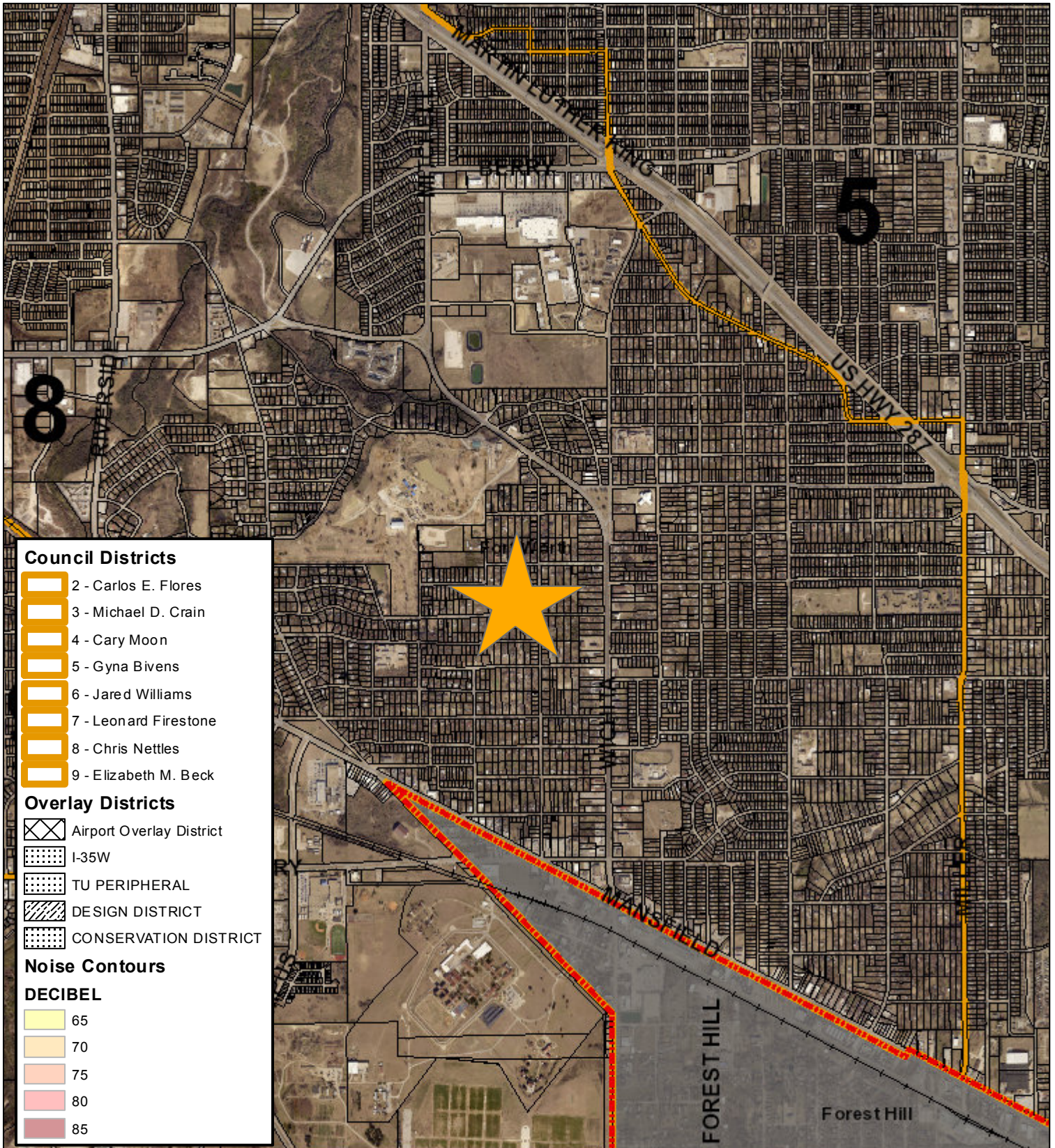
Applicant: Maria Villanueva
 Address: 3030 Mecca Street
 Zoning From: A-21
 Zoning To: A-5
 Acres: 0.85747564
 Mapsco: 92B
 Sector/District: Southeast
 Commission Date: 10/13/2021
 Contact: 817-392-2495



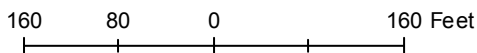
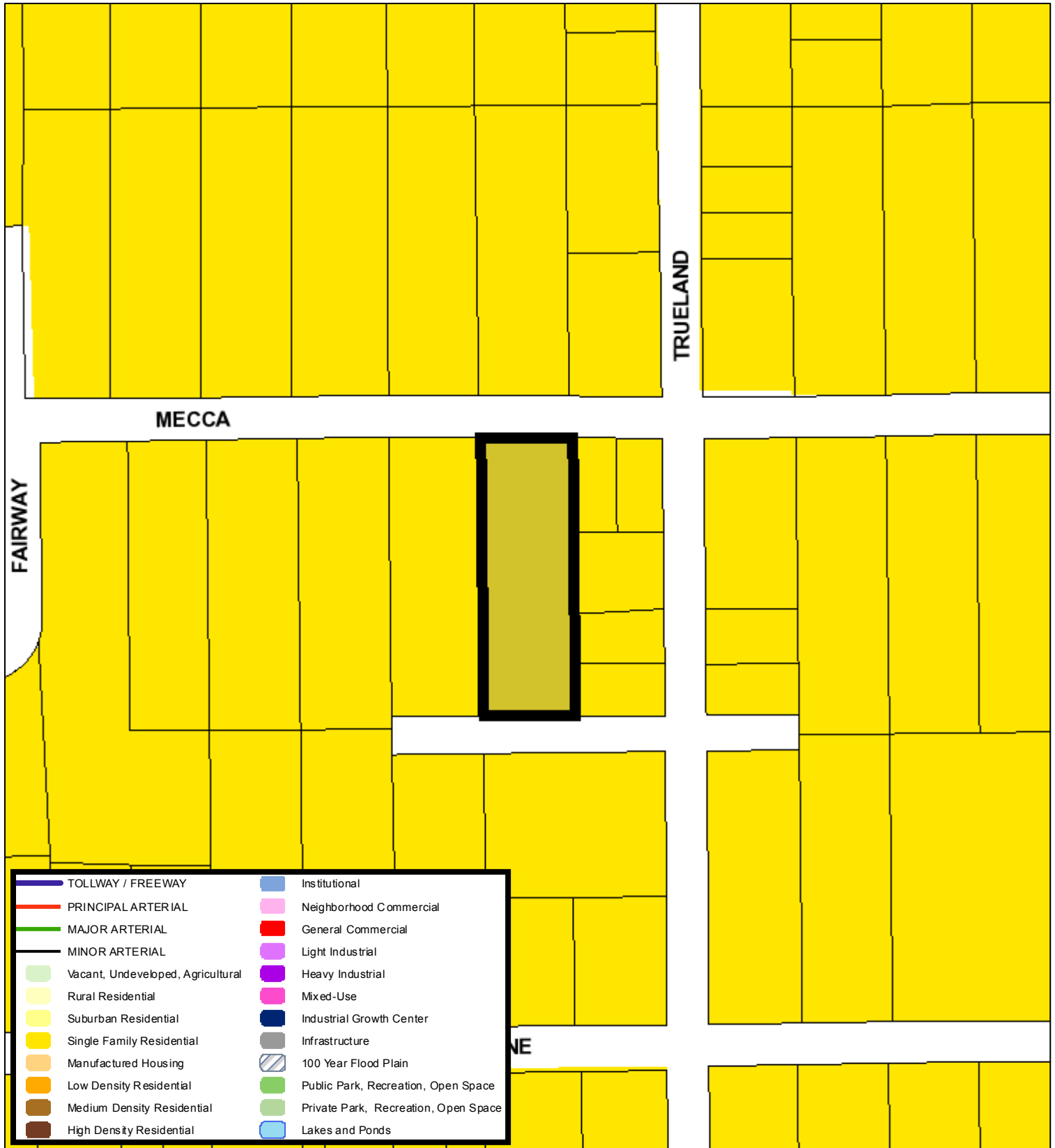
Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-170

Council District: 4

Site Plan

Case Manager: [Stephen Murray](#)

Owner / Applicant: WSP Basswood LLC

Site Location: 4400 Basswood Blvd

Acreage: 3.35 acres

Request

Proposed Use: Add parking for one food truck

Request: From: “PD 501” Planned Development/Specific Use for all uses in “E” Neighborhood Commercial plus outdoor storage of landscape materials, plants, and patio furniture, site plan included

To: Amend “PD 501” to add one food truck; site plan included

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change is **consistent**

Staff Recommendation: **Approval**

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9. Aerial Photograph

Project Description and Background

The property is located on Basswood near the corner of North Beach Street. The applicant is proposing to add a food truck to the existing PD. Food trucks are first allowed by right within “FR” General Commercial Restricted zoning.

The property is located within a busy commercial corridor with more intense zoning and uses nearby. The addition of a food truck is appropriate at this location.

Surrounding Zoning and Land Uses

North “G” Intensive Commercial / commercial retail
East “F” General Commercial / commercial under construction
South “C” Medium Density Multifamily / single-family
West “F” General Commercial / CVS, automotive

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.
The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Summerfields NA	Park Place HOA
Park Glen NA	Streams and Valleys Inc
Trinity Habitat for Humanity	Public Improvement District #6

** This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing a zoning change to amend “PD 501” to add one food truck to their existing site. Surrounding land uses are primarily commercial to the north, east and west with single-family to the south. The applicant intends to place the food truck towards Basswood, which is a major arterial. The existing single-family is buffered by the Westlake Ace Hardware and parking.

The proposed zoning request is **compatible** at this location.

Comprehensive Plan Consistency – Far North

The Comprehensive Plan designates the subject property as Neighborhood Commercial. The requested zoning change is consistent with the following Comprehensive Plan policies:

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.
- Promote appropriate infill of old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.

The proposed zoning **is consistent** with the Comprehensive Plan.

Site Plan Comments

The site plan is general compliance with Zoning Ordinance regulations

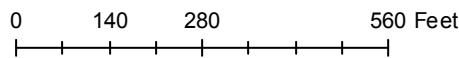
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

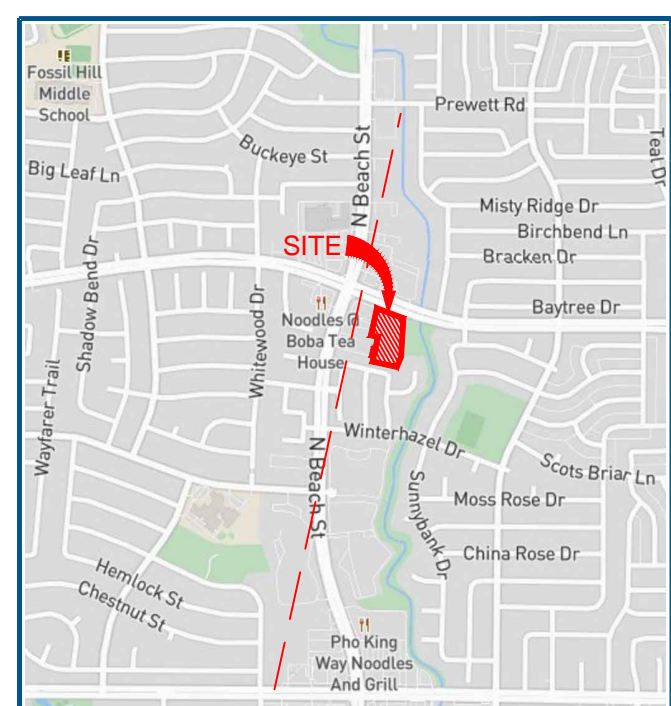
Applicant: WPS Basswood LLC
 Address: 4440 Basswood Boulevard
 Zoning From: PD 501 for E uses plus outdoor storage of plants, patio furniture
 Zoning To: Amend PD to add food truck parking
 Acres: 3.35810874
 Mapsco: 36S
 Sector/District: Far North
 Commission Date: 10/13/2021
 Contact: 817-392-6226



[Gray Box] Subject Area
 [Hatched Box] 300 Foot Notification

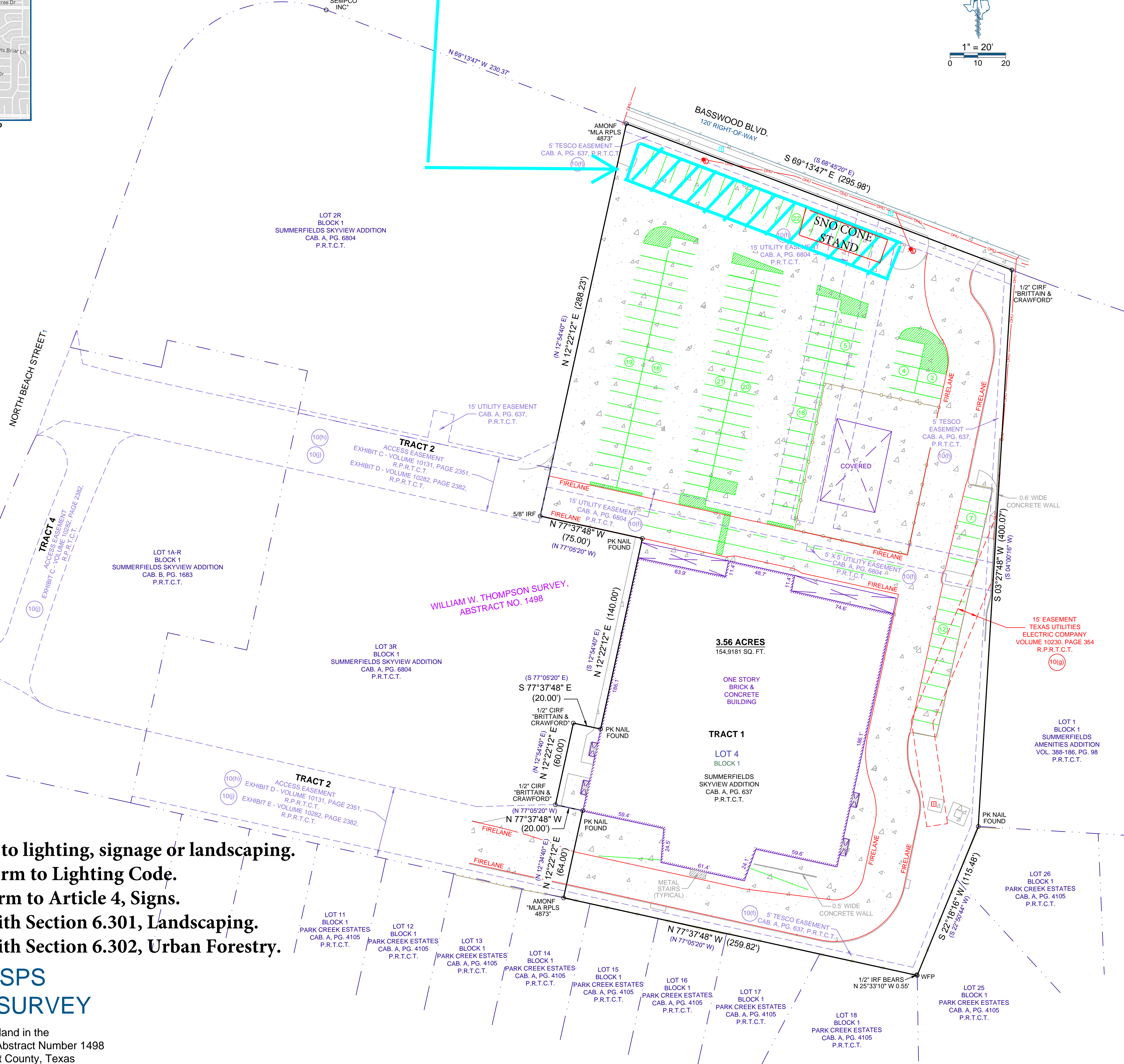
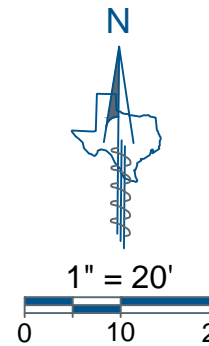


VICINITY MAP
NOT TO SCALE



LOCATION SKETCH MAP

LOCATION OF FOOD TRUCK



LEGAL DESCRIPTION

Tract 1:
Being Lot 4, Block 1, of Summerfields Skyview Addition, an Addition to Tarrant County, Texas, according to the Plat thereof recorded under Cabinet A, Slide 637, Plat Records, Tarrant County, Texas.

TRACT 2:
Non-exclusive easement estate created in Reciprocal Easements Agreement, dated December 19, 1990, by and between Jemtex Development No. 44, Inc. and Bank of Commerce, filed December 26, 1990, recorded in Volume 10131, Page 2351, Deed, Tarrant County, Texas.

TRACT 3:
Non-exclusive easement estate created in Reciprocal Easements Agreement by and between JEMTexDevelopment No. 44, Inc. and Bank of Commerce recorded December 26, 1990 in Volume 10131, Page 2376, Deed, Tarrant County, Texas.

TRACT 4:
Non-exclusive easements created and described in the Agreement by and between JEMTex Development No. 44, Inc. and Bank of Commerce, recorded June 11, 1991 in Volume 10282, Page 2382, Deed Records, Tarrant County, Texas.

FLOOD NOTE

This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated March 21, 2019 and is located in Community Number 480596 as shown on Map Number 48439C0185L. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.

SCHEDULE B EXCEPTIONS OF COVERAGE

- Subject to the easements as shown on Schedule "B" of the title commitment provided by Benchmark Title, LLC with G.F. No. PL21-29694 as listed below:
- The following restrictive covenants of record itemized below (We must either insert specific recording data or delete this exception):
recorded in Volume 10131, Page 2390 of the Deed Records of Tarrant County, Texas, but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin unless and only to the extent that said covenant, (a) is exempt under Chapter 42, Section 3607 of the United States Code, or (b) relates to handicap but does not discriminate against handicapped persons.
Does Affect, the 500ft exclusive area begins at the boundary for all of Lot 4 and extends outward 500ft in all directions.
 - (f)** The following easements and/or building lines affecting the subject property as shown on plat recorded in Cabinet A, Page 637, Plat Records, Tarrant County, Texas:
5' TESCO easement along north, east, southeast, and south property lines.
Two 15' utility easements across northern part of the property.
Variable width utility easement across central part of the property, and
10' utility easement along eastern part of the north property line.
Affects as Shown.
 - (g)** Terms, conditions, and easements in that certain Easement and Agreement for Underground Facilities by and between Texas Utilities Electric Company and JEMTex Development No. 44, Inc., dated March 1, 1991, filed April 17, 1991, recorded in Volume 10230, Page 354, Deed Records, Tarrant County, Texas.
Affects as Shown.
 - (h)** Terms, conditions, and easements in that certain Reciprocal Easements Agreement by and between JEMTex Development No. 44, Inc. and Bank of Commerce, dated December 19, 1990, filed December 26, 1990, recorded in Volume 10131, Page 2351, Deed Records, Tarrant County, Texas.
Affects As Shown.
 - (i)** Terms, conditions, and easements in that certain Reciprocal Easements Agreement by and between JEMTex Development No. 44, Inc. and Bank of Commerce, dated December 19, 1990, filed December 26, 1990, recorded in Volume 10131, Page 2376, Deed Records, Tarrant County, Texas.
Affects, No Plottable Easement.
 - (j)** Terms, conditions, and easements in that certain Easement Agreement by and between JEMTex Development No. 44, Inc. and Bank of Commerce, dated June 3, 1991, filed June 11, 1991, recorded in Volume 10282, Page 2382, Deed Records, Tarrant County, Texas.
Affects As Shown.
 - (k)** Terms and conditions of Lease dated January 6, 2006 by and between Crest Net Lease, Inc. (Landlord) and Westlake Hardware, Inc. (Tenant), evidenced by Memorandum of Lease filed January 18, 2006, recorded under Clerk's File No. D206015062, Official Public Records, Tarrant County, Texas and First Amendment to Memorandum of Lease filed April 5, 2006, recorded under Clerk's File No. D206098540, Official Public Records of Tarrant County, Texas, as affected by Memorandum of Assignment of Lease filed April 3, 2006, recorded under Clerk's File No. D206095067, and Assignment and Assumption of Lease filed April 30, 2013, recorded under Clerk's File No. D213108714, Official Public Records of Tarrant County, Texas.
The surveyed property is that same property described in the documents referenced by this item.
 - (l)** Interest in and to all coal, lignite, oil, gas and other minerals, and all rights incident thereto, contained in Warranty Deed from Warren B. Donaldson and Hazel O. Donaldson to Eula P. Hardesty, dated December 4, 1951, filed December 6, 1951, recorded in Volume 2379, Page 12, Deed Records, Tarrant County, Texas. Reference to which instrument is here made for particulars. **NO FURTHER SEARCH OF TITLE HAS BEEN MADE AS TO THE INTEREST(S) EVIDENCED BY THIS INSTRUMENT, AND THE COMPANY MAKES NO REPRESENTATION AS TO THE OWNERSHIP OR HOLDER OF SUCH INTEREST(S).**
Not A Survey Matter.
 - (m)** Interest in and to all coal, lignite, oil, gas and other minerals, and all rights incident thereto, contained in Warranty Deed from W.H. Hames to Ellis E. Dunn, dated September 9, 1957, filed September 18, 1957, recorded in Volume 3146, Page 103, Deed Records, Tarrant County, Texas. Reference to which instrument is here made for particulars. **NO FURTHER SEARCH OF TITLE HAS BEEN MADE AS TO THE INTEREST(S) EVIDENCED BY THIS INSTRUMENT, AND THE COMPANY MAKES NO REPRESENTATION AS TO THE OWNERSHIP OR HOLDER OF SUCH INTEREST(S).**
Not A Survey Matter.

GENERAL NOTES

- Eagle Surveying, LLC did not abstract the subject property. This survey was based off of a Legal description provided by First American Title Insurance Company with G.F. No. PL21-29694, an effective date of June 22, 2021, 8:00 am and issued July 2, 2021, 8:00 am. This survey is only valid for G.F. No. PL21-29694. Eagle Surveying, LLC does not intend to express an opinion regarding ownership or title of the subject property.
- This survey is being provided by Eagle Surveying, LLC solely for the use of the parties to whom the survey is certified and no license has been created, express or implied to copy the survey except as necessary in conjunction with this transaction.
- The underground utility locations shown hereon are approximate and are based on above-ground evidence and utility markings. The surveyor makes no representation that the underground utility locations are in the exact location indicated, but does certify that they are located as accurately as is reasonably practicable from the information provided and observed in the field.
- There was no visible evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- This site is undeveloped, therefore no parking spaces were observed in the process of conducting the fieldwork.
- Eagle Surveying, LLC has not been provided any documentation regarding proposed changes in street right of way lines, furthermore there was no visible evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- There are no visible encroachments or overlapping of improvements except as shown hereon.
- No substantial features were observed in the process of conducting the fieldwork except as shown hereon.
- Eagle Surveying, LLC has not been provided a zoning report or letter at the time this survey was prepared.
- The bearings shown on this survey are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).

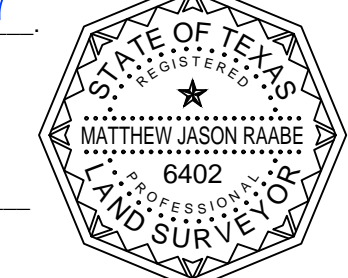
SURVEYORS CERTIFICATION

This survey is certified by Benchmark Title, LLC, First American Title Insurance Company, WSP Basswood, LLC, Independent Bank & John Michael Hawkes and Kristen Rye Hawkes, Trustees of the Hawkes Family Trust dated September 23, 2016, and Joseph E. Hawkes.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 7(a), 8, 13, 14, 16, 17 & 18 of Table A thereof. The fieldwork was completed on June 16th, 2021.

This map or plat was prepared on 07-07-21

Matthew Raabe
Matthew Raabe
R.P.L.S. # 6402



No proposed changes to lighting, signage or landscaping.
All lighting will conform to Lighting Code.
All signage will conform to Article 4, Signs.
Project will comply with Section 6.301, Landscaping.
Project will comply with Section 6.302, Urban Forestry.

ALTA / NSPS LAND TITLE SURVEY

Being 3.56 Acres of land in the
William W. Thompson Survey, Abstract Number 1498
City of Fort Worth, Tarrant County, Texas

LEGEND	
	Record Call
	Iron Rod Found
	Capped Iron Rod Found
	Plat Records
	Tarrant County, Texas
	Subject Property
	Treat/Flood Lines
	Wood Fence
	Chain Link Fence
	Overhead Utilities
	Easement

Owner: WSP Basswood LLC
Applicant: Westlake Hardware, Inc.
14000 Marshall Drive, Lenexa, KS 66215
(913) 888-8438 x2279
PD Amendment revised 9/29/21

Director of Planning and Development: _____
Date: _____
Project Title: Westlake Ace Hardware
ZC-21-170

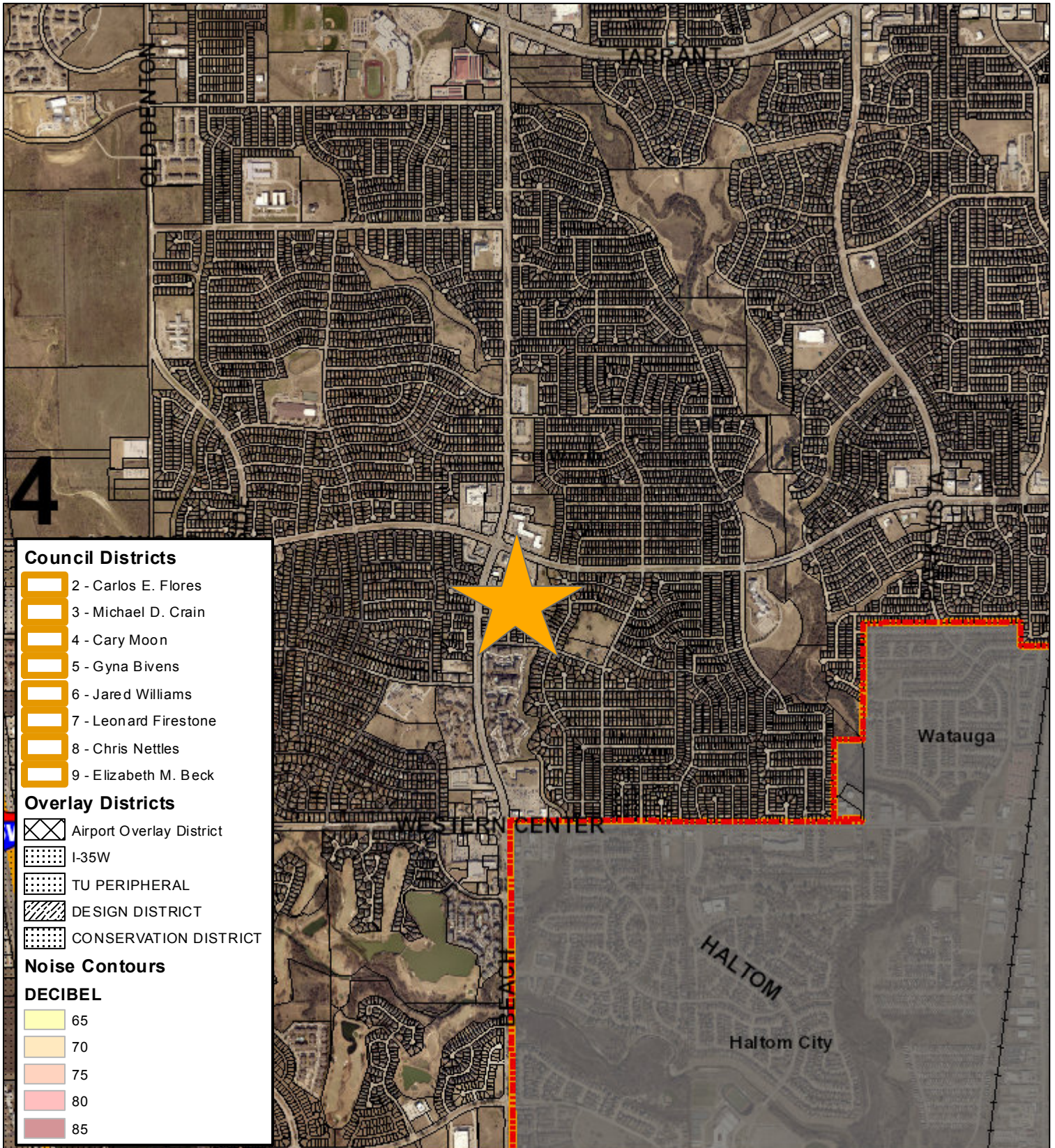
JOB NUMBER	2105.055
DATE	6/23/2021
REVISION	7/2/2021
DRAWN BY	CF



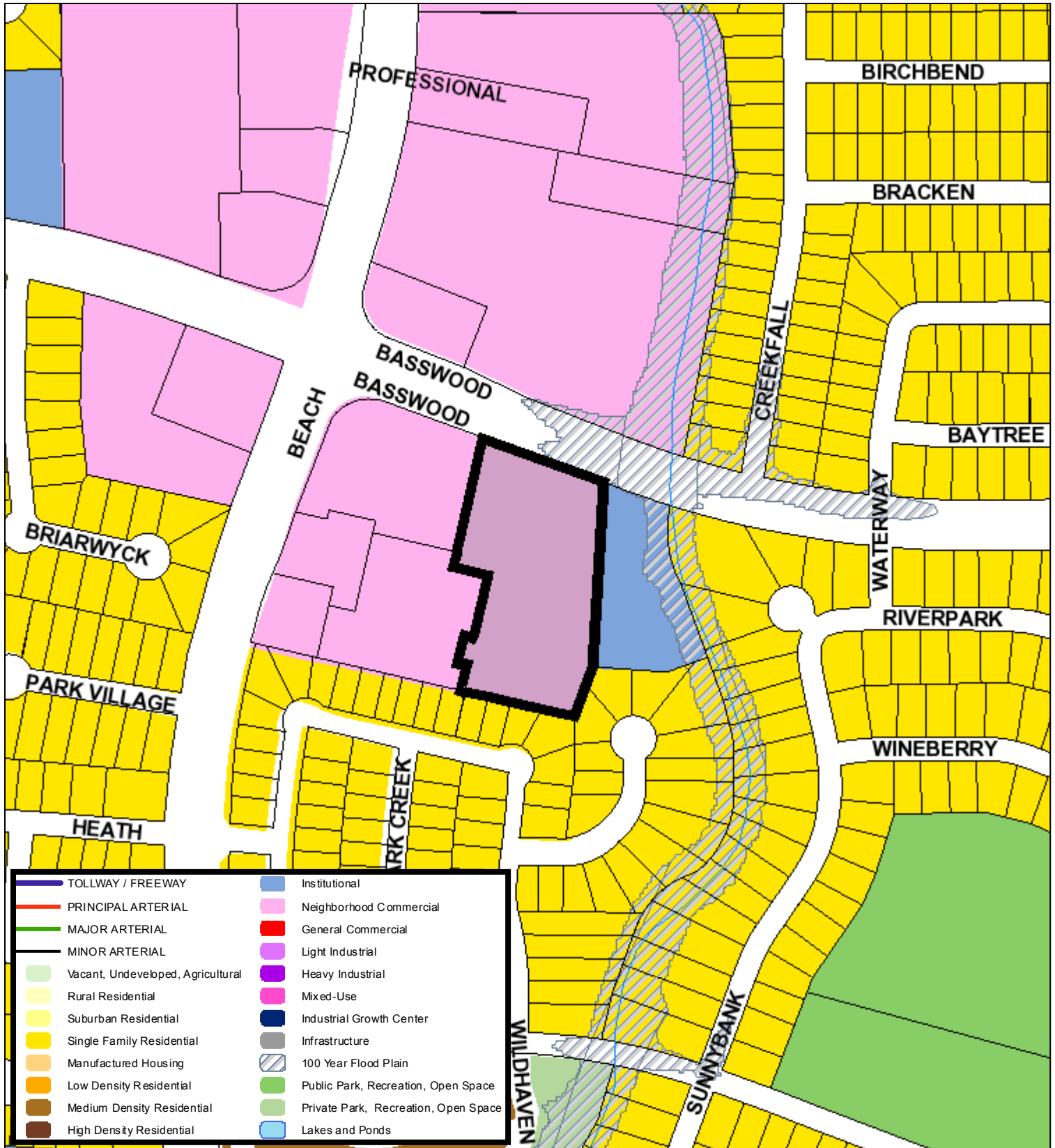
Eagle Surveying, LLC
210 South Elm Street
Suite: 104
Denton, TX 76201
940.222.3009
www.eaglesurveying.com
TX Firm # 10194177

PROPERTY ADDRESS
4440 BASSWOOD
BOULEVARD
FORT WORTH, TEXAS
76137

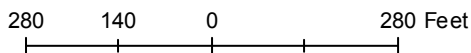
Area Map



Future Land Use



280 140 0 280 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 180 360 720 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-172

Council District: 4

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Robert H. Frost

Site Location: 100-500 blocks Beach Street

Acreage: 29.87

Request

Proposed Use: Industrial

Request: From: "B" Two-Family

To: "J" Medium Industrial

Recommendation

Land Use Compatibility: Requested change is **compatible**.

Comprehensive Plan Consistency: Requested change is **not consistent (significant deviation)**.

Staff Recommendation: **Approval**

Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located south of 1st Street on the east side of Beach Street. The site is currently vacant and is zoned “B” Two-Family. The applicant is proposing to rezone this property to “J” Medium Industrial to allow for the development industrial and warehouse.

There is a significant amount of industrial zoned land east and south of the site. Development challenges exist and reduce the amount of land that can be used for industrial due to water features and extensive floodplain on the east side of the property. The proposed industrial would take advantage of the close proximity to arterials and highways near the site.

Surrounding Zoning and Land Uses

North “B” Two-Family / single-family
East “K” Heavy Industrial; “J” Medium Industrial / vacant, truck storage
South “J” Medium Industrial / vacant
West “B” Two-Family / vacant, single-family

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Riverside Alliance	Streams and Valleys Inc
Neighborhoods of East Fort Worth	Trinity Habitat for Humanity
East Fort Worth, Inc.	United Riverside Rebuilding Corporation, Inc.
East Fort Worth Business Association	Fort Worth ISD

** Subject property is not located within a registered Neighborhood Organization*

Land Use Compatibility

The applicant is requesting to change the zoning of this property from “B” Two-Family to “J” Medium Industrial. Surrounding uses vary with single-family to the north and west with vacant land and truck parking to the south and east. Adjacent property to the south and east is already zoned “K” Heavy Industrial and “J” Medium Industrial.

The site is located along two arterials with nearby access to both SH 121 to the north and IH-30 to the south making this site desirable for industrial uses. Industrial zoned development adjacent residentially zoned property will be required to provide a 50 ft. setback, fencing, and a 5 ft. landscaped buffeyard.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

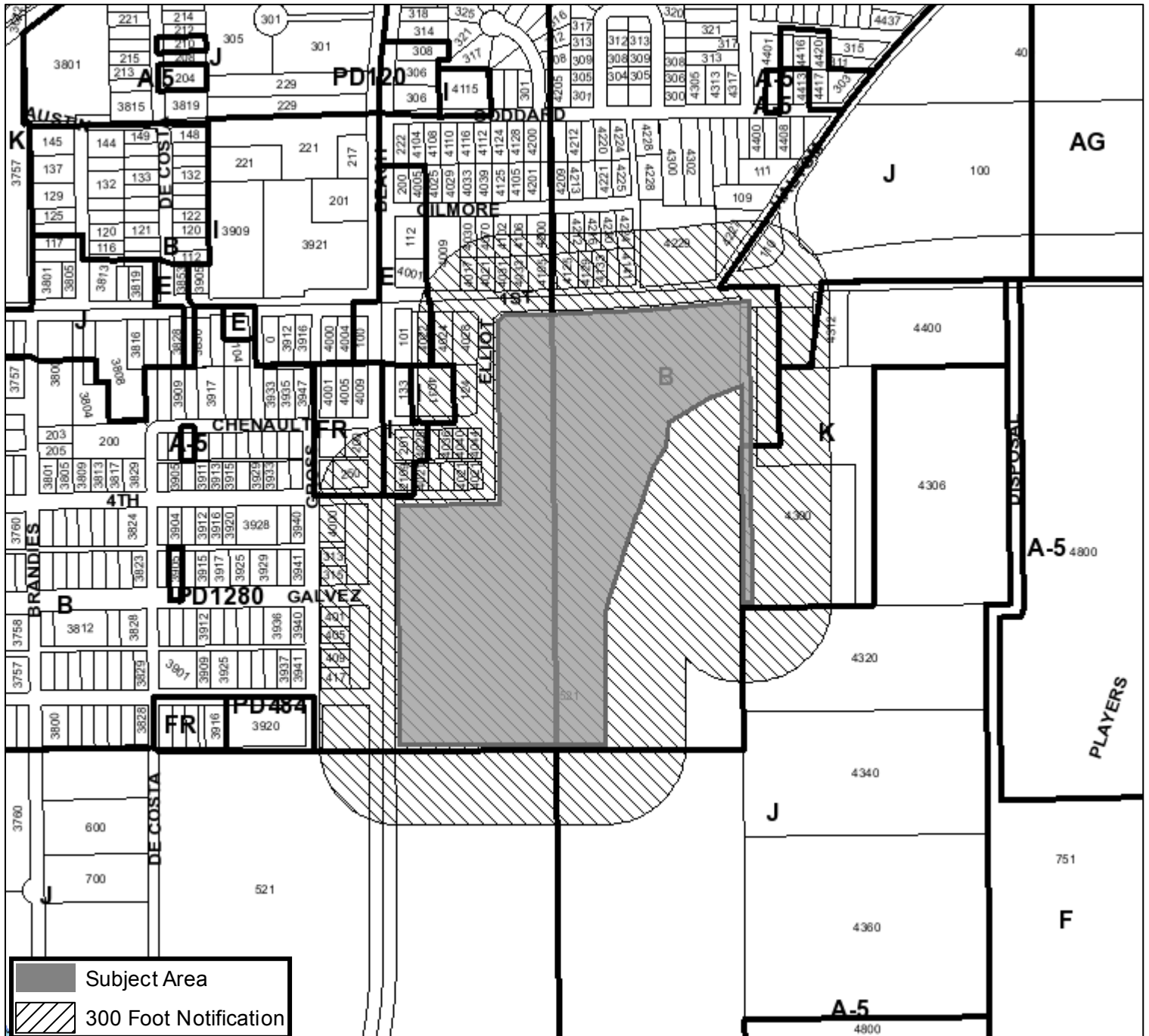
The 2021 Comprehensive Plan currently designates the subject property as “Low-Density Residential” and “Neighborhood Commercial” on the Future Land Use Map



The proposed “J” Medium Industrial zoning does not meet the intent of the Future Land Use Designation in this area. Therefore, the proposed zoning is **not consistent** with the Comprehensive Plan (**significant deviation**).

However, staff contends that the proposed use could be appropriate on this property and is a logical expansion industrial that is already in place east of the site.

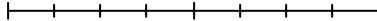
Area Zoning Map

Applicant: Robert H. Frost
 Address: 100 - 500 blocks Beach Street
 Zoning From: B
 Zoning To: J
 Acres: 29.87757279
 Mapsco: 64STWX
 Sector/District: Eastside
 Commission Date: 10/13/2021
 Contact: 817-392-6226

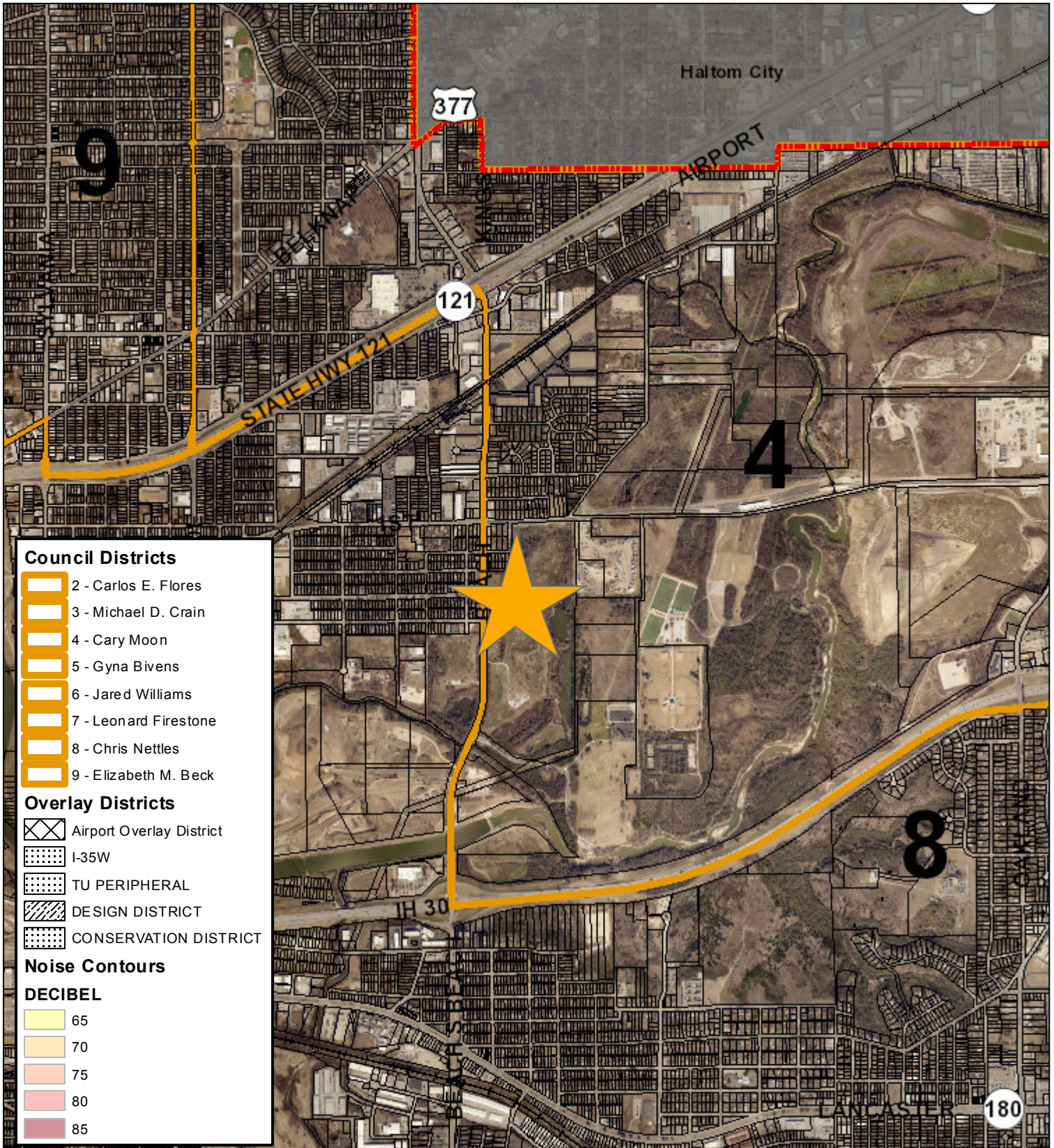


 Subject Area
 300 Foot Notification









0 262.5 525 1,050 Feet








Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

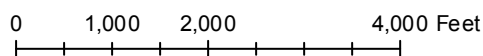
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

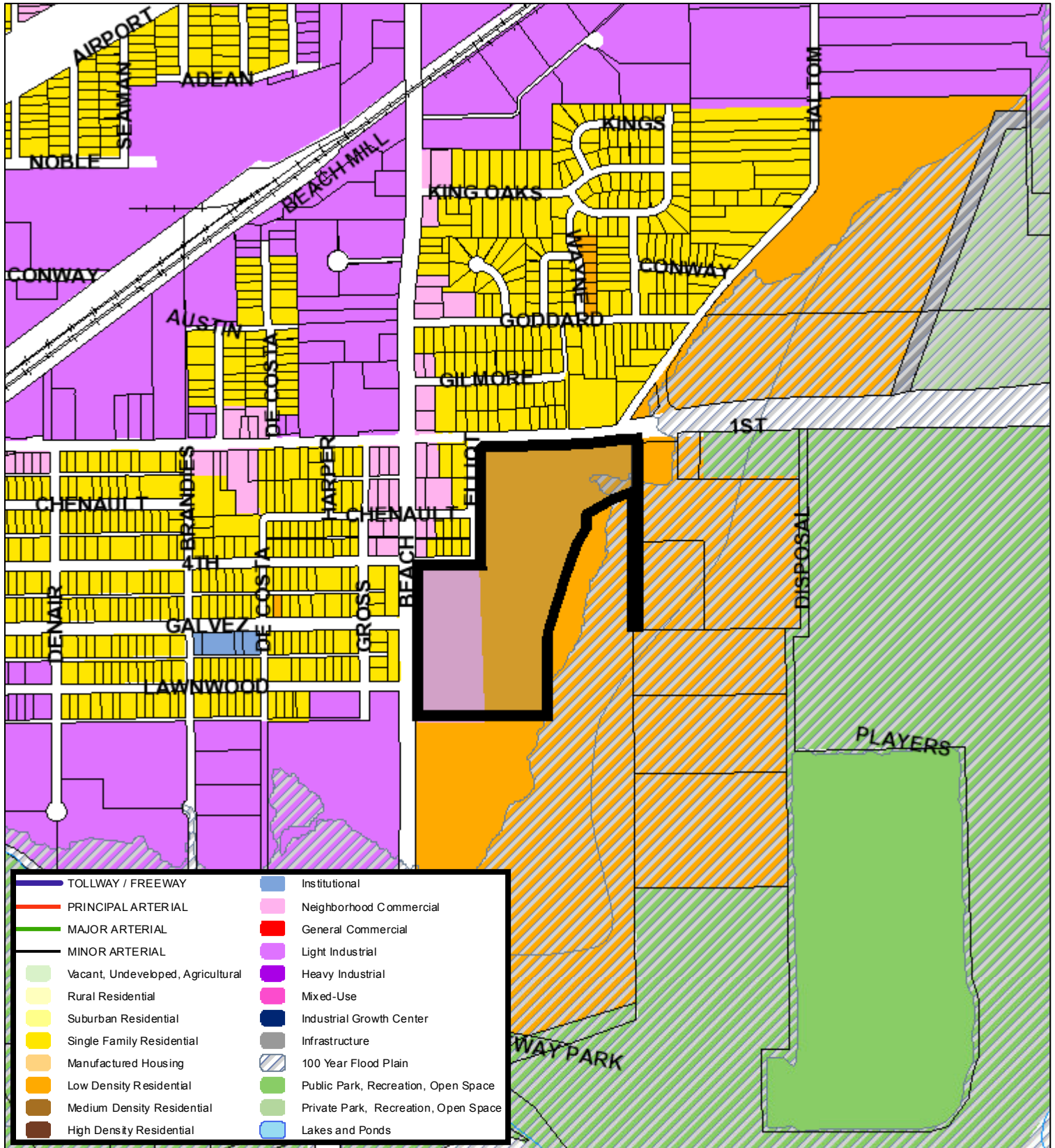
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use

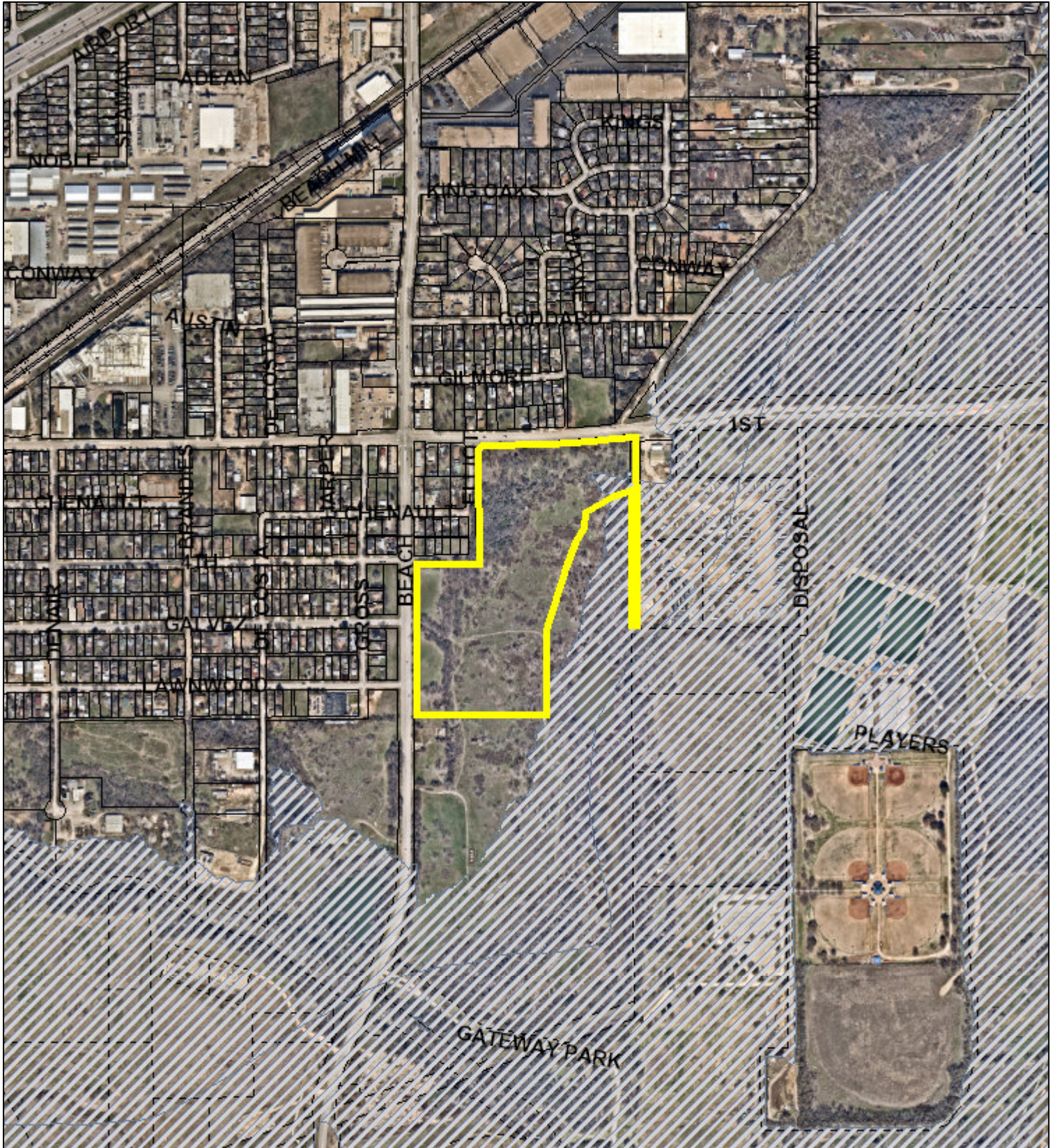


800 400 0 800 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 500 1,000 2,000 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-174

Council District: 6

Site Plan

Case Manager: [Stephen Murray](#)

Owner / Applicant: Bloomfield Homes, LP

Site Location: 1301 W. Risinger Rd.

Acreage: 54.91 acres

Request

Proposed Use: Detached Multifamily

Request: From: “A-5” One-Family

To: Planned Development for all uses in “CR” Low Density Residential with development regulation standards applicable to detached multifamily with waivers to open space, perimeter fencing, carports in front of the building, building length, setback to one-family, building orientation and MFD submittal; site plan included

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Consistency: Requested change **is not consistent (significant deviation)**

Staff Recommendation: **Denial**

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph
10. Preliminary Layout

Project Description and Background

The property is located along Risinger Road, west of IH-35W. The applicant is proposing a zoning change to accommodate a detached multifamily that will include multiple individual, separate structures on one lot, shared community space, and a leasing office on site. As none of the city's zoning districts can accommodate this form at this time, a Planned Development [PD] is necessary with waivers to the standards including setbacks, open space, parking, height, and building separation in order to allow the development form that is being proposed.

The proposed development consists of 404 detached dwelling units. There is a mix of five (5) different unit types with one (1) to six (6) bedroom units. The site will be using the multifamily parking ratio of 1 space per bedroom, 1 space per 250 sq. ft. of indoor recreation space

This is a PD based on CR/URD standards, with modifications. The table below describes the differences between current and proposed standards.

Requirement	CR/URD Standards	Proposed PD/CR
Front Yard	20' (minimum)	10' landscape buffer with a 10' building setback (20' effective setback) from Hemphill and the future public roadway right-of-way
Side Yard	5' (minimum) Interior 20' (minimum) corner lot adjacent to street	Buildings structures are 10' apart (wall to wall); garage structures are 10' from the buildings (wall to wall); 10' building setback along the southern property line; 10' building setback on the eastern property line; 10' building setback along the southern property line
Rear Yard	5' (minimum)	10' landscape buffer with a 10' building setback (20' effective setback) from Hemphill and the future public roadway right-of-way; internally, rear yards are 10' deep off the rear of the building; 10' building setback on the eastern property line; 10' building setback along the southern property line
Setback	Setback adjacent one or two family district: 30' (minimum) depending on height. 3' for every 1' (3:1) as measured from slab to top of sill plate, or 2' for every 1' (2:1) in overall height when measured from lowest finished grade to the peak of the roof, whichever is greater	10' landscape buffer with a 10' building setback (20' effective setback) from Hemphill and the future public roadway right-of-way. 10' building setback on the eastern property line; 10' building setback along the southern property line Waiver Required
Height	36' (maximum) slab to top plate	2 story (36' maximum)

Minimum Parking Requirements	1 space per bedroom, 1 space per 250 sq ft of indoor recreation space	1 bdrm unit=1.5 spaces per unit 2 bdrm unit=2.0 spaces per unit 3 bdrm unit=2.25 spaces per unit
Open Space	60%	40% (minimum) Waiver required
Building Separation		10' wall to wall between buildings
Density	16 units/acre	16 units/acre
Building Orientation	Buildings located on public streets must face the street with the longest length of the building placed parallel/adjacent to the street. Where site constraints require, the building end (shortest length of the building) may face a public street only when the same exterior quality to the building facade is provided including architecture, masonry and fenestration proportion on the side of other buildings facing the public street.	Short side of units shall be allowed to be oriented to property line and public street as depicted on the site plan. Waiver required
Accessory Structures	Carports are not allowed between the front of the building face and the street	Carports shall be allowed between the face of the building and the street as depicted on the site plan. Waiver required
Perimeter Fencing	Exterior security fences and gates that are located along public streets, along a public access easement, or along publicly accessible open space shall not extend beyond building facades	Screening wall (masonry or wrought iron shall be allowed) with gated entry shall be allowed. Waiver required
Interior Fencing	For private residential patios and yards, a fence, railing, or low wall may extend beyond the building facade if the following requirements are met.	Private yards shall be fenced with fencing between 4'-6' tall and can be either wrought iron, wood fencing or similar. Waiver required
Signage	Comply with Sign Ordinance	We will install entry monument signage at each main entry (one to the west pod and one to the east pod)

Surrounding Zoning and Land Uses

North “AG” Agricultural; “J” Medium Density Multifamily / industrial

East “PD 1194” Planned Development/”J” Medium Industrial with development standards; rail ROW/ industrial

South “A-5” One-Family / vacant

West “A-5” One-Family; “CF” Community Facilities / CISD Schools

Recent Zoning History

- ZC-20-094 from “A-5” One-Family & “CF” Community Facilities to “CF” Community Facilities (west of subject site)
- ZC-18-065 from “A-5” One-Family to “PD/J” Medium Industrial to include dev standards for landscape buffer, lighting, color, circulation and signage; site plan waived (east of subject site)

Public Notification

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
The Clark Road NA	Risinger Deer Creek HOA*
The Parks of Deer Creek HOA	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity
Everman ISD	Crowley ISD

* Located in close proximity to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The proposed site is located along Risinger Rd. Surrounding uses vary with an elementary school and high school to the west, industrial to the north and east and vacant land to the south.

The proposed use will increase density in the area. Access to the site is currently provided via Risinger Road which is a two lane arterial. New road construction will likely be required as part of the development. This layout creates a concern due to the proximity of existing schools and industrial traffic. The site is also adjacent an at-grade rail crossing, which also creates additional issues.

In total, the proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

The 2021 Comprehensive Plan currently designates the subject property as single-family. The Comprehensive Plan policies and strategies below apply to this proposal:

- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Locate multifamily units within walking distance of public transportation, employment, recreation, and/or shopping to increase accessibility and decrease vehicular traffic.
- Promote measures to ensure that all types of residential developments are compatible in scale to abutting residential developments. A dramatic difference in lot size and units per acre should be discouraged for new development immediately adjacent to existing development or platted and zoned property, unless mitigation is provided to minimize the effects of the new use.

The proposed zoning is **not consistent (significant deviation)** with the Comprehensive Plan.



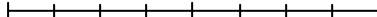
Area Zoning Map

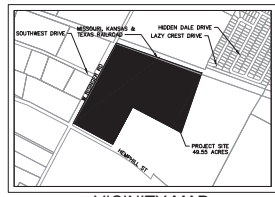
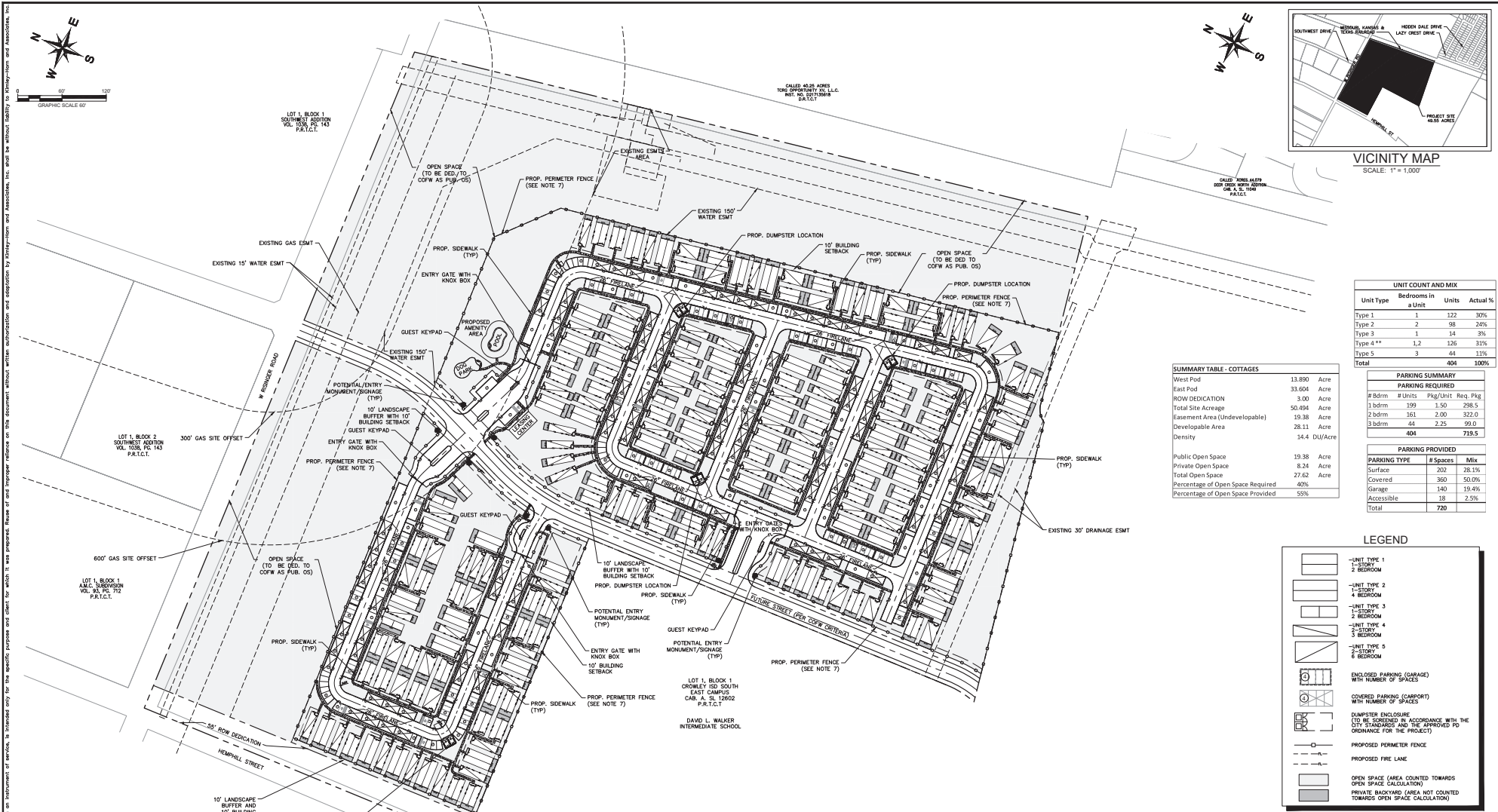
Applicant: Bloomfield Homes, LP
 Address: 1301 W. Risinger Road
 Zoning From: C
 Zoning To: PD for CR uses
 Acres: 54.91419101
 Mapsco: 104U
 Sector/District: Far South
 Commission Date: 10/13/2021
 Contact: 817-392-6226



Subject Area
 300 Foot Notification

0 287.5 575 1,150 Feet





VICINITY MAP
SCALE: 1" = 1,000'

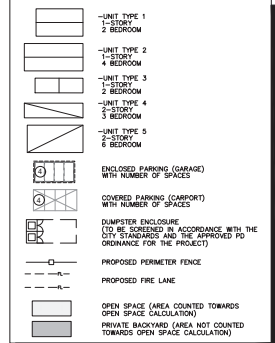
UNIT COUNT AND MIX			
Unit Type	Bedrooms in a Unit	Units	Actual %
Type 1	1	122	30%
Type 2	2	98	24%
Type 3	1	14	3%
Type 4**	1,2	126	31%
Type 5	3	64	13%
Total		404	100%

PARKING SUMMARY			
PARKING REQUIRED			
# Bdrm	# Units	Pkg/Unit	Req. Pkg
1bdm	199	1.50	298.5
2bdm	161	2.00	322.0
3bdm	44	2.25	99.0
Total	404		719.5

PARKING PROVIDED		
PARKING TYPE	# Spaces	Mix
Surface	202	28.1%
Covered	360	50.0%
Garage	140	19.4%
Accessible	18	2.5%
Total	720	

SUMMARY TABLE - COTTAGES	
West Pond	13.890 Acre
East Pond	33.604 Acre
ROW DEDICATION	3.000 Acre
Total Site Area	50.494 Acre
Developable Area (Undevelopable)	19.38 Acre
Developable Area	28.11 Acre
Density	14.4 DU/Acre
Public Open Space	19.38 Acre
Private Open Space	8.24 Acre
Total Open Space	27.62 Acre
Percentage of Open Space Required	40%
Percentage of Open Space Provided	55%

LEGEND



- NOTES (CONT.)
- MAXIMUM DENSITY PER ACRE SHALL BE 16 UNITS PER ACRE.
 - CEMENTITIOUS FIBERBOARD (CFB) SIDING, ALSO KNOWN AS COMPOSITE LAP SIDING, SHALL BE A PERMITTED MASONRY MATERIAL FOR THE PLANNED DEVELOPMENT, WITH SOME UNITS HAVING A MAXIMUM OF 90 PERCENT COVERAGE OF CFB ON CERTAIN SIDES; COVERAGE MAY HAVE A MINIMUM OF 20% MASONRY SHALL BE ALLOWED ON THE EXTERIOR OF THE BUILDINGS.
 - BUILDINGS SHALL INCORPORATE SOME COMBINATION OF THE FOLLOWING FACADE VARIATION ELEMENTS: EXPRESSION OF BUILDING STRUCTURAL ELEMENTS (IE COLUMNS, WATER TABLE), VARIATION IN WALL PLANES (INCLUDING PORCHES BOTH RECESSED OR PROTRUDING, WINDOWS, LOWERED RECESSED VENTS, CORBELS, CEDAR BRACKETS, ETC) AND CHANGES IN MATERIAL, MATERIAL PATTERN AND COLOR.
 - ACCESSORY BUILDINGS SHALL INCLUDE: LEASING CENTER, AMENITY CENTER, PARKING GARAGES, MAINTENANCE AND STORAGE BUILDINGS.
 - ACCESSORY BUILDINGS SHALL CONFORM TO REQUIREMENTS STATED ON THIS SITE PLAN. NO FURTHER SITE PLANS OR SPECIFIC USE PERMITS SHALL BE REQUIRED FOR THE ACCESSORY BUILDINGS.
 - FRONT YARD SETBACKS TO BE MINIMUM OF 10' FROM BACK OF CURB
 - REAR YARD SETBACKS TO BE 10' MINIMUM (AC UNITS SHALL BE ALLOWED WITHIN THE SETBACKS).
 - SIDE YARD SETBACKS TO BE 10' MINIMUM (AC UNITS SHALL BE ALLOWED WITHIN THE SETBACKS).

- NOTES (CONT.)
- THIS REQUEST FOR A PLANNED DEVELOPMENT IS IN ACCORDANCE WITH THE "CR" DISTRICT STANDARDS, WITH THE FOLLOWING EXCEPTIONS:
 - OPEN SPACE, MINIMUM 40% (20.22 ACRES) (INCLUSIVE OF LEASING OFFICE AND AMENITY AREA), EXISTING AND PROPOSED EASEMENTS, 100-YEAR FLOODPLAIN, COURTYARDS, AREAS TO BE DEDICATED TO COFW FOR PARK LAND, GREEN/LANDSCAPED AREAS BETWEEN BUILDINGS, AND DETENTION PONDS SHALL BE COUNTED PER OPEN SPACE REQUIREMENTS.
 - RESIDENTIAL UNITS MINIMUM TEN FOOT (10') SEPARATION WALL TO MAINTENANCE AND STORAGE BUILDINGS.
 - ENCLOSED GARAGE UNITS MINIMUM TEN FOOT (10') SEPARATION FROM RESIDENTIAL UNITS, WALL TO WALL.
 - MAXIMUM HEIGHT OF THE DUPLEX UNIT SHALL BE 36' (2 STORY).
 - MINIMUM SQUARE FOOTAGE FOR A ONE BEDROOM UNIT IS 350 SF.
 - PARKING BASED ON:
 - 1 BEDROOM UNIT: 1.50 SPACES/UNIT
 - 2 BEDROOM UNITS: 2.00 SPACES/UNIT
 - 3 BEDROOM UNITS: 2.25 SPACES/UNIT
 - MINIMUM 25% OPEN SURFACE PARKING ALLOWED.
 - MINIMUM 40% COVERED PARKING ALLOWED.
 - MINIMUM 15% ENCLOSED GARAGE PARKING ALLOWED.

- NOTES
- SITE AMENITIES INCLUDE: DOG PARK, COURTYARD AREAS, AND SIDEWALKS THROUGHOUT THE DEVELOPMENT.
 - ALL PROVIDED LIGHTING SHALL CONFORM TO CITY OF FORT WORTH LIGHTING CODE.
 - ALL SIGNS SHALL CONFORM TO ARTICLE 4-SIGNS UNLESS SPECIFIED ON THE SITE PLAN.
 - THIS PROJECT WILL COMPLY WITH SECTION 6.301, URBAN LANDSCAPING.
 - THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
 - TRASH RECEPTACLES WILL BE SCREENED IN WITH A MASONRY WALL ON ALL THREE SIDES AND CONTAIN A GATE.
 - THE SQUARES ON THE PROPOSED PERIMETER FENCING SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY ARE NOT INDICATIVE OF COLUMN SPACING. PROPOSED COLUMN SPACING WILL BE DETERMINED DURING THE DETAILED LANDSCAPE DESIGN PROCESS.

CASE NUMBER : ZC-21-174

EXHIBIT "C"
PD DEVELOPMENT PLAN
FOR
COTTAGES AT DEER CREEK MEADOWS

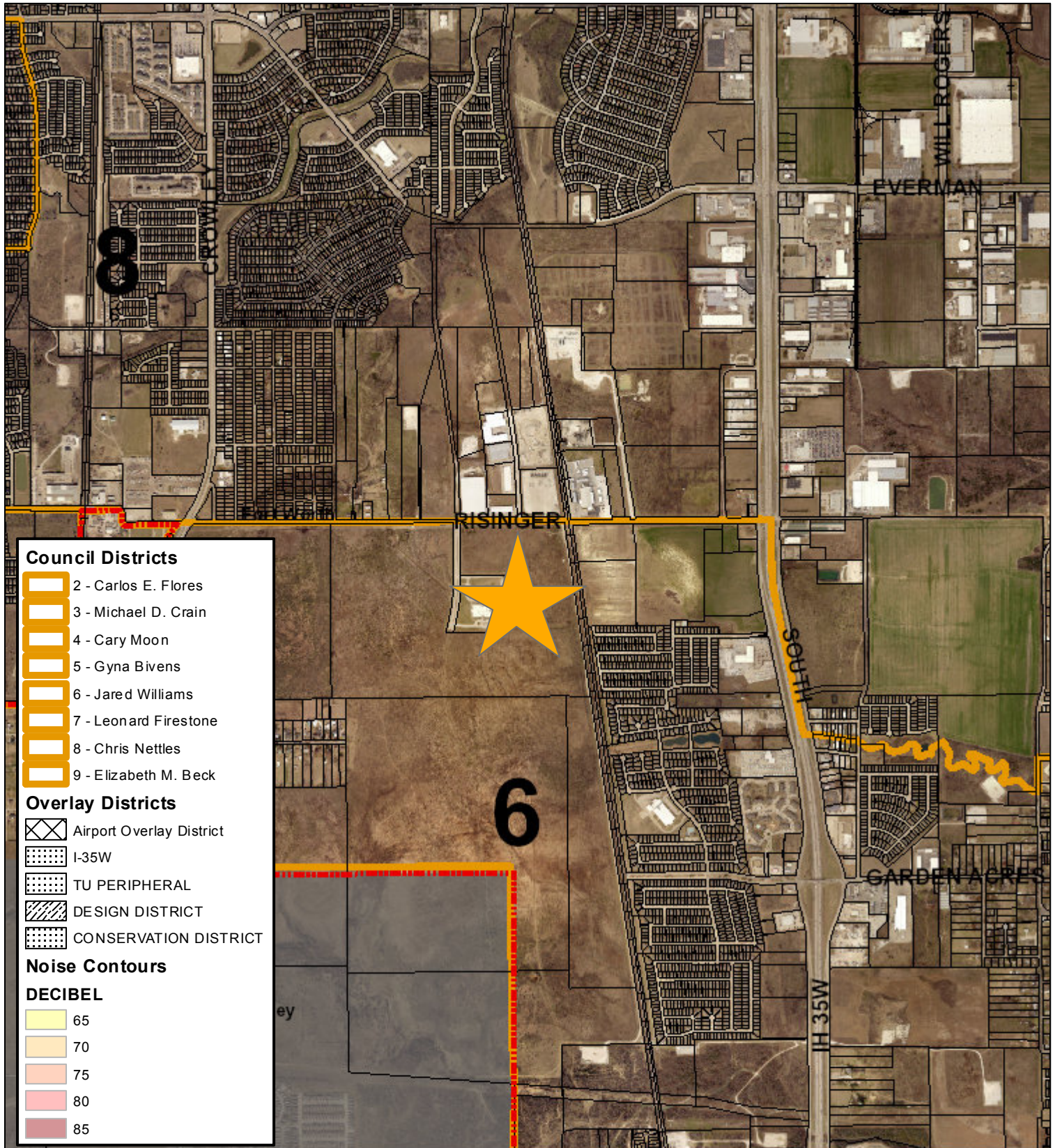
BEING 50.494 ACRES
OUT OF THE
SITE, JOHN SURVEY, ABSTRACT NO. 1434 TRACT 1
IN THE
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

OWNER BLUFIELD HOMES LP 8306 E HWY 114 SOUTHLAKE, TX 76086 Tel: (817) 646-9000 Contact: DON DYKSTRA	DEVELOPER CMI LIVING 1208 TEAN TRAIL FORT WORTH, TX 76061 Tel: (817) 646-9000 Contact: ZAC THOMPSON	ENGINEER/SURVEYOR Kimley-Horn 400 N. Oaklawn Drive, Suite 105 Dallas, TX 75208 Tel: (469) 591-2200 Contact: LORI LUSK, P.E.
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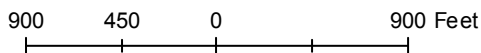
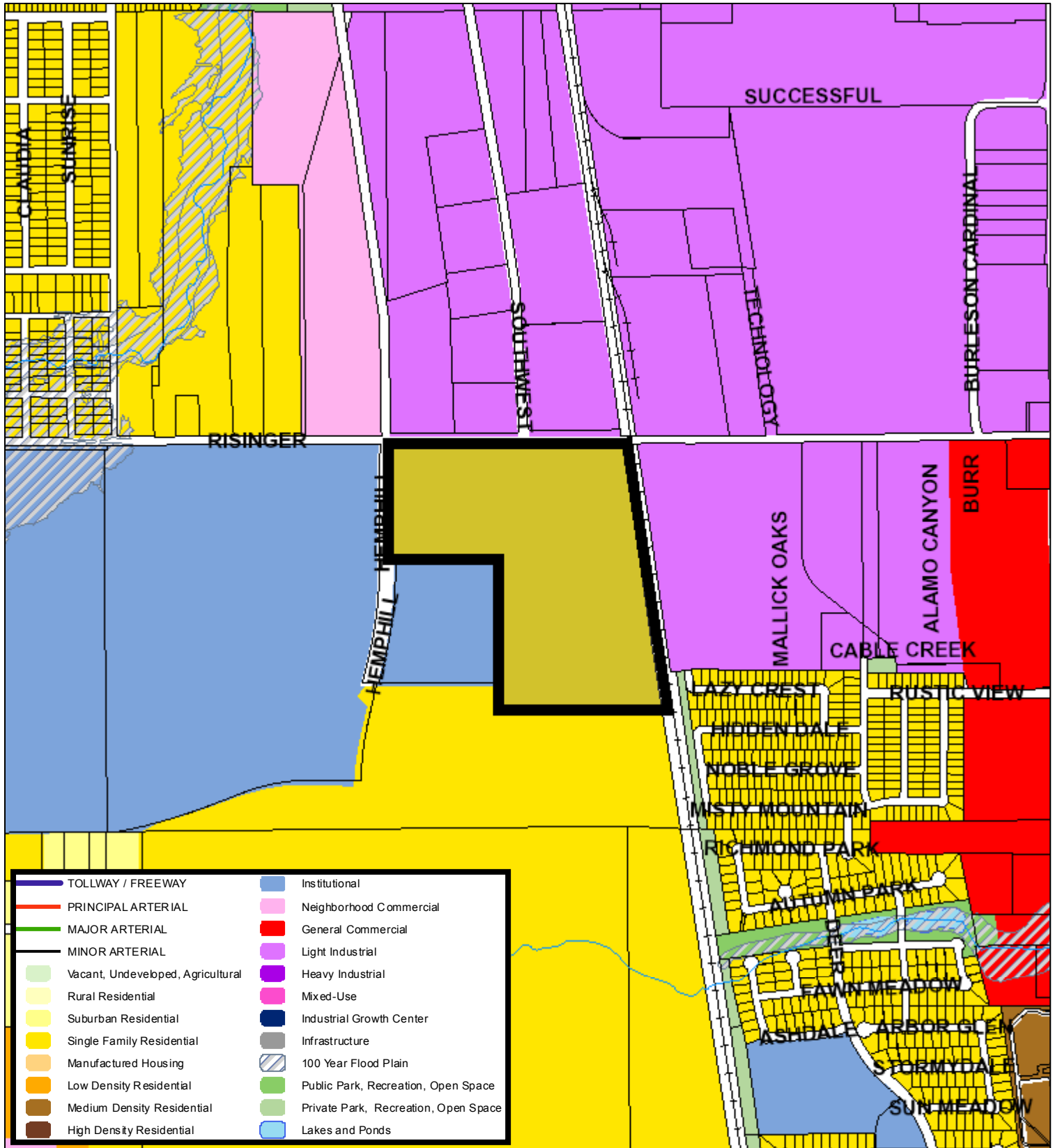
DIRECTOR OF PLANNING AND DEVELOPMENT

DESIGNED	DRAWN	CHECKED	SCALE	DATE	PN PROJECT NO.
				05/27/2021	

Area Map



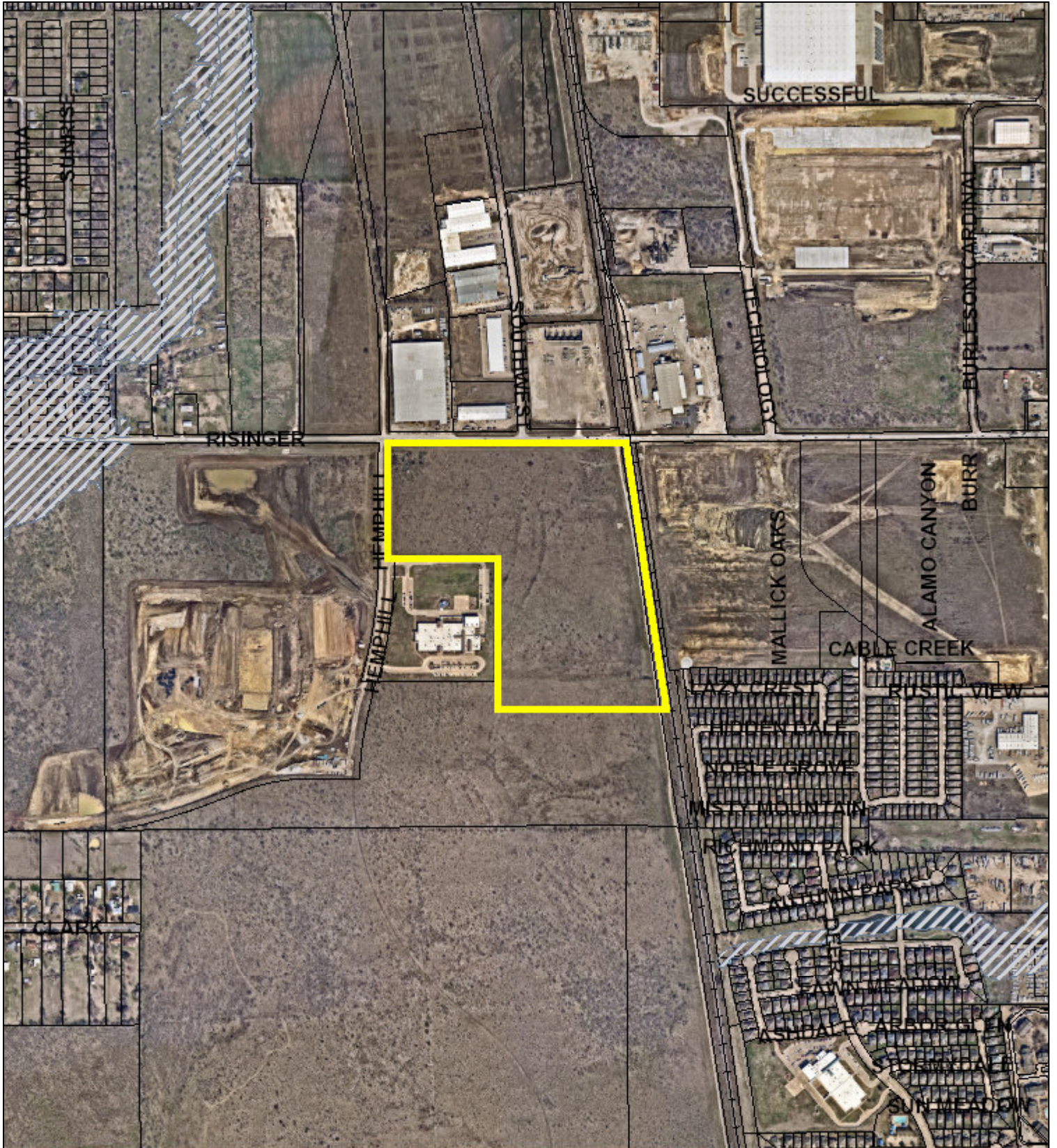
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 550 1,100 2,200 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-176

Council District: 3

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Scott Hamilton / Brandon O'Donald, Pape-Dawson Engineers

Site Location: 2760 Glenrock Drive

Acreage: 2.40 acres

Request

Proposed Use: Office / Warehouse

Request: From: "E" Neighborhood Commercial / NASJRB Overlay

To: Add Conditional Use Permit (CUP) for Warehouse

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

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 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
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8. Future Land Use Map
9. Aerial Photograph
10. Site Plan

Project Description and Background

The applicant is proposing to build an office for a landscaping company on this site, with an attached warehouse to securely store goods and trucks inside the building overnight. The proposed office is 1,500 square feet and the proposed warehouse is 4,000 square feet.

This case was previously heard by the Zoning Commission at the September 8th, 2021 hearing. After receiving feedback from the Commission and the public, the applicant opted to modify their request. They have worked with staff to transition the application from a rezoning request to a Conditional Use Permit (CUP) request. This compromise should be seen as a positive change since it will not open the door up to potential industrial uses in the vicinity in the way the previous rezoning request did. The commercial zoning will remain as-is, with only a warehouse use being permitted, pending approval of the CUP by the City Council.

Surrounding Zoning and Land Uses

North “A-5” One-Family / power lines
East “E” Neighborhood Commercial / apartments
South “FR” General Commercial Restricted / school playground
West “A-5” One-Family / power lines

Recent Zoning History

- NASJRB Overlay zoning was added in 2014.

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 27, 2021:

Organizations Notified	
Western Hills North NA*	Fort Worth ISD
NAS Fort Worth JRB RCC	White Settlement ISD
Streams And Valleys Inc	Trinity Habitat for Humanity

* Located closest to this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The warehouse component is necessitating the CUP review and approval. Office is allowed by right in “E” zones, but warehouse use is not allowed.

The property is situated along the Interstate 30 corridor, which is primarily composed of commercial and industrial type uses and is less desirable for residential uses based on proximity to the freeway. This site does not front directly on to Interstate 30, and is separated from the frontage roads by high voltage electric power lines. Primary access is proposed to be from the Calmont Avenue side of the property. The current topography along the eastern side of the site would make access from Glenrock Drive difficult and impractical.

Western Hills Primary School (FWISD) is immediately to the south of the site, with the playground being closest to the subject property, separated by a fence. There is an apartment community to the east, also featuring a fence along its perimeter.

The current proposal of combination office and warehouse **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Western Hills / Ridglea

The 2021 Comprehensive Plan currently designates the subject property as future Low Density Residential. This is analogous to but not the same as “B” Two-Family zoning, “R-1” Zero Lot Line / Cluster zoning, or “R-2” Townhouse zoning. The plan envisions the parcel to develop into 2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, or cluster housing.

There are two (2) schools within walking distance of the site (Western Hills Elementary & Primary School). Calmont Avenue, which is the primary access point for the site, features two (2) bus lines. This makes the site more attractive for future medium- to high-density housing.

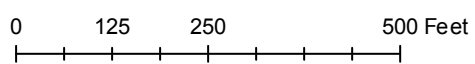
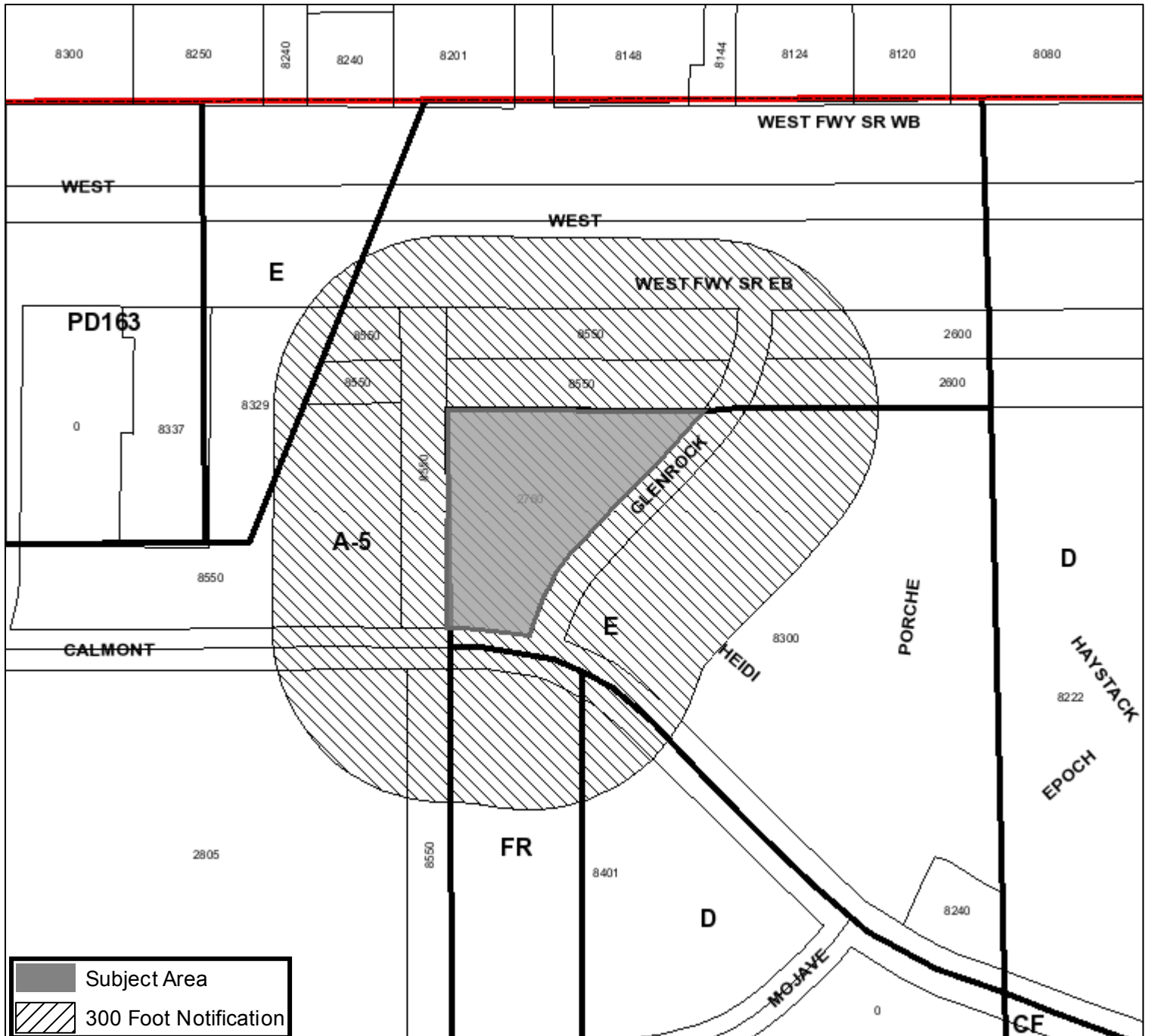
However, the proximity to Interstate 30 and the high voltage power lines detract from the appeal of the property for residential uses. The site is also within the 65-decibel noise contour adjacent to the Naval Air Station Joint Reserve Base. The Comprehensive Plan discourages residential development within this decibel level to ensure compatibility between surrounding land uses and to promote continuity of airbase operations.

The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation.

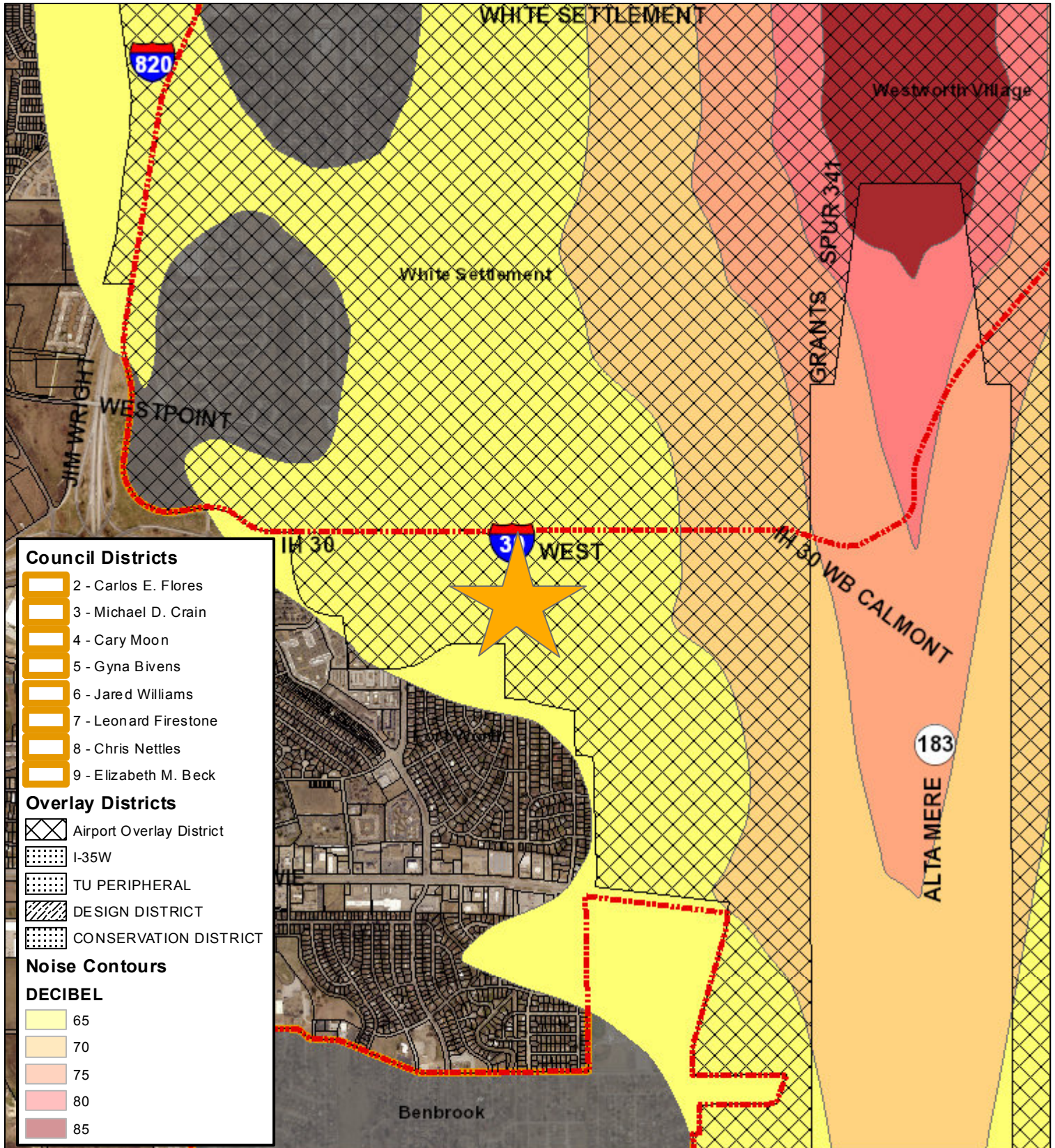


Area Zoning Map

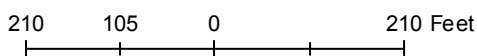
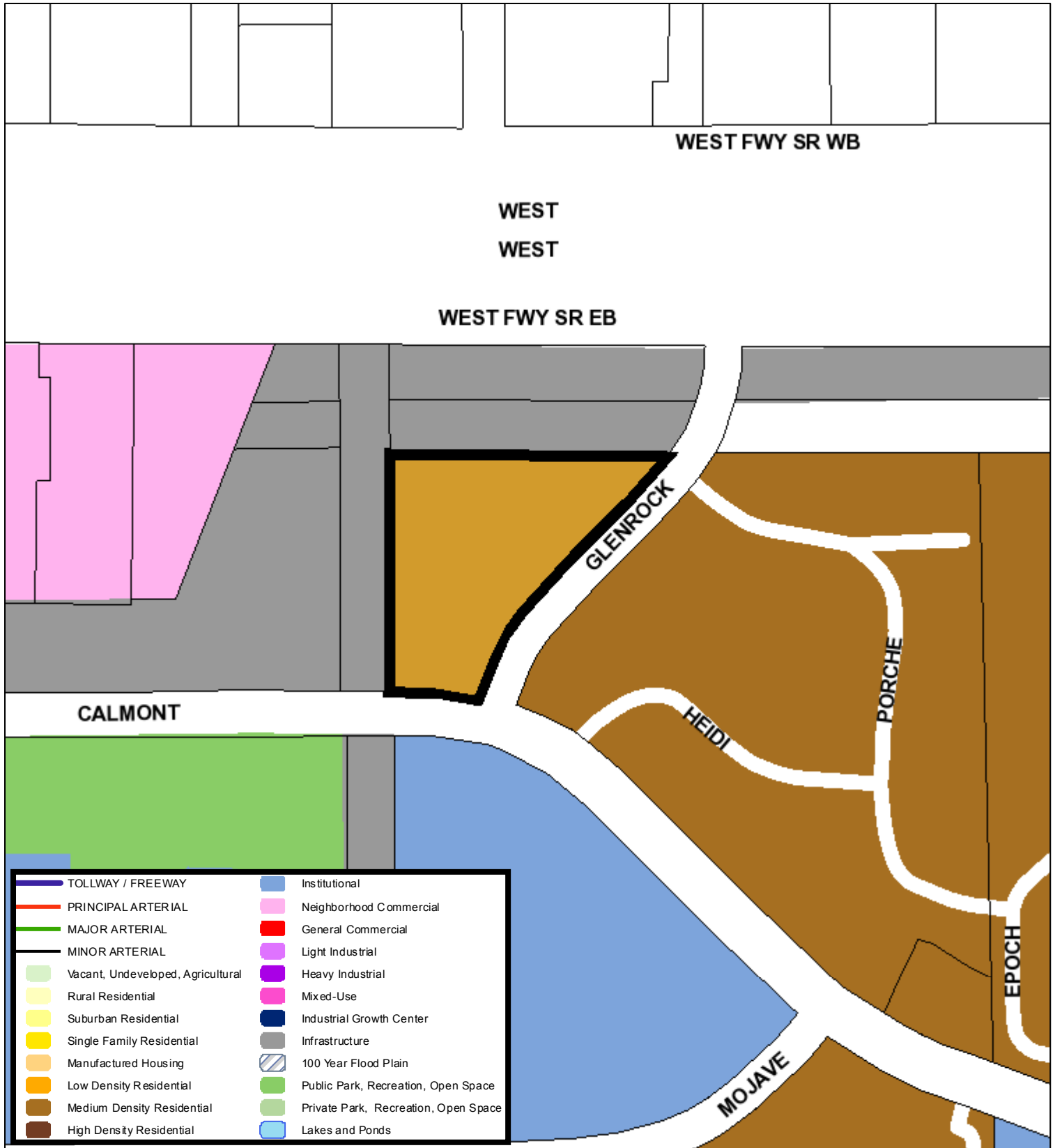
Applicant: Scott Hamilton
 Address: 2760 Glenrock Drive
 Zoning From: E
 Zoning To: Add Conditional Use Permit for landscaping company with warehouse
 Acres: 2.397181
 Mapsco: 73F
 Sector/District: W.hills/Ridglea
 Commission Date: 10/13/2021
 Contact: 817-392-8043



Area Map



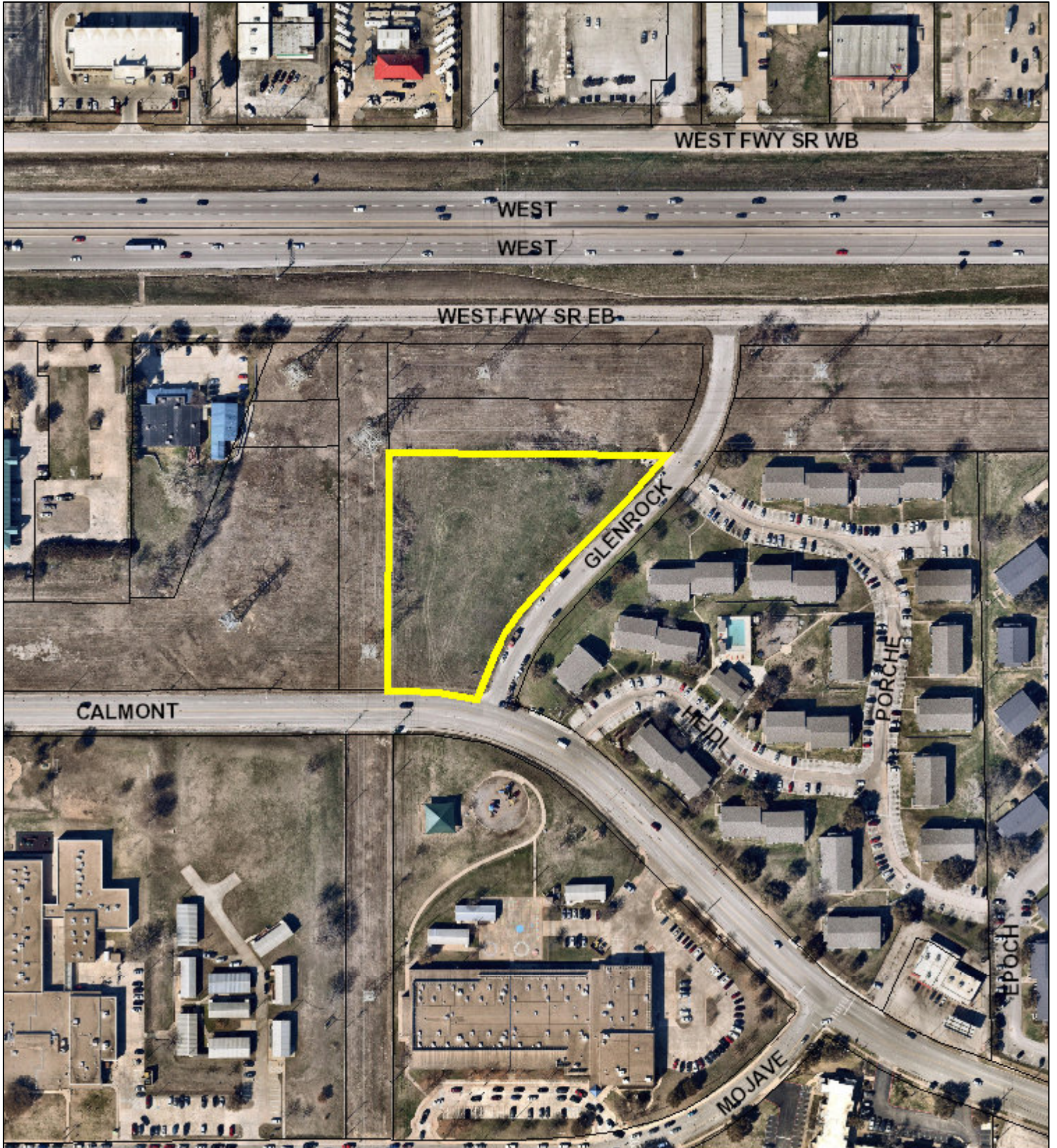
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



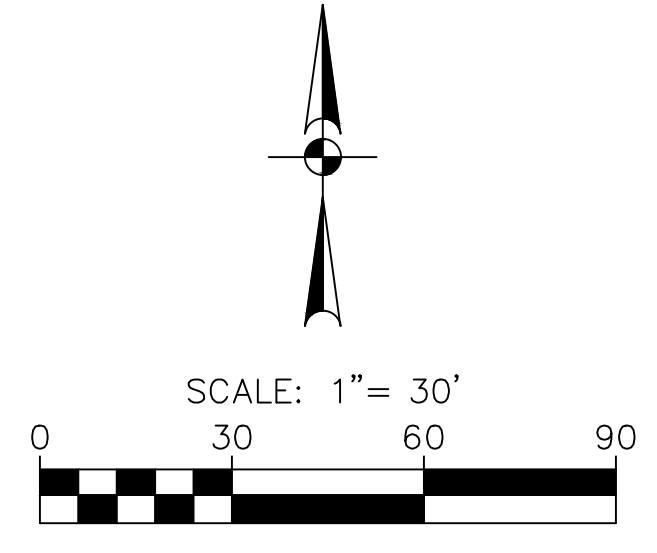
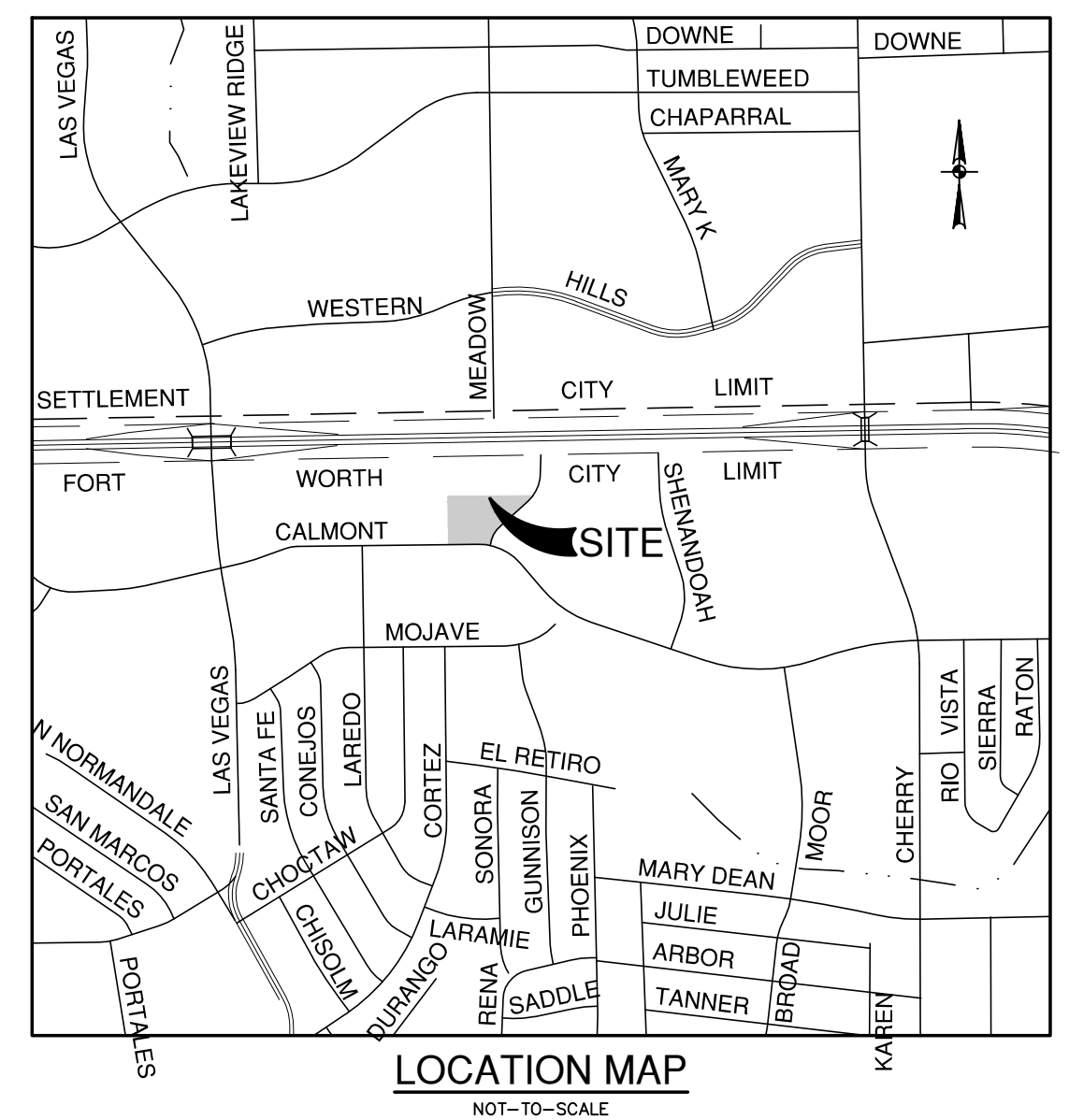
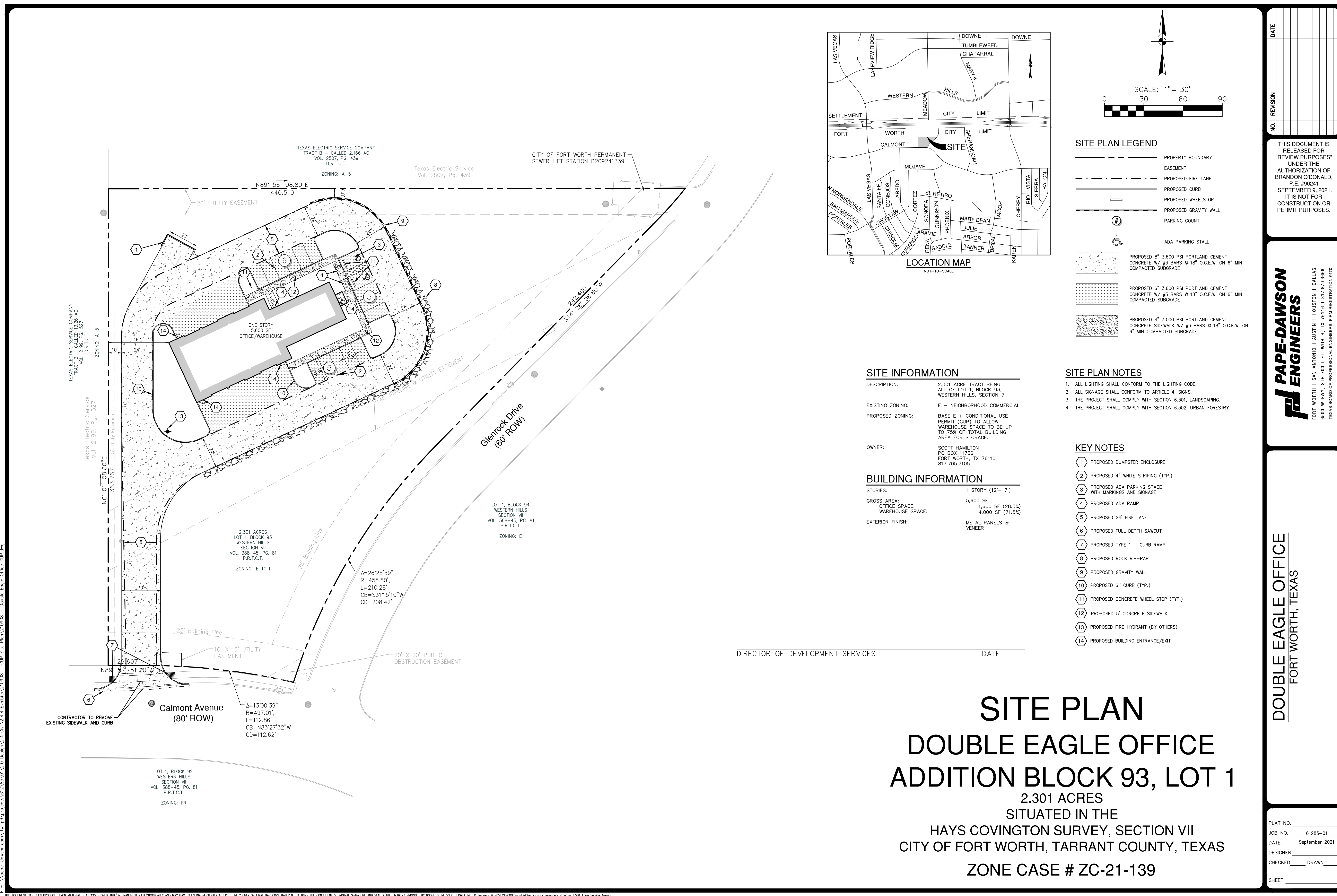
Aerial Photo Map



0 135 270 540 Feet



Date: Sep 09, 2021, 11:04am User ID: 454545 File: \\pape-dawson.com\Users\pawson\Projects\2021\2021-10-01\2.0 Design\2.4 Civil\2.4.4 Exhibits\210908 - CUP Site Plan\210908 - CUP Site Plan\210908 - Double Eagle Office CUP.dwg



SITE PLAN LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- PROPOSED FIRE LANE
- PROPOSED CURB
- PROPOSED WHEELSTOP
- PROPOSED GRAVITY WALL
- PARKING COUNT
- ADA PARKING STALL
- PROPOSED 8" 3,600 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE
- PROPOSED 6" 3,600 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE
- PROPOSED 4" 3,000 PSI PORTLAND CEMENT CONCRETE SIDEWALK W/ #3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE

SITE INFORMATION

DESCRIPTION: 2.301 ACRE TRACT BEING ALL OF LOT 1, BLOCK 93, WESTERN HILLS, SECTION 7

EXISTING ZONING: E - NEIGHBORHOOD COMMERCIAL

PROPOSED ZONING: BASE E + CONDITIONAL USE PERMIT (CUP) TO ALLOW WAREHOUSE SPACE TO BE UP TO 75% OF TOTAL BUILDING AREA FOR STORAGE.

OWNER: SCOTT HAMILTON
PO BOX 11736
FORT WORTH, TX 76110
817.705.7105

BUILDING INFORMATION

STORIES: 1 STORY (12'-17')

GROSS AREA: 5,600 SF

OFFICE SPACE: 1,600 SF (28.5%)

WAREHOUSE SPACE: 4,000 SF (71.5%)

EXTERIOR FINISH: METAL PANELS & VENEER

SITE PLAN NOTES

1. ALL LIGHTING SHALL CONFORM TO THE LIGHTING CODE.
2. ALL SIGNAGE SHALL CONFORM TO ARTICLE 4, SIGNS.
3. THE PROJECT SHALL COMPLY WITH SECTION 6.301, LANDSCAPING.
4. THE PROJECT SHALL COMPLY WITH SECTION 6.302, URBAN FORESTRY.

KEY NOTES

- 1 PROPOSED DUMPSTER ENCLOSURE
- 2 PROPOSED 4" WHITE STRIPING (TYP.)
- 3 PROPOSED ADA PARKING SPACE WITH MARKINGS AND SIGNAGE
- 4 PROPOSED ADA RAMP
- 5 PROPOSED 24' FIRE LANE
- 6 PROPOSED FULL DEPTH SAWCUT
- 7 PROPOSED TYPE 1 - CURB RAMP
- 8 PROPOSED ROCK RIP-RAP
- 9 PROPOSED GRAVITY WALL
- 10 PROPOSED 6" CURB (TYP.)
- 11 PROPOSED CONCRETE WHEEL STOP (TYP.)
- 12 PROPOSED 5' CONCRETE SIDEWALK
- 13 PROPOSED FIRE HYDRANT (BY OTHERS)
- 14 PROPOSED BUILDING ENTRANCE/EXIT

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

SITE PLAN
DOUBLE EAGLE OFFICE
ADDITION BLOCK 93, LOT 1
2.301 ACRES
SITUATED IN THE
HAYS COVINGTON SURVEY, SECTION VII
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS
ZONE CASE # ZC-21-139

DATE	
NO.	REVISION
<p style="font-size: small;">THIS DOCUMENT IS RELEASED FOR "REVIEW PURPOSES" UNDER THE AUTHORIZATION OF BRANDON O'DONALD, P.E. #90241 SEPTEMBER 9, 2021. IT IS NOT FOR CONSTRUCTION OR PERMIT PURPOSES.</p>	
<p style="font-weight: bold; font-size: large;">PAPE-DAWSON ENGINEERS</p> <p style="font-size: x-small;">FORT WORTH SAN ANTONIO AUSTIN HOUSTON DALLAS 6500 W HWY. STE 700 FT. WORTH, TX 76116 817.870.8868 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470</p>	
<p style="font-weight: bold; font-size: large;">DOUBLE EAGLE OFFICE</p> <p style="font-weight: bold; font-size: large;">FORT WORTH, TEXAS</p>	
PLAT NO.	
JOB NO.	61285-01
DATE	September 2021
DESIGNER	
CHECKED	DRAWN
SHEET	



Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-177

Council District: 8

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Victor Trotter, Trotter Enterprises, LLC

Site Location: 120 Riverside Drive & 3115 Chenault Street **Acres:** 0.511 acres

Request

Proposed Use: Retail Sales & Hydraulic Shop (“Machine Shop” per Zoning Ordinance)

Request: From: “E” Neighborhood Commercial & “ER” Neighborhood Commercial Restricted

To: Add Conditional Use Permit (CUP) for Machine Shop

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
6. Area Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph
10. Narrative & Examples
11. Site Plan

Project Description and Background

The applicant is proposing to renovate the building previously owned by George Wood Clothing, Inc., which was operated as a uniform and clothing retail store. The applicant intends to lease the building to Automated Hydraulics, a company that retails hydraulic components, supplies, and hand tools to commercial customers. They also intend to offer repair services for hydraulic components. A narrative provided by the applicant states that all operations are to be contained within the building, that no business activities or equipment that would generate noise will be outdoors, and that the hours of operation will be 7:30 am-5:30 pm.

The retail/sales component of the operation would be allowed in “E” Neighborhood Commercial zoning by right. It is the repair and occasional light manufacturing activities which will require an approved Conditional Use Permit.

This case was previously heard at the September 8th Zoning Commission meeting. At the time the applicant was requesting a change of zoning from “E” Neighborhood Commercial and “ER” Neighborhood Commercial Restricted to “I” Light Industrial. Based on feedback from that meeting, the applicant has modified their application from a rezoning request to a standalone CUP request. The zoning would remain as-is, with “ER” on the western tract and “E” on the other two tracts. There would be an additional allowance for repair and light manufacturing on the whole site if the City Council approves the CUP request. Otherwise, the repair/light manufacturing component would be prohibited.

Surrounding Zoning and Land Uses

North “A-5” One-Family & “ER” Neighborhood Commercial Restricted / undeveloped
East “E” Neighborhood Commercial / undeveloped
South “A-5” One-Family & “E” Neighborhood Commercial / residential
West “A-5” One-Family / residential

Recent Zoning History

- ZC-19-057, City-initiated rezoning case protects much of the property zoned two-family but constructed as single family homes, addresses potential growth along the river, and reduces the intensity of the industrial zoning districts while retaining districts that allow and support the existing industrial uses.

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
The following organizations were emailed on September 27, 2021:

Organizations Notified	
Streams & Valleys Inc	United Riverside NA*
Trinity Habitat for Humanity	Riverside Alliance
Friends of Riverside Park	Riverside Business Alliance

United Riverside Rebuilding Corporation, Inc	Fort Worth ISD
Vintage Riverside NA	Tarrant Regional Water District
East Fort Worth Inc	Oakhurst Alliance of Neighbors
East Fort Worth Business Association	

** Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

As long as the business operations are completely contained within the building, then the land use would not be obtrusive to neighboring residences and businesses. The applicant has worked with staff to come up with a less intensive request that will keep the property zoned as-is while potentially allowing the repair and light manufacturing (defined in the City Zoning Ordinance as “Machine Shop”).

As presented, the proposed business and the accompanying zoning request **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Northeast

The 2021 Comprehensive Plan currently designates the subject property future Neighborhood Commercial. The current zoning is in alignment with the Future Land Use designation contained within the Comprehensive Plan.

The proposal to open the retail & repair shop does align with the following goal of the Comprehensive Plan:

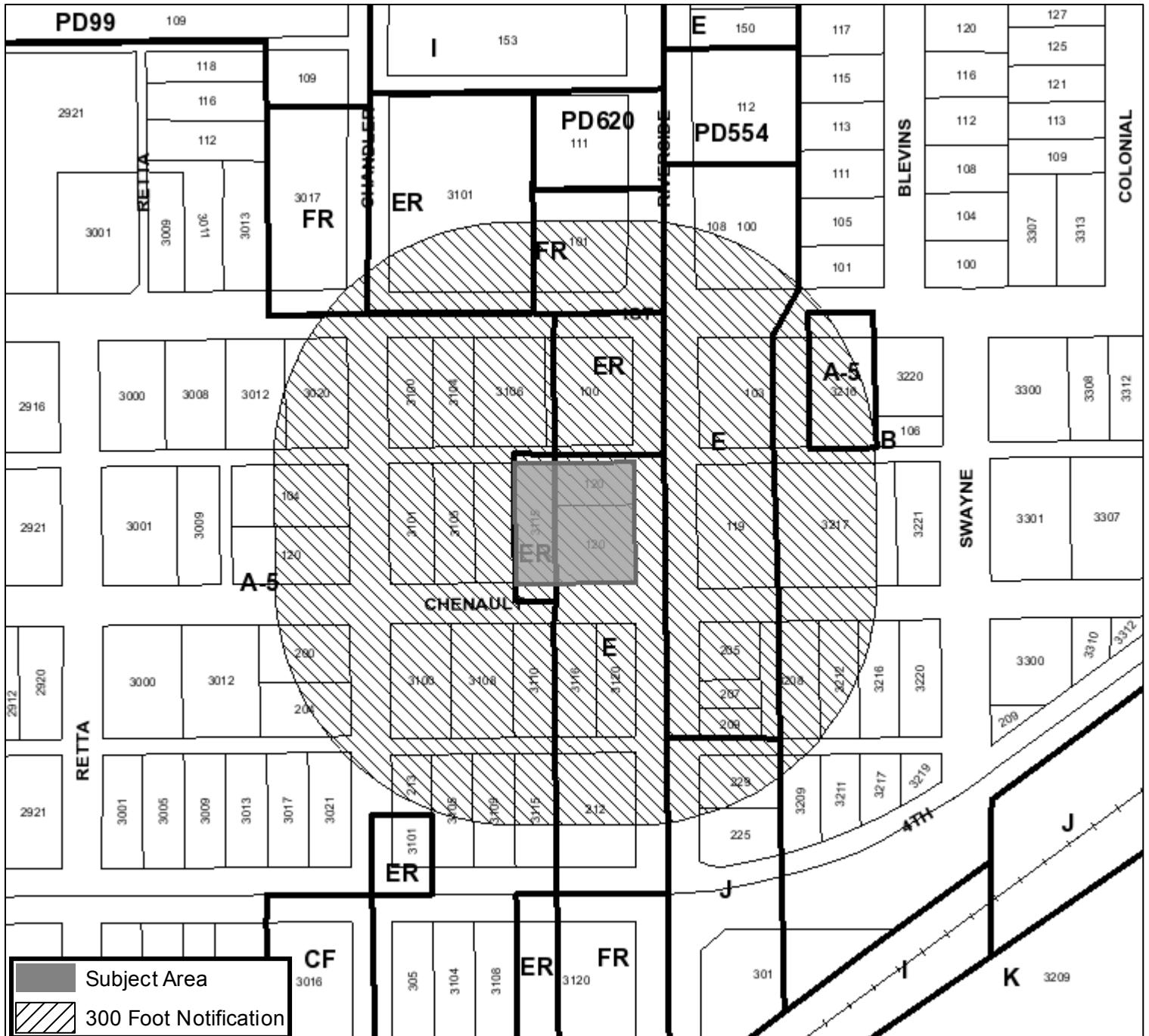
9. Encourage the revitalization of commercial districts with neighborhood oriented retail, services, and office space.



The proposed zoning **is consistent** with the Comprehensive Plan.

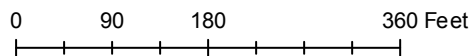


Area Zoning Map

Applicant: Trotter Enterprises
 Address: 120 Riverside Drive, 3115 Chenault Street
 Zoning From: ER, E
 Zoning To: Add Conditional Use Permit for machine shop
 Acres: 0.51095362
 Mapsco: 63V
 Sector/District: Northeast
 Commission Date: 10/13/2021
 Contact: 817-392-8043



 Subject Area
 300 Foot Notification



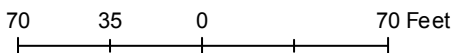
Area Map



Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 45 90 180 Feet



The current appearance of the building located on the property can be seen in Figure 5. The previous use of the building was as a Uniform and Clothing Retail store operated as George Wood Clothing.



Figure 5 - 120 Riverside facing Riverside – existing shoddy masonry repairs, etc. are show cased in this photo

Trotter Enterprises will be making significant cosmetic improvements to the exterior of the existing building located on the property. Below is a rendering that shows how we anticipate the building will look once the exterior improvements are completed. This rendering shows a possible color scheme.



The building will be transitioned from its existing run-down state into a building of which the City of Fort Worth and the surrounding neighborhoods can be proud of.

It is also our intention at some time in the future to make an approximately 2,800 sf addition to the building. The location of this addition is shown in the site plan to be submitted with this application.

Trotter Enterprises History

Trotter Enterprises has a proven track record of purchasing distressed property and renovating it to modern and appealing standards.

- Our properties are clean, well kept, and maintained
- The exterior of the proposed new property will be re-finished to cover up the existing cosmetic flaws and numerous upgrades will be done throughout.
- Previous successful projects include
 - 1726 Layton, Haltom City (5 building complex)
 - 1808 / 1818 E. Daggett St, Fort Worth (has been sold)
 - 120 Coad St, Fort Worth

Below are examples of the appearance of the exterior and interior of the building at 1726 Layton Avenue, Haltom City, TX. This building was renovated by Trotter Enterprises from its previous unoccupied and shabby condition into a building with a neat and modern appearance.

The City of Haltom City has been very complimentary of the renovations work done at the 1726 Layton facility. The property had been abandoned for many years and did not comply in several areas. Trotter Controls worked with the city to develop a "Planned Development" and was able to execute the project in a way that exceeded the city's expectations in every way.



Figure 6 - 1726 Layton Ave. Exterior



Figure 7 - 1726 Layton Exterior



Figure 8 - 1726 Layton Reception



Figure 9 - 1726 Layton Kitchen

Automated Hydraulics Operations

Trotter Enterprises will be leasing the building to Automated Hydraulics. Automated Hydraulics is a company that will conduct over-the-counter sales of hydraulic components such as hoses, fittings, hydraulic supplies, and small hand tools to mostly commercial customers. The company also provides repair services for hydraulic components such as hose assemblies, cylinders, pumps, and valves to commercial customers.

The operations of Automated Hydraulics are always kept neat and clean.

- Automated Hydraulics is not a contaminant generator.
 - Any hydraulic oil waste is properly contained and retained for removal by a certified waste services company.
- All company operations are confined to the interior of the property.
 - Automated Hydraulics does not operate any outside equipment that would generate noise, other than exterior air conditioning components.
 - No other activities that could interfere with a neighborhood are conducted.

Hours of operation of the business will be between 7:30 AM – 5:30 PM.

A couple of photos of the Automated Hydraulics operation are shown in the figures below. Automated Hydraulics is currently located in the mechanical assembly area of Trotter Controls at 1726 Layton Ave., Haltom City (both Trotter Controls and Automated Hydraulics lease space from Trotter Enterprises).



Figure 10 - Automated Hydraulics Shop



Figure 11 - Automated Hydraulics Shop

Zoning Discussion

While the existing "E" Neighborhood Commercial zoning would allow for the retail sales of hydraulic components, it would not cover the machine shop and assembly operations included in the work done by Automated Hydraulics. This work could occasionally include operations such as forming of sheet metal components, machining of replacement components, and drilling, heating, and welding of metals.

We are requesting a Conditional Use Permit for the property which will add the machine shop and assembly operations for these uses to the existing "E" Neighborhood Commercial district (assuming zoning change application ZC-21-114 is approved).

Surrounding Properties / Code

- The abutting property to the north, east and south of 120 Riverside is currently zoned "E" Neighborhood Commercial.
- The abutting property to the west of 120 Riverside is currently zoned "A-5" One Family.
- All existing fences and screening will remain in place. All existing landscaping will remain in place and will be enhanced.
- All provided lighting will conform to Lighting Code. All signage will conform to Article 4, Signs
- The new use for the property will have no negative impact on the surrounding areas.

Summary

We have a high level of confidence that our planned renovations will improve the street appeal for the property and the new "store front" location will create new jobs in Fort Worth since Automated Hydraulics will need to add new employees to support counter sales (which doesn't exist in our current location). We will be turning a significant City/Neighborhood eyesore into a building of which we can all be proud.

We are looking forward to improving the property and bringing a thriving new, clean business to the Riverside corridor.

Please let us know if you have any recommendations or questions related to this submission.

Respectfully submitted:

Trotter Enterprises, Inc., Authorized Representative

Victor Trotter, Managing Member

Contact Information:

Trotter Enterprises, LLC

Victor Trotter

1726 Layton Ave.

Haltom City, TX 76117

Telephone: (817) 535-2243 / 817-939-3016 Cell

Email: victor@trottercontrols.com

Nora Story

1726 Layton Ave.

Haltom City, TX 76117

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Email: nora@trottercontrols.com



Zoning Commission

Date: October 13, 2021

Case Number: ZC-21-178A

Council District: 5

Text Amendment

Case Manager: [Sevanne Steiner](#)

Owner / Applicant: The City of Fort Worth

Request

Request: Amend Zoning Ordinance Section 4.1307 Trinity Lakes Form-Based Zoning District to amend various sections of the Trinity Lakes Development Code to provide clarification of residential parking requirements, provide adjustments to building heights in the boulevard mixed use and transition character zones, limit building height within lake frontage areas, update boundaries of the character zones and update appendices

Recommendation

Urban Design Commission: Approval

Staff Recommendation: Approval

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1. [Project Description and Background](#)
2. [Text Amendments](#)

Project Description and Background

Staff is proposing Zoning Ordinance text amendments for the Trinity Lakes Development Code. The purpose of the amendments is to accommodate significant changes that have occurred in the Trinity Lakes form-based district since the code was adopted by the City Council on December 4, 2012 and amended on January 27, 2015. The most significant change is the new Trinity Railway Express (TRE) transit station moving from Richland Hills to the Village Mixed Use character zone subdistrict. In addition, Interstate 820 is being widened and modernized including frontage roads providing highway access. Lastly, Trinity Boulevard is being reconstructed. As a result, changes are being recommended by the Urban Design Commission (UDC) and staff to the Boulevard, Highway, Transition, and Village Mixed Use character zone subdistricts.

Specifically, the amendments are as follows:

- 1) Adjust all residential parking requirements to one (1) space per unit reflecting current Transit Oriented Development best practices.
- 2) Adjust maximum building height from three (3) to six (6) stories in the Boulevard Mixed Use character zone.
- 3) Adjust maximum building height from three (3) to four (4) stories in the Transition character zone.
- 4) Limit building height to two (2) stories within 30 feet of lakeside frontage areas.
- 5) Clarify 65% maximum permeable lot coverage requirement.
- 6) Change Planning and Development Department to the Development Services Department.
- 7) Update references to all appendices

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Historic Randol's Mill Valley Alliance, Inc.	Neighborhoods of East Fort Worth
Lakes of River Trails West HOA	River Trails HA
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	East Fort Worth Business Association
Birdville ISD	Fort Worth ISD
Hurst Eules Bedford ISD	

Proposed Amendments

The requested text amendments shall be evaluated as described in the Trinity Lakes Code, excerpted below:

A request for a modification to any of the standards of this Code other than minor modifications permitted under Section 3.2 shall be reviewed and processed as a text amendment. In evaluating an

amendment, the approval body shall consider the extent to which the application meets any of the following:

- (i) Provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
- (ii) Fits the adjoining context by providing appropriate transitions.

PROPOSED AMENDMENTS

Table 5.1 - Schedule of Uses: Under Vehicle Sales and Service with drive through facilities, change Highway Commercial from “NP” Not Permitted to “P/C” Permitted with conditions found in Table 5.2 Use Criteria

Section 6: Adjust all residential parking requirements to one (1) space per unit.

- This is due to the activation of the transit station and is in line with TOD best practice standards.

Section 6.1.3 – Boulevard Mixed-Use Character Zone: Adjust maximum building height to six (6) stories.

- This is to align mixed-use development with the Village and Highway Mixed Use districts given its direct connection to the transit station.

Section 6.5.3 – Transition Character Zone: Adjust maximum building height to four (4) stories.

- This will appropriately transition Highway, Village and Boulevard Mixed Use to Neighborhood Zoning, which currently has a three (3) story height maximum.

In addition to the previous text amendments, the following are clarification edits to be made in the text:

Section 1.4: The TLD Code implements the vision for Trinity Lakes as established in the Regulating Plan (Appendix A Appendices A and B)

Section 2.3.1: Locate the subject property on the Trinity Lakes Regulating Plan (Appendix A Appendices A and B)

- Correction from previous amendments when a second page for Regulating Plan was added.

Section 3.1.8: All private development projects are subject to review by the Planning and Development Department Development Services Department ...

Section 3.2.1: ...all applicable development principles and clearly conform to all standards may be approved administratively by the Planning and Development Director Development Services Director ...

- Updating new name of the Development Services Department

Section 4.5.1: Buildings along the lakeside frontage shall not exceed two (2) stories, within the 30 ft. depth of the Lakeside Frontage (language added).

- Clarification of the depth of the two (2) story height limit.

Section 10.4: The “X %” metric for pervious ground and permeable materials lot coverage should be amended to 65%.

- There was a scrivener’s error that did not get changed through the original adoption process. This percentage of pervious ground was studied by the developer and the City of Fort Worth’s Stormwater Management Department, including the City Floodplain Engineer as a consultant.



ORDINANCE NO. _____

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FORT WORTH, BEING ORDINANCE NO. 21653, AS AMENDED, CODIFIED AS APPENDIX “A” OF THE CODE OF THE CITY OF FORT WORTH (2015), TO AMEND VARIOUS SECTIONS OF THE TRINITY LAKES DEVELOPMENT CODE AS PROVIDED BY SECTION 4.1307.D., “OTHER DEVELOPMENT STANDARDS” OF SECTION 4.1307, “TRINITY LAKES (“TL”) DISTRICT OF ARTICLE 13, “FORM-BASED DISTRICTS” OF CHAPTER 4, “DISTRICT REGULATIONS” TO PROVIDE CLARIFICATION OF RESIDENTIAL PARKING REQUIREMENTS, PROVIDE ADJUSTMENTS TO BUILDING HEIGHTS IN THE BOULEVARD MIXED USE AND TRANSITION CHARACTER ZONES, LIMIT BUILDING HEIGHT WITHIN LAKE FRONTAGE AREAS, UPDATE BOUNDARIES OF THE CHARACTER ZONES AND UPDATE APPENDICES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council adopted Ordinance No. 20511-12-2012 on December 4, 2012 creating the Trinity Lakes form-based zoning districts to encourage high quality, pedestrian-oriented development and a variety of housing types and neighborhood layouts; adopted the Trinity Lakes Development Code as part of the Zoning Ordinance; and established the Urban Design Commission and staff to administer those design standards; and

WHEREAS, the City Council adopted Ordinance No. 21359-05-2014 on August 5, 2014 amending the Trinity Lakes Development Code adopted as part of the Zoning Ordinance clarify and correct inconsistencies; and

WHEREAS, the City Council adopted Ordinance No. 21671-03-2015 on March 5, 2015 amending the Trinity Lakes Development Code to provide additional clarifications to regulation of accessory structures, garages, and other development standards; and

WHEREAS, since the creation of the Trinity Lakes District and the implementation of the Trinity Lakes Development Code staff has reviewed projects which have prompted these proposed amendments to clarify and correct inconsistencies in the Trinity Lakes Development Code; and

WHEREAS, the property owner and their consultants have provided input and worked with staff on the proposed amendments to the Trinity Lakes Development Code and has endorsed the proposed amendments, and

WHEREAS, it is advisable to amend the Trinity Lakes Development Code to provide clarification of residential parking requirements, provide adjustments to building heights in the boulevard mixed use and transition character zones, limit building height within lake frontage areas, update boundaries of the character zones and update appendices; and

WHEREAS, Section 4.1307.D of the Zoning Ordinance entitled “Other Development Standards” requires that any revisions to the Trinity Lakes Development Code must be considered by the Urban Design Commission, the Zoning Commission and the City Council;

WHEREAS, the Zoning Commission recommends approval of the proposed amendments to the Trinity Lakes Development Code to the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS AS FOLLOWS:

SECTION 1.

The Trinity Lakes Development Code, as adopted and incorporated into Ordinance No. 21359, the Zoning Ordinance in Chapter 4, “District Regulations”, Article

13 “Form Based Districts”, Section 4.1307, “Trinity Lakes (TL) District”, Subsection 4.1307.D. “Other standards” is hereby amended as set out in Exhibit “A”, attached and hereby incorporated into the Zoning Ordinance by reference, in various sections of the Trinity Lakes Development Code to update and amend the Regulating Plan, to provide clarification of residential parking requirements, provide adjustments to building heights in the boulevard mixed use and transition character zones, limit building height within lake frontage areas, update boundaries of the character zones and update appendices, which will provide clarity and flexibility for the property owners in the Trinity Lakes District. A copy of the Trinity Lakes Development Code is on file in the City Secretary’s Office.

SECTION 2.

This ordinance shall be cumulative of all provision of ordinances and the Code of the City of Fort Worth, Texas (2015), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 3.

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and, if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction,

such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 4.

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

SECTION 5.

All rights and remedies of the City of Fort Worth, Texas, are expressly saved as to any all violations of the provisions of Ordinance Nos. 13896 and 21359 which have accrued at the time of the effective date of this ordinance and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 6.

The City Secretary of the City of Fort Worth, Texas, is hereby directed to publish the caption, penalty clause and effective date of this ordinance for two (2) days in the

official newspaper of the City of Fort Worth, Texas, as authorized by Section 52.013, Texas Local Government Code.

SECTION 7.

This ordinance shall take effect upon adoption and publication as required by law.

APPROVED AS TO FORM AND LEGALITY:

Melinda Ramos, Assistant City Attorney

Ronald Gonzales, Acting City Secretary

ADOPTED: _____

EFFECTIVE: _____

EXHIBIT A

TRINITY LAKES

Trinity Lakes Development Code

~~Prepared for Newell Companies~~

~~and the City of Fort Worth by:~~

~~GATEWAYPLANNING~~

~~Design • Implementation • Value Capture~~



DRAFT Amendment August 27, 2021
Red-lined Version

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I. Introduction

1.1 Authority

This Trinity Lakes Development Code (hereinafter, “the TLD Code”) is enacted as one of the instruments for implementing the public purposes and objectives of the adopted City of Fort Worth 2012 Comprehensive Plan, and more specifically the Parks and Community Services Strategy of the Trinity River Vision and Trinity River Trails by extending the trail and park system into the deficient eastside sector and the policy of promoting walkable urbanism. The Code supplants the application of all provisions of the City of Fort Worth Zoning Ordinance as it pertained to land within the boundaries of the Trinity Lakes Development (hereinafter, “Trinity Lakes”) prior to the effective date of this TLD Code.

1.2 Purpose & Intent

The purpose of Trinity Lakes is to encourage economic development within East Fort Worth to accompany a growing residential market base. The TLD Code implements specific character areas with a pedestrian-oriented mix of uses and convenient access between area neighborhoods and shopping, employment, housing and neighborhood retail services. The intent is to establish Trinity Lakes as an attractive and vibrant place in the community. Therefore, the goals of the TLD Code are to provide a more functional and attractive community through the use of recognized principles of urban design and allow property owners flexibility in land use, while prescribing a higher level of detail in building design and form. Because of Trinity Lakes’ adjacency to the TRE Rail Line, the plan and code are declared to be “rail-ready,” in the event that Trinity Lakes becomes attractive as a future station on the TRE.

1.3 Economic Development

The TLD Code and corresponding standards are created to support economic development, create a sustainable tax base, and implement job creation by establishing adjacency predictability of private development that supports and leverages investment in and around Trinity Lakes in East Fort Worth.

1.4 Establishment of Specific Development Standards

The TLD Code implements the vision for Trinity Lakes as established in the Regulating Plan (Appendix A & B). Creation of different Character Zones within the area enables specific site and location standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote adjacency predictability, flexibility in land use, walkable mixed-use development, transitions to existing neighborhoods, and transportation choice.

II. Components of the TLD Code

2.1 The Regulating Plan

The Regulating Plan for the area shall be the official zoning map. It shall establish the following standards for all lots within the zone:

2.1.1 Character Zones– Trinity Lakes is distinguished into different “Character Zones”. Each Character Zone is intended to create a distinct urban form different from another Character Zone. Each Character Zone shall establish use and building standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the area into one of six Character Zones.

2.1.2 Street Designations by Type– The Street Designations on the Regulating Plan include Main Street, Avenue, Neighborhood Street, Mixed Use

General, and Park Edge within Trinity Lakes. In addition, streets are distinguished by the appropriate development context by denoting them on the Regulating Plan as Type ‘A’ or Type ‘B’ Streets.

2.1.3 Required and Recommended Street Network - The Required and Recommended Street Network specifies the future streets needed to implement the Trinity Lakes Development Regulating Plan. The Required Streets shall be mandatory and shall generally meet the locational and connectivity goals of the Regulating Plan. The Recommended Streets are not mandatory and are at the election of the developer. Their design shall be guided by the Street Designations.

2.1.4 Required Open Space – The Required Open Space on the regulating plan consists of required open spaces such as parks, plazas, pedestrian paseos and lakeside frontages within the area.

2.1.5 Special Frontage Standards - The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.

2.2 Development Standards: The TLD Code (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Frontage Types, building form, landscape, building design, signage, and lighting.

2.3 Using This Code

The following basic steps should be followed to determine the uses and development standards applicable on property within the Trinity Lakes area:

2.3.1 Locate the subject property on the Trinity Lakes Regulating Plan (Appendix A & B).

2.3.2 Identify:
 (i) the Character Zone in which the property is located; and,
 (ii) the Street Type designation along all its street frontages.

2.3.3 Review the Schedule of Uses by Character Zone as listed in Table 5.1 to determine allowed uses.

2.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section VI to determine the applicable development standards and any Special Frontage standards.

2.3.5 Refer to Section VIII for Building Design Standards.

The information from the above specified steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it. For more specific dimensions and standards applicable to a particular property, consult with city staff.

III. Administration

3.1 Applicability

- 3.1.1 The uses and buildings on all land within Trinity Lakes zoning classification shall conform exclusively to this TLD Code.
- 3.1.2 Provisions of this TLD Code are activated by “shall” when required; “should” when recommended; and “may” when optional.
- 3.1.3 The provisions of this TLD Code, when in conflict, shall take precedence over those of other City of Fort Worth codes, ordinances, regulations and standards as amended except as noted herein. Development under this Code, shall comply with the Neighborhood and Community Park Dedication Policy and in accordance with this policy the Developer will work with the Parks and Community Service Department to create a mutually acceptable Trinity Lakes Park Plan.
- 3.1.4 The development standards under Chapter 6 the City of Fort Worth Zoning Ordinance, as amended, shall not apply to Trinity Lakes except as specifically referenced herein. Development standards not addressed in this Code shall be governed by the City of Fort Worth Zoning Ordinance to the extent they are not in conflict with the intent or text of the TLD Code.
- 3.1.5 Sign Standards under Chapter 6, Article 4 as amended, of the City of Fort Worth Zoning Ordinance, shall not apply to the area except as specifically referenced herein. Sign standards not addressed in this Code shall be governed by the City of Fort Worth Sign Ordinance and Sign Code to the extent they are not in conflict with the intent or text

of the TLD Code and are not prohibited in the TLD Code.

- 3.1.6 Terms used throughout this Code are defined in *Section 11. Definitions*. For those terms not defined in *Section 11. Definitions*, Chapter 9, Definitions of the City of Fort Worth Zoning Ordinance shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- 3.1.7 Where in conflict, numerical metrics shall take precedence over graphic metrics.
- 3.1.8 Projects Subject to Review: All private development projects are subject to review by the ~~Planning and Development~~ ~~Department~~ Development Services Department, the Urban Design Commission (UDC), Appeals Board, and/or the City Council (CC) for compliance with this Code. All buildings, streets, and public spaces by public entities are also subject to review.

3.2 Development Review Process

- 3.2.1 Administrative Review versus UDC Review: Projects that are supported by the operating Trinity Lakes management group with written documentation and are clearly consistent with all applicable development principles and clearly conform to all standards may be approved administratively by the ~~Planning and Development~~ Development Services Director or his/her designee without UDC review. The UDC shall review projects that require interpretation or discretionary judgment with respect to the project’s compliance with standards. Appeals to UDC judgments shall be heard by the Appeals Board. The ~~Planning and~~

~~Development~~Development Services Director or designee shall be responsible for the following:

- (i) Reviewing site plan applications for compliance with the requirements of TLD Code.
- (ii) Approving site plan applications that are in compliance with the requirements of the TLD Code.
- (iii) Approving revisions to previously approved site plans that comply with this Code and all applicable city ordinances.
- (iv) Approving any minor modifications to the approved Regulating Plan and Code per Section 3.2.2.
- (v) Forwarding any appeals to the decision of the ~~Planning and Development~~Development Services Director and/or major modifications to the UDC.
- (vi) Forwarding any appeals to the decision of the UDC to the Appeals Board.

3.2.2 Minor Modifications to the TLD Code: The ~~Planning and Development~~Development Services Director shall have the authority to approve a request for minor modifications to the TLD Code that:

- (i) Does not materially change the circulation and building location on the site;
- (ii) Does not increase the building area permitted under this Code;
- (iii) Does not change the relationship between the buildings and the street;
- (iv) Does not allow greater height of any building or reduction of any parking requirement established in this Code; or
- (v) Does not change any required element of the Regulating Plan beyond the thresholds established in Table 3.1 below

Any appeals to the decisions of the ~~Planning and Development~~Development Services Director on minor modifications shall be heard by the UDC. Any appeals to the decisions of the UDC shall be heard by the Appeals Board.

Table 3.1 Minor Modifications Allowed

Standard	Minor Modification Allowed	Criteria
Area/boundary of Character Zones	No more than a 50% change (increase or decrease) in the area of any Character Zone (aggregate or per block)	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • Shall not change the overall boundary of the Regulating Plan • 50% measurement shall be based on the total area of that specific Character Zone within the entire Corridor
Location of any Required Street	May be realigned no more than 200' in any direction compared to the Regulating Plan alignment	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones 	No more than a 25% change in the maximum or minimum setback.	<ul style="list-style-type: none"> • Changes to the build to zones and setbacks may only be due to any changes to the street cross sections, changes in the width of a sidewalk, or additions of forecourts or outdoor patio/sidewalk cafe seating. • In the Transition Zone, the build to zone may be adjusted to accommodate efficient drive through facilities. The drive through facility shall adhere to screening requirements. • In no case shall the sidewalk in the pedestrian easement be less than 6 feet in width • In no case shall off-street surface parking be permitted between the building and the sidewalk along a Type 'A' Street frontage.
<ul style="list-style-type: none"> • Building Frontage 	No more than a 25% reduction in the required building frontage along each block of a Required Street.	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to accommodate porte-cocheres for drop-off and pick-up.
Street Cross Sections and Streetscape standards	<p>Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, and pedestrian accommodation</p> <p>Street tree planting, street lighting, and other streetscape elements may be adjusted based on the development context and street cross section.</p>	<ul style="list-style-type: none"> • Any changes to the street cross sections or streetscape standards shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.
Required Open Space	Any required public open space may be adjusted by no more than 25%.	<ul style="list-style-type: none"> • Changes shall be based on total acreage.
Any numerical standard, not listed above and established in this Code	May be modified (increased or decreased) no greater than 10%	<ul style="list-style-type: none"> • Any modification to numerical standards shall still be in keeping with the purpose and intent of the TLD code.

- 3.2.3 A request for a modification to any of the standards of this Code other than minor modifications permitted under Section 3.2 shall be reviewed and processed as a text amendment. In evaluating an amendment, the approval body shall consider the extent to which the application meets any of the following:
 - (i) Provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - (ii) Fits the adjoining context by providing appropriate transitions.

- 3.2.4 Standard for Approval of Development Applications: The ~~Planning and Development~~Development Services Director or UDC shall approve all site plans for development that are clearly consistent with applicable development standard(s).

- 3.2.5 Plat Approval: The City of Fort Worth Subdivision Ordinance standards shall apply for the plat approval process.

- 3.2.6 Variances to Zoning Property Development Standards: The UDC is authorized to approve appropriate exceptions to the Code, provided a project complies with the purpose and intent. The UDC may allow additional flexibility for projects of exceptional civic or environmental design. Any change to dimensional standards beyond the minor modifications in Table 3.1 related to building heights or setbacks, however, requires a variance approved by the Board of Adjustment.

- 3.2.7 Waivers to standards within the Subdivision Ordinance beyond those allowed by this Code shall require approval by the City Plan Commission.

- 3.3 **Amendments to the Regulating Plan and/or Zoning Text:** Amendments and changes to the Regulating Plan, text and property boundaries shall be considered by the UDC and Zoning Commission and approved by the City Council in accordance with the procedure set out in Chapter 3, Article 5 of the City of Fort Worth Zoning Ordinance.

IV. The Regulating Plan

- 4.1 **Adoption of the Regulating Plan:** The Trinity Lakes Regulating Plan (Appendix A and B) is hereby adopted as the official zoning map for the area. Within any area subject to the approved Regulating Plan, this TLD Code becomes the exclusive and mandatory regulation.

4.2 Establishment of Character Zones

The following Character Zones are established. The designation of the specific Character Zone shall be established in the Regulating Plan (Appendix A and B).

- 4.2.1 Boulevard Mixed Use – The Boulevard Mixed Use Zone is intended to create a vibrant, mixed-use area that leverages Trinity Boulevard as a “Complete Street,” supporting multi modal traffic and linking other regional destinations. The Boulevard Mixed Use Zone will serve as the much-needed commercial node for the local community. Development within the Boulevard Mixed Use Zone shall meet the Building Form and Development Standards in Section 6.1 of this TLD Code.

- 4.2.2 Village Mixed Use – The Village Mixed Use Zone is intended to create opportunities for local small scale, retail and restaurant, and higher density residential (apartments, townhouses, multi-unit homes, live-work) development. This area is envisioned as a peaceful place to bring family and

- friends to enjoy a walk or a conversation while dining outdoors and along the lake. This area is intended to take advantage of the lake side views by developing small scale retail and restaurants along the lake edge and higher density residential development that are able to take advantage of lake views. Development within the Village Mixed Use Zone shall meet the Building Form and Development Standards in Section 6.2 of this TLD Code.
- 4.2.3 Highway Mixed Use – The Highway Mixed Use Zone is intended to create opportunities for large scale development office and residential uses including lodging uses that take advantage of visibility and access from I-820. Office development will compliment other development in Trinity Lakes through architecture and scale. Development will transition from higher intensity along the highway to the lower scale development within the Trinity Lakes development. Office development will also include an appropriate transition from the noise and activity on the I-820 expressway, to the neighborhoods in Trinity Lakes. Development in the zone shall meet the Building Form and Development Standards in Section 6.3 of this TLD Code.
- 4.2.4 Campus Commercial – The Campus Commercial Zone is intended to create an employment center based on market opportunities. The development is envisioned as a campus environment that also compliments the moderate scale of the adjacent development. Development will be integrated into a street network that is compatible with the planned street network connections. The focus of the Campus Commercial Zone is to maximize the potential to create a regional employment destination with easy access to regional highways, thoroughfares and the extensive trail network.
- Development within the Campus Commercial Zone shall meet the Building Form and Development Standards in Section 6.4 of this TLD Code.
- 4.2.5 Transition – The Transition Zone is intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhouses, multi-unit homes, patio homes, etc) transitions between higher intensity development and the existing and proposed neighborhoods. Transition standards will emphasize keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a parks and open spaces accessible to the public. Development within the Transition Zone shall meet the Building Form and Development Standards in Section 6.5 of this TLD Code.
- 4.2.6 Neighborhood – The Neighborhood Zone is intended to provide for a range of residential uses and building types (low-density apartments, live-work, townhouses, multi-unit homes, patio homes, cottage homes, estate homes, etc.) along the southern edge of the Trinity Lakes Development. Development will connect to the existing regional trail network and allow that network to feed into the local trails of Trinity Lakes. The open space to the south is envisioned as an amenity and provides exposure to the trail system in order for it to be used in a meaningful way. Development within the Neighborhood Zone shall meet the Building Form and Development Standards in Section 6.6 of this TLD Code.

4.3 Street Designations – The following Street Designations shall be established for all streets within the TLD:

4.3.1 Type 'A' Streets Established – Type 'A' Streets are intended to be the primary pedestrian streets and buildings along Type 'A' Streets shall be held to the highest standard of pedestrian-oriented design. The Type 'A' Streets are Main Street, and Neighborhood Street Type 'A' as identified in the Regulating Plan.

4.3.2 Type 'B' Streets Established – Type 'B' Streets are intended to balance pedestrian orientation with automobile orientation. Buildings along Type 'B' Streets may be permitted to accommodate some service and auto-related functions. The Type 'B' Streets are Avenue, Neighborhood Street Type 'B' and Park Edge as identified in the Regulating Plan.

4.4 Required Streets by Street Type – The Street Network indicates required and recommended streets needed to implement the Trinity Lakes Illustrative Master Plan. The Regulating Plan designates the type and location of streets. All new streets in Trinity Lakes shall meet the street design standards established in Section VII herein.

4.5 Special Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontage Requirements as established in the Regulating Plan shall apply:

4.5.1 Lakeside Frontage: Ground floors of all buildings designated as Lakeside Frontage on the Regulating Plan shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 30 ft. as measured from the front building line. Buildings along the lakeside frontage shall not exceed two (2) stories.

4.5.2 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicapped accessibility, and first floor elevation flush with the sidewalk.

4.5.3 Campus Commercial Height Transition: Building height of all buildings designated as Campus Commercial Height Transition on the Regulating Plan shall be limited to 6 stories. The intent for this is to appropriately transition the heights of the adjacent zones to the taller buildings in the Campus Commercial Zone.

4.6 Required Open Space – The Regulating Plan indicates required Open Spaces based on the Illustrative Master Plan. The specific standards for Open Space are established in Section X: [Open Space Design Standards](#).

4.7 Gas Wells – The Regulating Plan indicates existing Gas Well locations. If development other than civic/open space is desired, an amendment shall be filed in order to submit a revised plan for the specific location, according to Section 3.2.3 of this Code.

V. Schedule of Permitted Uses

5.1), but are substantially similar, may be permitted upon approval of the ~~Planning and Development~~ **Development Services** Director or his/her designee, subject to Appeals Board for appeal.

5.1 Applicability: Due to the emphasis on urban form over land uses in the District, general use categories have been identified by Character Zone. Uses not listed in the following schedule (Table

Table 5.1 – Schedule of Uses							
	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
Land Use							
Residential Uses							
Household Living	One-family detached dwelling	NP	NP	NP	NP	P	P
	One-family attached (townhouse, rowhouse)	NP	P	NP	NP	P	P ¹
	Manor Home	NP	P	NP	P	P	P/C
	Multifamily dwelling apartment	P	P	P	P	P	NP
	One dwelling unit when part of a business (Loft or Live-Work)	P	P	P	P	P	NP
Public & Civic Uses							
Education	College or University	NP	NP	P	P	NP	NP
	Day care center (child or adult)	NP	P	P	P	P	NP
	Kindergarten	P	P	P	P	P	p
	School, elementary or secondary (public or private)	P	P	P	P	P	P
	Business college or commercial school	NP	NP	P	P	NP	NP
Government	Government office facility	NP	NP	P	P	P	NP
	Museums and other special purpose recreational institutions	NP	NP	P	P	NP	NP
	Museum, library or fine art center	NP	NP	P	P	NP	NP
Healthcare Facilities	Assisted living facility	NP	NP	P	P	P	NP
	Blood bank	NP	NP	P	P	NP	NP
	Care facility	P	NP	P	P	P	NP
	Health services facility; including doctor's office or medical clinic	P	P	P	P	P	NP
	Hospice	NP	NP	NP	P	NP	NP
	Hospital	NP	NP	NP	P	NP	NP
	Massage Therapy and Spa	P	P	P	P	P	NP
Nursing home (with full medical services)	NP	NP	P	P	P	NP	
Recreation	Center, community recreation or welfare	P	NP	P	P	NP	NP
	Center, community recreation or welfare, private or non-profit	P	NP	P	P	NP	NP
	Park or playground (public or private)	P	P	P	P	P	P

¹ Maximum of 8 attached units in a lot

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
Religious	Place of worship	P	P	P	P	P	P
	Place of worship auxiliary use	P	NP	P	P	NP	NP
Utilities	Telecommunications antenna (on structure)	P/C	NP	P/C	P/C	NP	NP
	Telecommunications tower	P/C	NP	P/C	P/C	NP	NP
Commercial Uses							
Entertainment and Eating	Amusement, indoor	P	P	P	P	NP	NP
	Amusement, outdoor	P	P	P	P	NP	NP
	Bowling alley	P	P	P	P	NP	NP
	Bar, tavern, cocktail lounge; club, private or teen	P	P	P	P	NP	NP
	Club, commercial or business	P	P	P	P	P	NP
	Drive-in restaurant or business	P/C	NP	NP	P/C	P/C	NP
	Bingo Parlor	P	P	P	P	P	NP
	Health or recreation club	P	P	P	P	P	NP
	Indoor recreation	P	P	P	P	P	NP
	Lodge or civic club	P	P	P	P	P	NP
	Massage parlor	P	P	P	P	P	NP
	Restaurant, café, cafeteria	P	P	P	P	P	NP
Lodging	Swimming pool, commercial	P	NP	P	P	NP	NP
	Theater, drive-in	NP	NP	NP	P	NP	NP
Office	Theater, movie theater or auditorium	P	P	P	P	NP	NP
	Bed and breakfast inn	NP	NP	NP	NP	P	P
Retail Sales and Service without drive through services	Hotel, motel or inn	P	P	P	P	NP	NP
	Bank, financial institution	P	P	P	P	P	NP
	Offices	P	P	P	P	P	NP
	Antique shop	P	P	P	P	P	NP
	Appliance, sales, supply or repair	P	P	P	P	P	NP
	Bakery	P	P	P	P	P	NP
	Barber or beauty shop	P	P	P	P	P	NP
	Book, stationary stores or news stand	P	P	P	P	P	NP
	Burglar alarm sales and service	P	P	P	P	P	NP
	Caterer or wedding service	P	P	P	P	P	NP
	Clothing/wearing apparel sales, new	P	P	P	P	P	NP
	Clothing/wearing apparel sales, used	P	P	P	P	P	NP
Convenience store	P	P	P	P	P	NP	
Copy store or commercial print without off-set printing	P	P	P	P	P	NP	

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Dance studio	P	P	P	P	P	NP
	Dressmaking, custom; millinery shop	P	P	P	P	P	NP
	Duplicating services	P	P	P	P	P	NP
	Farmer's Market	P	P	P	P	P	NP
	Furniture sales, new and used (office & residential) in a building	P	P	P	P	P	NP
	Furniture upholstery, refinishing or resale	P	P	P	P	P	NP
	General merchandise store	P	P	P	P	P	NP
	Greenhouse or plant nursery	P	NP	P	P	P	NP
Retail Sales and Service <u>without</u> drive through services	Grocery store	P	NP	NP	P	NP	NP
	Home improvement store	P	P	P	P	P	NP
	Interior decorating	P	P	P	P	P	NP
	Large retail store	P	NP	P	P	NP	NP
	Laundry or dry cleaning collection office	P	P	P	P	P	NP
	Leather goods shop	P	P	P	P	P	NP
	Locksmith	P	P	P	P	P	NP
	Medical supplies/equipment sales or rental	P	P	P	P	P	NP
	Mortuary or funeral home	P	P	P	P	P	NP
	Newspaper distribution center	P	P	P	P	P	NP
	Optician	P	P	P	P	P	NP
	Pawn shop	P	P	P	P	P	NP
	Pharmacy (drug store)	P	P	P	P	P	NP
	Photograph, portrait/camera shop or photo finishing	P	P	P	P	P	NP
	Recording studio	P	P	P	P	P	NP
	Retail sales, general	P	P	P	P	P	NP
	Saddle or harness, repair or sales	P	P	P	P	P	NP
	Shoe shine shop	P	P	P	P	P	NP
	Studio, art or photography	P	P	P	P	P	NP
	Tailor, clothing or apparel shop	P	P	P	P	P	NP
Veterinary clinic w/indoor kennels	P	NP	P	P	P	NP	
Vehicle Sales and Service <u>with</u> drive through facilities	Auto parts supply, retail	P/C	NP	NP	P/C	P/C	NP
	Automotive repair; paint and body shop	P/C	NP	NP	P/C	P/C	NP
	Car wash, full or self service	P/C	NP	NP	P/C	P/C	NP
	Gasoline sales	P/C	NP	NP	P/C	P/C	NP
	Parking area or garage, storage commercial or auxiliary	P	P/C	P	P	P/C	NP

Table 5.1 – Schedule of Uses							
	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Service station	P/C	NP	NP	P/C	P/C	NP
Light Industrial							
Light Industrial Services	Assembly of pre-manufactured parts, except for vehicles, trailers, airplanes or mobile homes	NP	NP	NP	P/C	NP	NP
	Food processing (no slaughtering)	NP	NP	NP	P/C	NP	NP
	Furniture or cabinet repair or construction	NP	NP	NP	P/C	NP	NP
	Furniture sales, with outside storage/display (new/used)	NP	NP	NP	P/C	NP	NP
	Manufacture of artificial flowers, ornaments, awnings, tents, bags, cleaning/polishing preparations, boats under 28ft in length, brooms or brushes, buttons and novelties, canvas products, clothing, suits, coats, or dresses for wholesale trade	NP	NP	NP	P/C	NP	NP
	Monument/marble works, finishing and carving only	NP	NP	NP	P/C	NP	NP
	Monument works, stone	NP	NP	NP	P/C	NP	NP
	Paint mixing or spraying	NP	NP	NP	P/C	NP	NP
	Paper box manufacture	NP	NP	NP	P/C	NP	NP
	Pattern shop	NP	NP	NP	P/C	NP	NP
	Printing, lithographing, book-binding, newspapers or publishing	NP	NP	NP	P/C	NP	NP
	Rubber stamping, shearing/punching	NP	NP	NP	P/C	NP	NP
Sheet metal shop	NP	NP	NP	P/C	NP	NP	
Welding shop, custom work (not structural)	NP	NP	NP	P/C	NP	NP	
Heavy Industrial							
Heavy Industrial Manufacturing and Transit	Brewery, distillery or winery	NP	NP	NP	P/C	NP	NP
	Passenger station	NP	P	NP	NP	NP	NP
	Wholesale: bakery, produce market or wholesale house	NP	NP	NP	P/C	NP	NP
	Wholesale office or sample room	NP	NP	NP	P/C	NP	NP
Other Uses							
Agriculture and Minerals	Community garden	P/C	P/C	P/C	P/C	P/C	P/C
	Gas Drilling & Production	P	P	P	P	P	P
Accessory Uses	Accessory use or building (for residential use)	NP	NP	NP	NP	P	P
	Incidental Outdoor Display (subject to standards in Section 7 of the Code)	P/A	P/A	P/A	P/A	P/A	NP
	Satellite antenna (dish)	P	P	P	P	P	P
	Solar energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
	Wind energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Rainwater harvesting equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Utility equipment (includes electrical transformers, gas meters, etc)	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Temporary Uses	Amusement, outdoor (temporary)	P	P	P	P	NP	NP
	Batch plant, concrete or asphalt (temporary)	P	P	P	P	NP	NP
	Residence for security purposes, temporary	P	P	P	P	NP	NP
	Sales from kiosks	P	P	P	P	P	NP
	Special Event (subject to City's Special Events Ordinance)	P	P	P	P	NP	NP
	Trailer, portable; sales, construction or storage	P	P	P	P	P	P
	Vendor, Food, Non-Potentially Hazardous Food	P	P	P	P	NP	NP
	Vendor, Food, Potentially Hazardous Food	P	P	P	P	NP	NP
	Vendor, Merchandise	P	P	P	P	NP	NP
Vendor, Mobile Food Vendor Parks/Courts	P	P	P	P	NP	NP	

P= Permitted by right NP= Not Permitted

P/C = Permitted with Specific Criteria as established in Table 5.2

P/A = Permitted Accessory Use

P/A/C = Permitted Accessory Use with Specific Criteria as established in Table 5.2

5.2 Use Criteria: All uses listed as P/C in Table 5.1 shall also meet the following standards in Table 5.2

Table 5.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Non-Residential Uses		
Vehicle Sales and Service	Highway Mixed Use, Boulevard Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Gas pumps, canopies, and/or service bays shall not be located along any Type ‘A’ Street frontage. No more than 50% of a lot’s frontage along the Boulevard shall be occupied by gas pumps, canopies, and/or service bays. Any buildings associated with the use shall also have a pedestrian entrance at a Type ‘A’ Street and/or the Boulevard. No outdoor storage of vehicles or other products sold shall be permitted along Type ‘A’ Streets and the Boulevard. All auto-related sales display shall be inside storefronts or along Type ‘B’ Streets.
Parking area	Village Mixed Use, and Transition	<ul style="list-style-type: none"> Surface parking shall not be located at a street intersection for minimum of 30’ along each street. Street screening required along ‘A’ Streets Driveway access for parking lots shall be from ‘B’ Streets or alleys. Access from ‘A’ Streets or Trinity Boulevard shall be limited and only permitted when ‘B’ Street or alley access does not exist.
Any permitted use with a drive through facility	Highway Mixed Use, Boulevard Mixed Use, Campus Commercial, and Transition	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Trinity Boulevard only if the lot has no access to any Type ‘B’ Street. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type ‘A’ Street. Drive through areas screened by a 4’ high Street Screen along the Boulevard Drive through facilities shall meet the design standards in Section VIII of this code.
Utilities	Boulevard Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Ground floors along Type ‘A’ Streets shall be built to Commercial Ready Standards Service bays, loading, and unloading shall be along Type ‘B’ Street or driveway frontages only. Utility equipment, antennas, and other accessory equipment shall not be installed with frontage on Type ‘A’ Streets.
Telecommunication Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from adjacent Type ‘A’ Street.
Residential Uses		
Multi-family residential	Boulevard Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> No residential uses shall be permitted on the ground floors of building with direct frontage along either Trinity Boulevard or IH 820 Frontage Road. Residential uses are permitted on the ground floors of building with all other street and interior driveway frontages.

Table 5.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Manor Home	Neighborhood	<ul style="list-style-type: none"> • No more than 4 units permitted. • Building must appear to be one large house with one front door, although additional side and/or rear doors are permitted. • Parking must be from a rear driveway or alley and garages must not face directly onto a public street
Other Uses		
Electrical equipment, appliance, and components assembly and manufacturing Light Industrial Services and assembly uses Heavy Industrial Manufacturing Wholesale Trade establishment	Campus Commercial	<ul style="list-style-type: none"> • No outdoor storage permitted • Ground floors along Type 'A' Streets shall be built to Commercial Ready Standards • Service bays, loading, and unloading shall be along Type 'B' Street or driveway frontages only.
Community Garden	All Zones	<ul style="list-style-type: none"> • Shall be no larger than 1.0 acre. • Gardens shall be enclosed by a fence on all open sides; where it is not enclosed by a building. • Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges. • Fencing Materials: <ul style="list-style-type: none"> ○ <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel ○ <u>Not permitted</u>: chain link, barbed wire, vinyl, un-painted/stained pressure treated wood, plywood • Specific to the Village Mixed Use Character Zone – shall be permitted as an interim use of property (3-yr increments)
Rain water harvesting equipment	All Zones	<ul style="list-style-type: none"> • Rain water harvesting equipment may not be installed along Type 'A' Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> • A mutually acceptable site location of utility equipment will be determined during the design and platting process through a discussion with the appropriate utility provider.

VI. Building Form and Development Standards

6.1 Boulevard Mixed Use

6.1.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Boulevard Mixed Use Zone form and development standards are intended to address development along Trinity Boulevard. Development standards in this frontage type are intended to create a vibrant, mixed-use area that leverages Trinity Boulevard as a "Complete Street" supporting multimodal traffic and linking other regional destinations. The Boulevard Mixed Use area will serve as the well-needed commercial activity area for the local community.

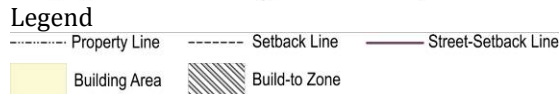
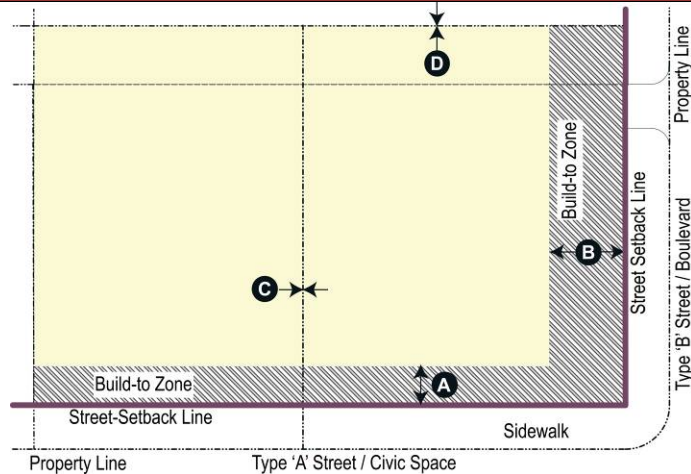
Generally, this frontage type may accommodate large-format retail or office sites with surface parking along the Trinity Boulevard frontage. The goal is to minimize the impact of large, surface parking lots and discourage the "big-box" look.

In addition, the site shall be planned in such a manner as to facilitate a more urban block infill development pattern with respect to building pads, parking, driveways, and service areas.



Images of large-format retail and office development with appropriate frontages along Trinity Boulevard and the Main Street.

6.1.2 Building Placement



(i) Street Setback Line (SSL) (Distance from center line of street cross section to edge of the BTZ)	
Main Street	46 ft.
Avenue	42 ft.
Park Edge Street	32 ft.
Neighborhood Street Type A	34 ft.
Mixed Use General Street	30 ft.
Type B	
(ii) Build-to Zone (BTZ) (measured from edge of SSL)	
Front (Type 'A' Street / Civic Space)	0' – 10' (see #1) A
Front (Boulevard / Type 'B' Street)	0' – 75' (see #2) B
Side and Rear (from property line)	0' (see #3) C D
(iii) Building Frontage	
% of building built to Type 'A' Street BTZ	70% (min.) (see #4 and #7)
% of building built to Boulevard /Type 'B' Street BTZ	25% (min.) (see #4 and #7)

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk along Type 'A' streets.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

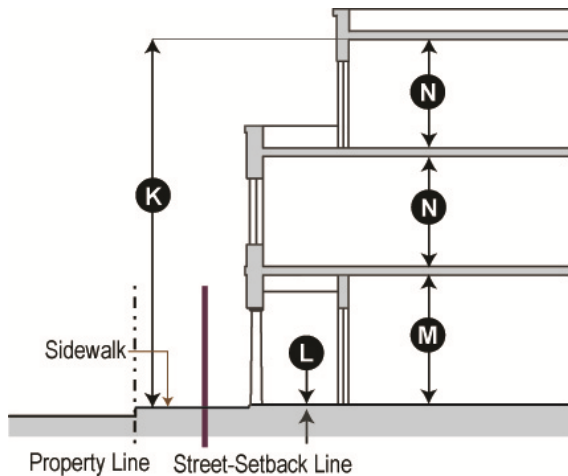
#3 – Side and rear build-to-zone shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 20' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures. Where buildings fall within the Main Street Frontage, those standards shall apply.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.1.3 Building Height



Principal Building Standards

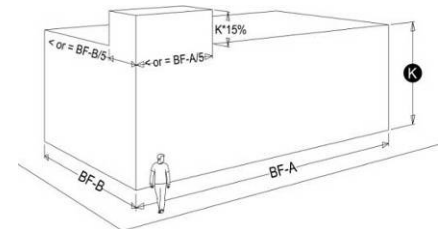
Building Maximum	3-6 stories (max.) (see #6 and #8) K
First floor to floor height	15' (min.) (see #5) M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings) L
Upper floor to floor height	10' (min.) (see #5) N

6.1.4 Commercial Frontage Standards

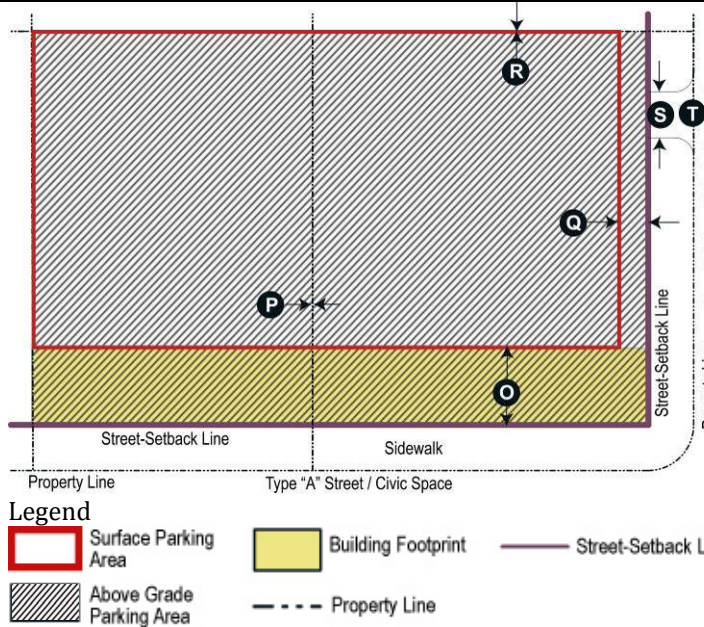
Ground floors of all buildings fronting on Trinity Boulevard or within the Main Street Frontage area shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.1.5 Parking and Service Areas **6.1.6 Other Standards**



(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Trinity Boulevard and Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Trinity Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 18)	P R

(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space per 300 sq.ft.
Lodging Uses	1 space per lodging room
Residential Uses	1-5 1 space/unit

- (i) Canopies, signs, awnings and balconies*
- Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 - Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:*
- Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 - The minimum interior clearance height within an arcade or colonnade shall be 12'.

6.1.7 Façade Elements *(iii) Driveways and Service areas*

- (i) Doors and Windows:*
- There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street, Trinity Boulevard and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 - Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 - Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 - Primary entrance doors for all buildings shall be on a Type 'A' Street or Trinity Boulevard.
- (ii) Façade Articulation:* Along Trinity Boulevard and Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

Driveway Widths	Along I-820, TxDOT Standards apply. City of Fort Worth Standards on Trinity Blvd and 24 feet max. on all other streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		T

6.2 Village Mixed Use

6.2.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Village Mixed Use Zone building form and development standards are intended to address development along the lake side with Trinity Lakes. Development standards in this character zone are intended to take advantage of its location as a central lake side development location.

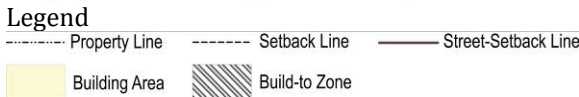
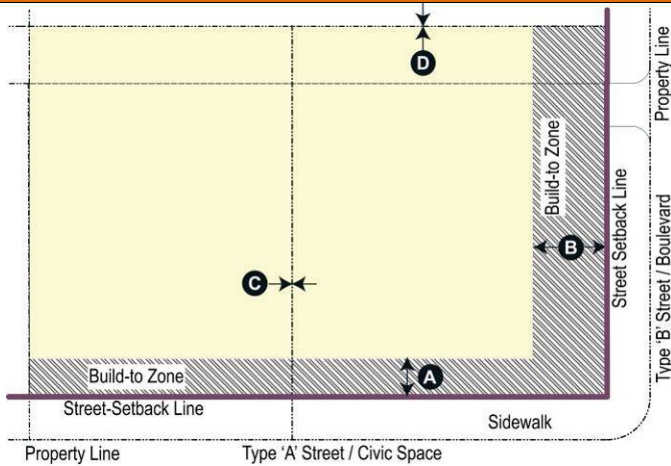
Generally, this character zone creates opportunities for local small scale, retail and restaurant, and medium scale residential (apartments, townhouses, multi-unit homes, live-work) development. This area is envisioned as a peaceful place to bring family and friends to enjoy a walk or a conversation while dining outdoors

In addition, the site shall take advantage of the lake side views by developing small scale retail and restaurants along the lake edge and higher residential development that are able take advantage of lake views.



A lakeside frontage building with façade facing the lake (left) and two corner buildings with tower elements to signify the entrance into a significant area (right).

6.2.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)

Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.

(ii) Build-to Zone (BTZ) (measured from edge of SSL)

Front (Type 'A' Street / Civic Space)	5' – 10' (see #1)	A
Front (Boulevard/ Type 'B' Street)	0 – 75' (see #2)	B
Side and Rear (from property line)	0' (see #3)	C D

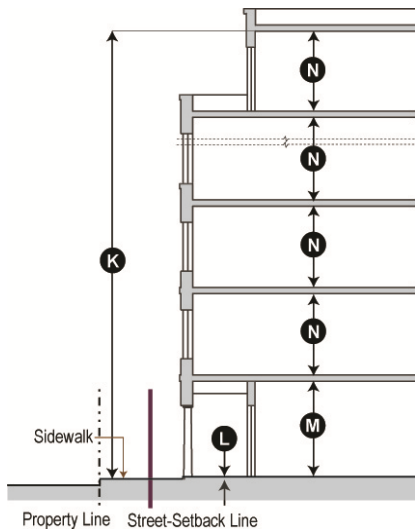
(iii) Building Frontage

% of building built to Type 'A' Street BTZ	90% (min.) (see #4 and #7)
% of building built to Type 'B' Street BTZ	40% (min.) (see #4 and #7)

Notes

- #1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.
- #2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.
- #3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #4 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to-zone standards.
- #5 – Floor to floor heights shall not apply to parking structures. Where buildings are within the Lakeside Frontage, Section 6.2.6 shall apply.
- #6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.2.3 Building Height



Principal Building Standards

Building Maximum	6 stories (max.) (see #6 and #8)	K
First floor to floor height	15' (min.) (see #5 and 6.2.6)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)	L
Upper floor to floor height	10' (min.) (see #5)	N

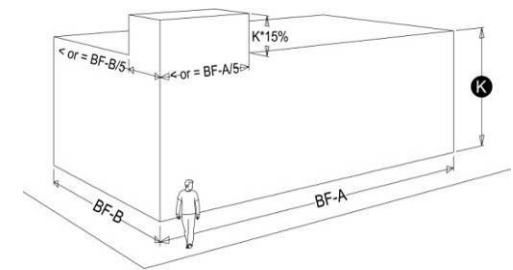
6.2.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Trinity Blvd. shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

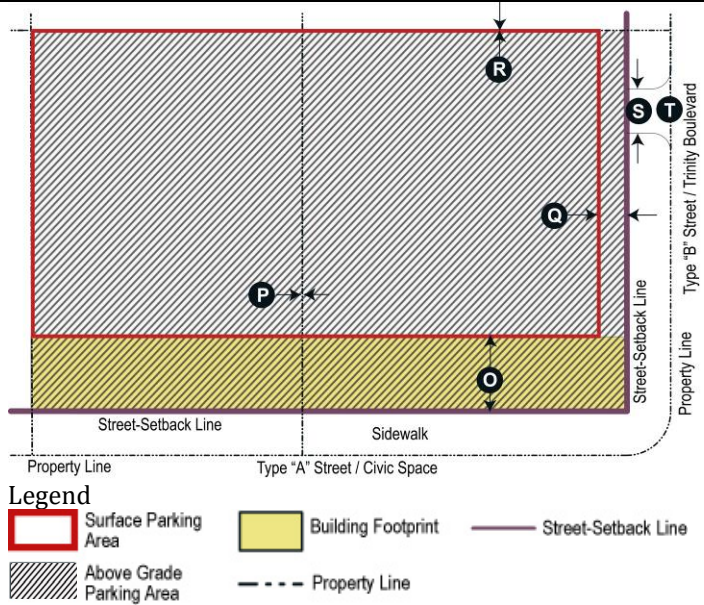
6.2.5 Lakeside Frontage Standards

- The following standards shall apply for buildings within the Lakeside Frontage:
- i. Maximum of 2 stories within 30 feet along the of lakeside frontage areas.
 - ii. Minimum 12' clear for ground floor height

- #7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.
- #8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.2.6 Parking and Service Areas (i) *Parking Location* **6.2.7 Other Standards**



<i>(i) Parking Location</i>		
Surface/At Grade Parking		
Type 'A' Street, Pedestrian Passage and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg.21)	P R
<i>(ii) Required Off-Street Parking Spaces</i>		
Non-residential uses	1 space per 300 sq.ft	
Lodging Uses	1 space per lodging room	
Residential Uses	1.5 1 space/unit	

- 6.2.7 Other Standards**
- (i) Canopies, signs, awnings and balconies
 - Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 - Building projections on all other facades may not be closer than 5' to any adjacent property line.
 - (ii) Arcades and Colonnades:
 - Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 - The minimum interior clearance height within an arcade or colonnade shall be 12'.

6.2.8 Façade Elements (iii) *Driveways and Service areas*

- (i) Doors and Windows:
 - There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 - Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 - Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 - Primary entrance doors for all buildings shall be on a Type 'A' Street.
- (ii) Façade Articulation: Along Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

<i>(iii) Driveways and Service areas</i>		
Driveway Widths	24 feet max. on all streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		
		T

6.3 Highway Mixed Use

6.3.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

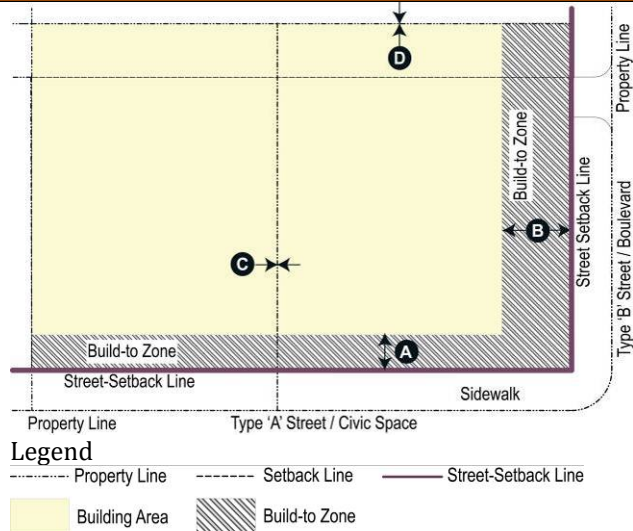
The Highway Mixed Use Zone building form and development standards are intended to create opportunities for large scale development for employment and residential uses that takes advantage of visibility from I-820. The office development will compliment other development in Trinity Lakes through architecture and scale.

Generally, this character zone will appropriately transition from the highway to the lower scale development within the Trinity Lakes development. Office development will allow an appropriate transition from the noise and activity that already occurs on the busy I-820 expressway.



Highway Mixed Use buildings with front facades oriented towards internal streets, buffer the highway from the community.

6.3.2 Building Placement



<i>(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)</i>	
Main Street	46 ft.
Neighborhood Street Type A	34 ft.
Mixed Use General Street Type B	30 ft.
<i>(ii) Build-to Zone (BTZ) (measured from edge of SSL)</i>	
Front (Type 'A' Street / Civic Space)	5' – 10' (see #1) A
Front (Boulevard/ Type 'B' Street)	0' – 75' (see #2) B
Side and Rear (from property line)	0' (see #3) C D
<i>(iii) Building Frontage</i>	
% of building built to Type 'A' Street BTZ	90% (min.) (see #4 and #7)
% of building built to Type 'B' Street BTZ	30% (min.) (see #4 and #7)

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

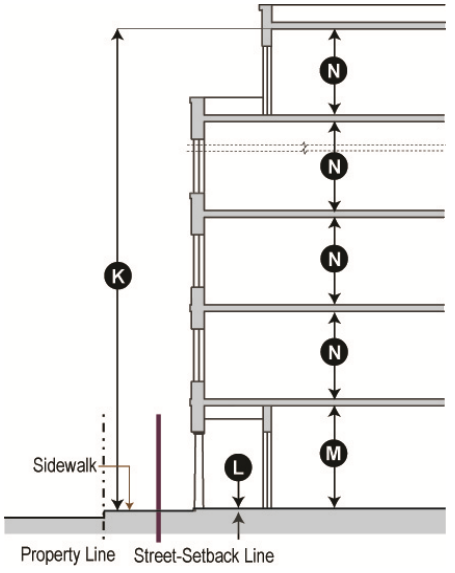
#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 20' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.3.3 Building Height



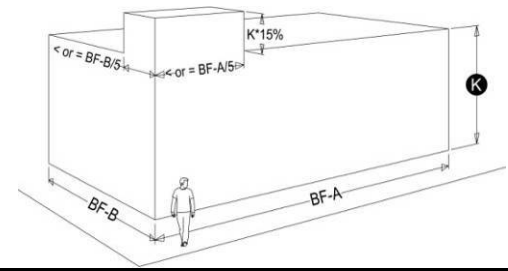
<i>Principal Building Standards</i>	
Building Maximum	6 stories (max.) (see #6 and #8) K
First floor to floor height	15' (min.) (see #5) M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings) L
Upper floor to floor height	10' (min.) (see #5) N

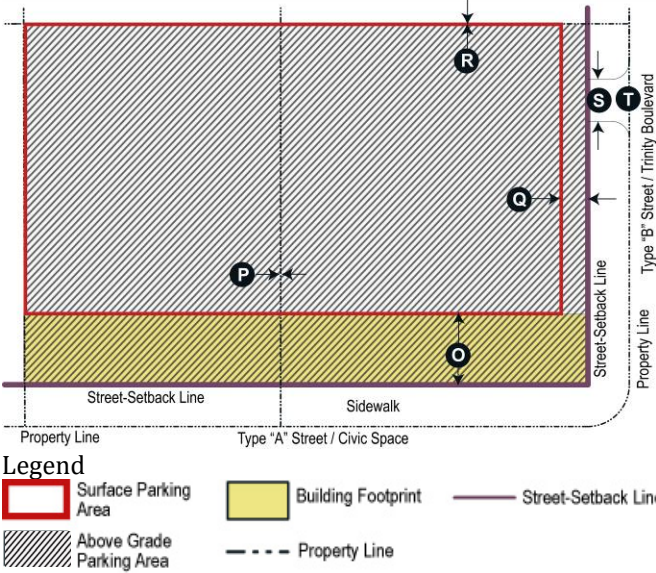
#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

6.3.4 Commercial Frontage Standards

Ground floors of all buildings within the Main Street Frontage area shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicapped accessibility, and first floor elevation flush with the sidewalk.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.3.5 Parking and Service Areas</p>	<p><i>(i) Parking Location</i></p>	<p>6.3.6 Other Standards</p>																											
 <p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area Above Grade Parking Area Building Footprint Street-Setback Line Property Line 	<table border="1"> <tr> <th colspan="3">Surface/At Grade Parking</th> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td>Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less</td> <td>Q</td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.)</td> <td>P R</td> </tr> <tr> <th colspan="3">Above Grade Parking</th> </tr> <tr> <td>Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space</td> <td>May be built up to the building façade line along that street</td> <td></td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.) (see #3, pg. 24)</td> <td>P R</td> </tr> </table> <p><i>(ii) Required Off-Street Parking Spaces</i></p> <table border="1"> <tr> <td>Non-residential uses</td> <td>1 space per 300 sq.ft.</td> </tr> <tr> <td>Lodging Uses</td> <td>1 space per lodging room</td> </tr> <tr> <td>Residential Uses</td> <td>1-5 1 space/unit</td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q	Side and Rear setback (distance from property line)	0' (min.)	P R	Above Grade Parking			Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street		Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 24)	P R	Non-residential uses	1 space per 300 sq.ft.	Lodging Uses	1 space per lodging room	Residential Uses	1-5 1 space/unit	<p>(i) Canopies, signs, awnings and balconies</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. Building projections on all other facades may not be closer than 5' to any adjacent property line. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 12'.
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Residential Uses	1-5 1 space/unit																												
<p>6.3.7 Façade Elements</p> <p>(i) Doors and Windows:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets. Primary entrance doors for all buildings shall be on a Type 'A' Street. <p>(ii) Façade Articulation: Along Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.</p>	<p><i>(iii) Driveways and Service areas</i></p> <table border="1"> <tr> <td>Driveway Widths</td> <td>24 feet max. on all streets</td> <td>S</td> </tr> <tr> <td colspan="3"> Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped. </td> </tr> <tr> <td></td> <td></td> <td>T</td> </tr> </table>	Driveway Widths	24 feet max. on all streets	S	Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.					T																			
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6.4 Campus Commercial

6.4.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Campus Commercial Zone building form and development standards are intended to create an employment center based on market realities. The development is envisioned as a campus environment, but also compliments the moderate scale of the adjacent development. It is expected that development be integrated into a street network that is compatible with the planned street network connections.

Generally, this character zone will maximize the potential to create a regional destination with easy access to regional highways, thoroughfares and trail network.

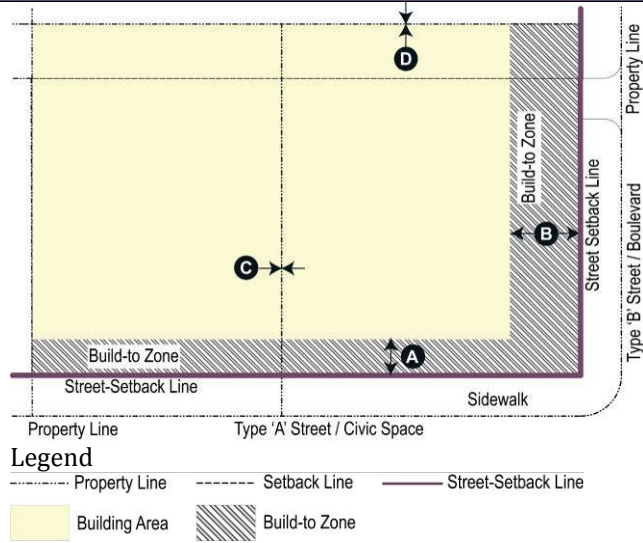


Appropriate frontages for the Campus Commercial Character Zone



Appropriate height variations for the Campus Commercial Zone

6.4.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)			
Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.
(ii) Build-to Zone (BTZ) (measured from edge of SSL)			
Front (Type 'A' Street / Civic Space)	5' – 10' (see #1)		A
Front (Boulevard/ Type 'B' Street)	0' – 10' (see #2)		B
Side and Rear (from property line)	0' (see #3)		C D
(iii) Building Frontage			
% of building built to Type 'A' Street BTZ	80% (min.) (see #4 and #7)		
% of building built to Type 'B' Street BTZ	40% (min.) (see #4 and #7)		

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

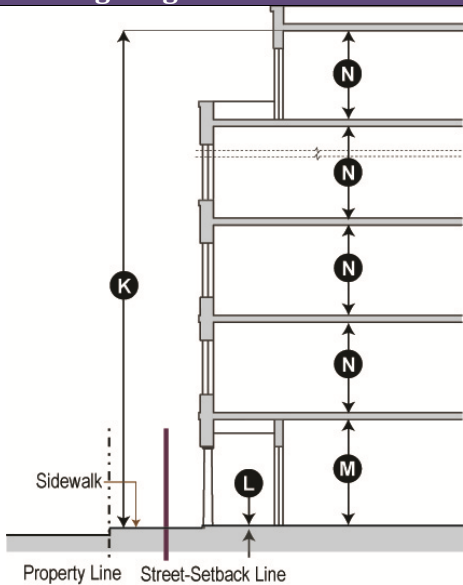
#4 – Corner building street facades shall be built to the BTZ a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

6.4.3 Building Height



Principal Building Standards

Building Maximum	15 stories (max.) (see #6, #8 and 6.4.6)	K
First floor to floor height	15' (min.) (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)	L
Upper floor to floor height	10' (min.) (see #5)	N

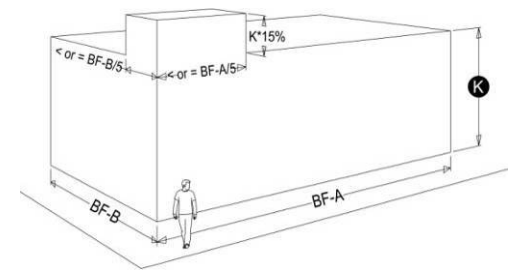
6.4.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Trinity Blvd. shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

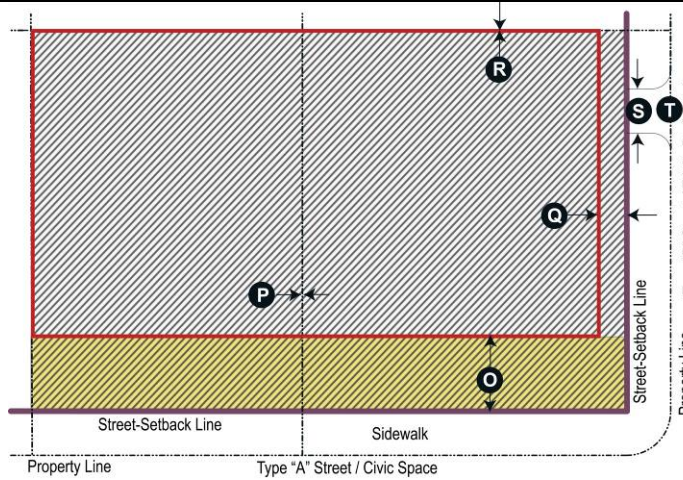
6.4.5 Transition Overlay Standards

Within the Transition Overlay area, depicted on the Regulating Plan, buildings may not exceed 6 stories in height.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.4.6 Parking and Service Areas **6.4.7 Other Standards**



Legend

- Surface Parking Area
- Building Footprint
- Street-Setback Line
- Above Grade Parking Area
- Property Line

(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 27)	P R
(ii) Required Off-Street Parking Spaces		
Non-residential uses	1 space per 300 sq.ft	
Lodging Uses	1 space per lodging room	
Residential Uses	1-5 space/unit	

6.4.7 Other Standards

- (i) Canopies, signs, awnings and balconies
 1. Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 2. Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:
 1. Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 2. The minimum interior clearance height within an arcade or colonnade shall be 12'.
- (iii) Building Step Back
 1. When a building extends beyond 5 stories, a step back of the building façade is required along the stories above the fifth (5th) story.
 2. The step back of the façade shall be no less than 10 feet from the building façade line.

6.4.8 Façade Elements

(iii) Driveways and Service areas

- (i) Doors and Windows:
 1. There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 2. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 3. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 4. Primary entrance doors for all buildings shall be on a Type 'A' Street.
- (ii) Façade Articulation: Along the Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

Driveway Widths	24 feet max. on all streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		
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6.5 Transition

6.5.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

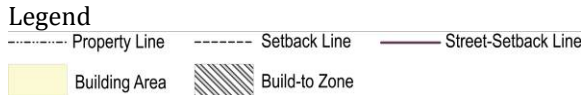
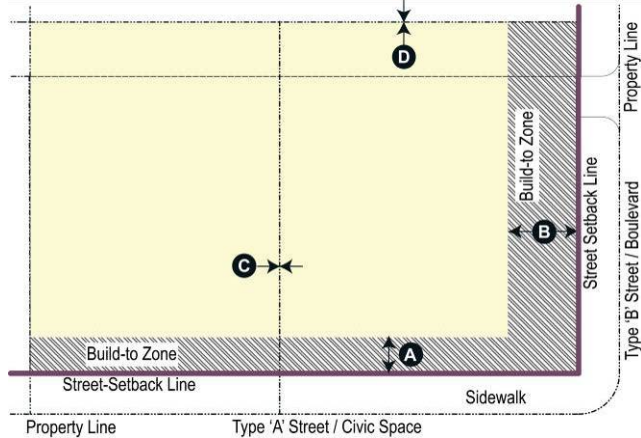
The Transition Zone building form and development standards are intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhomes, multi-unit homes, patio homes, etc.) transitions between higher intensity development and the existing and proposed neighborhoods.

Generally, this character zone emphasizes keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a park open to the public and open space.



Different building types and scale that is permitted in the Transition Character Zone.

6.5.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)			
Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Avenue	42 ft.	Mixed Use General Street	30 ft.
Park Edge Street	32 ft.	Type B	
(ii) Build-to Zone (BTZ) (measured from edge of SSL)			
Front (Type 'A' Street / Civic Space)	5' – 20'		A
Front (Boulevard/ Type 'B' Street)	0' – 30'		B
Side and Rear (from property line)	0' (see #3)		C D
(iii) Building Frontage			
% of building built to Type 'A' Street BTZ	80% (min.)		
	(see #4 and #7)		
% of building built to Type 'B' Street BTZ	20% (min.)		
	(see #4 and #7)		

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 20' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

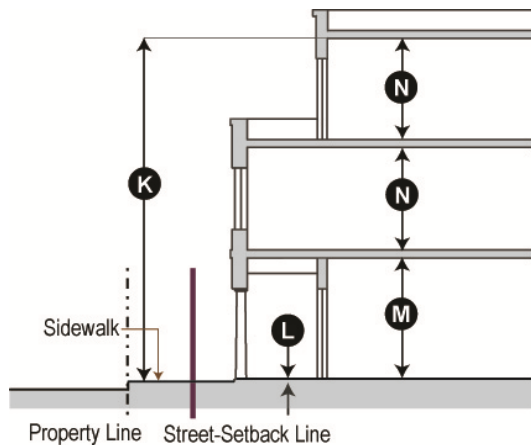
#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.5.3 Building Height



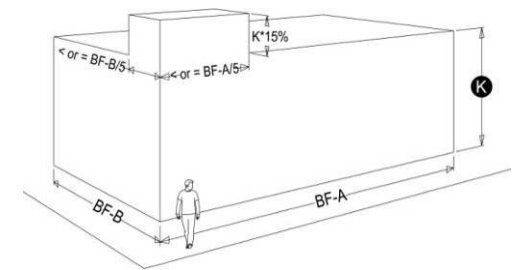
Principal Building Standards			
Building Maximum	3-4 stories (max.)		K
	(see #6 and #8)		
First floor to floor height	15' (min.) for commercial		M
	12' (min.) for residential		
	(see #5)		
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)		L
Upper floor to floor height	10' (min.) (see #5)		N

6.5.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Type 'A' Streets shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.5.5 Parking and Service Areas</p> <p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area Building Footprint Property Line Street-Setback Line 	<p><i>(i) Parking Location</i></p> <table border="1"> <tr> <td colspan="3">Surface/At Grade Parking</td> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td style="text-align: center;">O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td>Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less</td> <td style="text-align: center;">Q</td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.)</td> <td style="text-align: center;">P R</td> </tr> </table> <p><i>(ii) Required Off-Street Parking Spaces</i></p> <table border="1"> <tr> <td>Non-residential uses</td> <td>1 space per every 300 square feet (gross)</td> </tr> <tr> <td>Lodging Uses</td> <td>1 space per lodging room</td> </tr> <tr> <td>Residential Uses</td> <td style="text-align: center;">1-5 1 space/unit</td> </tr> <tr> <td>Accessory Dwelling Unit</td> <td>None Required</td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q	Side and Rear setback (distance from property line)	0' (min.)	P R	Non-residential uses	1 space per every 300 square feet (gross)	Lodging Uses	1 space per lodging room	Residential Uses	1-5 1 space/unit	Accessory Dwelling Unit	None Required	<p>6.5.6 Other Standards</p> <p>(i) Canopies, signs, awnings and balconies</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. Building projections on all other facades may not be closer than 5' to any adjacent property line. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 12'. <p>(iii) Accessory Buildings, Accessory Dwelling Units and Garages:</p> <ol style="list-style-type: none"> Accessory Buildings and garages located at-grade shall be no taller than one (1) story with 12' maximum floor to floor height, except when an accessory dwelling unit is above. Accessory dwelling units located above garages or accessory buildings shall be no taller than one (1) story above the garage or accessory building with 12' maximum floor to floor height. The height of the accessory structure shall not exceed the height of the primary building. Where an alley is available, the accessory building, dwelling unit or garage shall be accessed from the alley. An accessory building shall have no more than two dwelling units. On corner lots, the accessory building, accessory dwelling unit or garage must align with the building façade line along the side street.
Surface/At Grade Parking																						
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<p>6.5.7 Façade Elements</p> <p>(i) Doors and Windows:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 25 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 50 feet in width. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Primary entrance doors for all buildings shall be on a Type 'A' Street or the Boulevard. <p>(ii) Façade Articulation: Along the Boulevard façade there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.</p>	<p><i>(iii) Driveways and Service areas</i></p> <table border="1"> <tr> <td>Driveway Widths</td> <td>City of Fort Worth Standards on all streets</td> <td style="text-align: center;">S</td> </tr> <tr> <td colspan="3">Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.</td> </tr> </table>	Driveway Widths	City of Fort Worth Standards on all streets	S	Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.																	
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6.6 Neighborhood

6.6.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

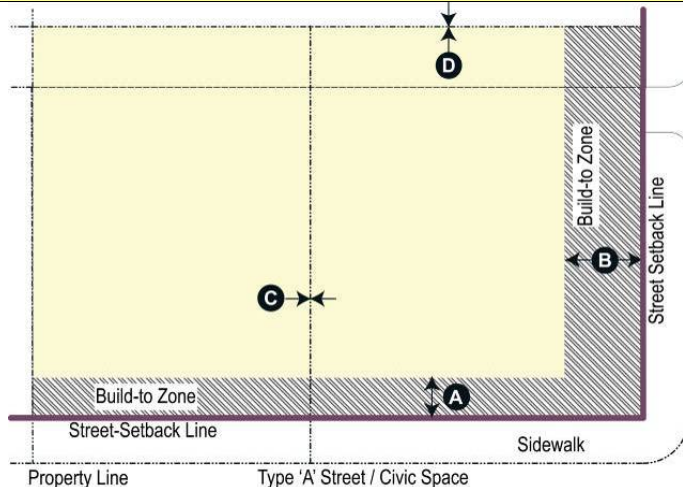
The Neighborhood Zone building form and development standards are intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhomes, multi-unit homes, patio homes, etc.) transitions between higher intensity development and the existing and proposed neighborhoods.

Generally, this character zone emphasizes keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a public park and open space.



Estate Lots with prominent front facades along the street (left) and pocket parks that connect to the trail network (right) represent the environment of the Neighborhood Character Zone.

6.6.2 Building Placement



Legend
 - - - - - Property Line - - - - - Setback Line - - - - - Street-Setback Line
 [Yellow Box] Building Area [Hatched Box] Build-to Zone

(ii) *Street Setback Line* (Distance from center line of street cross section to edge of the BTZ)

Avenue	42 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.

(iii) *Build-to Zone (BTZ) (measured from edge of SSL or ROW when using City Standard Streets)*

Front (Type 'A' Street / Civic Space)	0' – 20' (see #1)	A
Front (Boulevard/ Type 'B' Street)	0' – 30' (see #1)	B
Side and Rear (from property line)	0' (see #2)	C D

(iv) *Building Frontage*

% of building built to Type 'A' Street or Civic Space BTZ	60% (min.) (see #3 and #6)
% of building built to Type 'B' Street BTZ	30% (min.) (see #3 and #6)

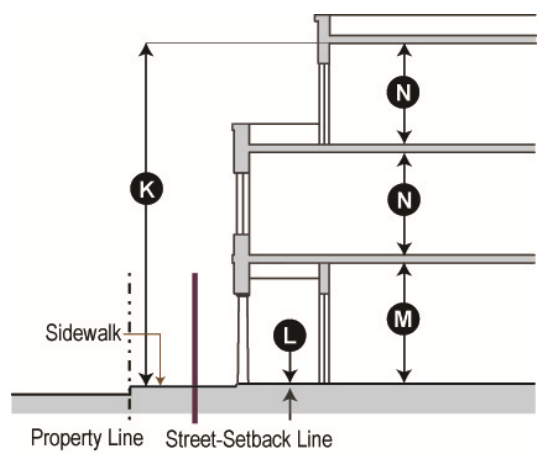
Notes

- #1 – For non-residential buildings, the area between the building and the edge of the BTZ at the sidewalk may be paved flush with the public sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – For non-residential buildings, corner building street facades shall be built to the BTZ for a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Floor to floor heights shall not apply to parking structures.
- #5 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

#6 – For non-residential buildings, any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

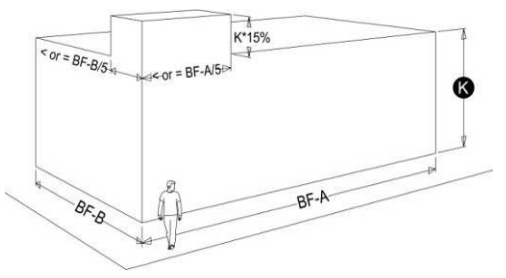
6.6.3 Building Height

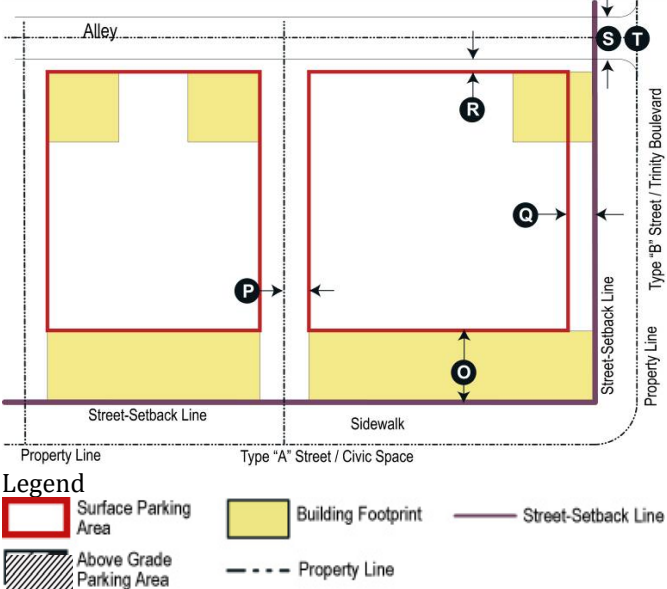
Principal Building Standards



Building Maximum	3 stories (max.) (see #5 and #7)	K
First floor to floor height	10' (min.) (see #4)	M
Upper floor to floor height	8' (min.) (see #4)	N

#7 – For non-residential buildings, corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.6.4 Parking and Service Areas</p>	<p><i>(i) Parking Location</i></p>	<p>6.6.5 Other Standards</p>																			
 <p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area (Red outline) Above Grade Parking Area (Hatched) Building Footprint (Yellow) Property Line (Dashed line) Street-Setback Line (Solid line) 	<p>Surface/At Grade Parking</p> <table border="1"> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td> <ul style="list-style-type: none"> For lots less than 50' in width, min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less. For lots 50' or greater in width, see section 8.4.1 (vii) </td> <td>Q</td> </tr> <tr> <td>Side setback</td> <td>4' (min.)</td> <td>P</td> </tr> <tr> <td>Rear setback when alley is present (distance from alley right-of-way)</td> <td>4' (min.)</td> <td>R</td> </tr> <tr> <td>Rear setback when alley is not present (distance from property line)</td> <td>0' (min.)</td> <td>R</td> </tr> </table> <p>(ii) Required Off-Street Parking Spaces</p> <table border="1"> <tr> <td>Residential Uses</td> <td>1-51 space/unit</td> </tr> <tr> <td>Accessory Dwelling Unit</td> <td>None Required</td> </tr> </table>	Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	<ul style="list-style-type: none"> For lots less than 50' in width, min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less. For lots 50' or greater in width, see section 8.4.1 (vii) 	Q	Side setback	4' (min.)	P	Rear setback when alley is present (distance from alley right-of-way)	4' (min.)	R	Rear setback when alley is not present (distance from property line)	0' (min.)	R	Residential Uses	1-51 space/unit	Accessory Dwelling Unit	None Required	<p>(i) Encroachments</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 10'. <p>(iii) Accessory Buildings, Accessory Dwelling Units and Garages:</p> <ol style="list-style-type: none"> Accessory Buildings and garages located at-grade shall be no taller than one (1) story with 12' maximum floor to floor height, except when an accessory dwelling unit is above. Accessory dwelling units located above garages or accessory buildings shall be no taller than one (1) story above the garage or accessory building with 12' maximum floor to floor height. The height of the accessory structure shall not exceed the height of the primary building. Where an alley is available, the accessory building, dwelling unit or garage shall be accessed from the alley. An accessory building shall have no more than two dwelling units. On corner lots, the accessory building, accessory dwelling unit or garage shall align with the building façade line of the primary building along the side street. Where corner clips are mandatory, accessory structures, dwellings, and garages can be shifted to accommodate the sight line requirement.
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O																			
Type 'B' Street setback	<ul style="list-style-type: none"> For lots less than 50' in width, min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less. For lots 50' or greater in width, see section 8.4.1 (vii) 	Q																			
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<p>6.6.6 Façade Elements</p>	<p><i>(iii) Driveways and Service areas</i></p>																				
<p>(i) Doors and Windows:</p> <p>For Type 'A' Streets:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 25 feet in width along that street façade of any building. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along that street façade. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along that street façade. Primary entrance doors for all buildings shall be oriented towards that street façade. <p>For Type 'B' Streets and City Standard Streets:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 50 feet in width. 	<p>Driveway Widths</p> <p>City of Fort Worth Standards on all streets</p> <p>S</p> <p>For Type 'A' Streets:</p> <p>Driveways and off-street loading and unloading shall not be located on this street.</p> <p>Porte cocheres may be permitted to provide drop-off and valet service.</p> <p>Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.</p> <p>If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are developed.</p> <p>T</p>																				

VII. Street & Streetscape Standards

7.1 General Requirements

7.1.1 Generally: Streets in Trinity Lakes need to support the overall intent for the development. They should balance all forms of mobility while maximizing convenience for residents and visitors.

7.1.2 The Regulating Plan designates the required and recommended street network within the development. This section specifies the typical configuration of streets within the development. The specifications address vehicular lane width, parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in Trinity Lakes will vary based on the location. Standard city street cross-sections may be used.

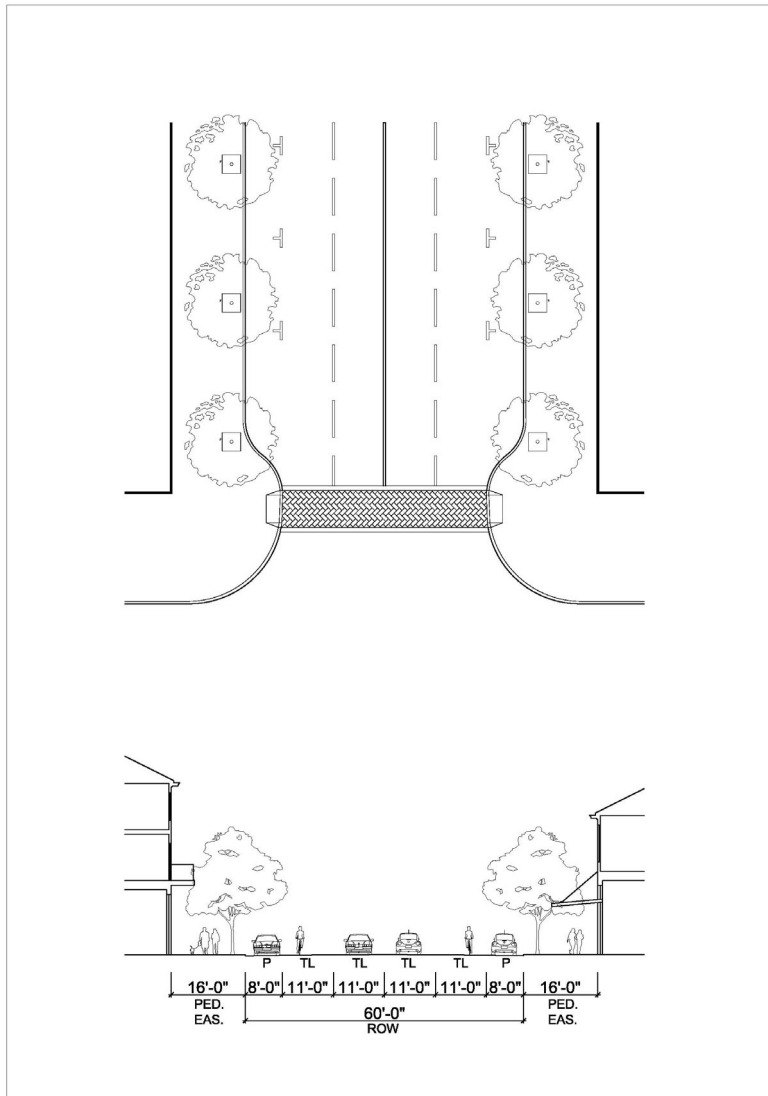
7.1.3 New Streets: This section specifies standards for all new streets in Trinity Lakes. New streets shall be addressed on a project by project basis and shall be reviewed by the ~~Planning~~ and ~~Development~~ **Development Services** Department. The design of new streets in Trinity Lakes shall follow the City of Fort Worth’s adopted Context Sensitive Solutions Policy.

7.1.4 Due to site constraints, the street to the north and east of the lake north of Trinity Boulevard is not subject to block length standards.

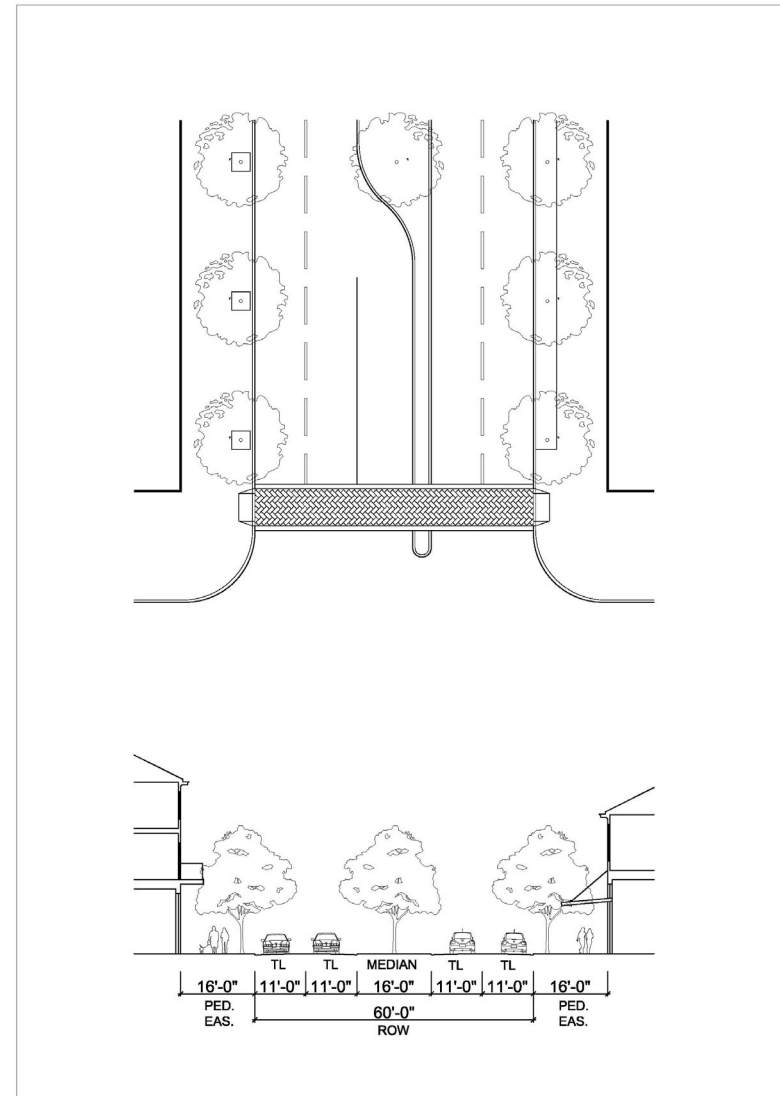
7.1.5 Street Classification Established: Table 7.1 and associated typical cross sections shall establish the cross sections for each street type. The cross sections may be adjusted with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Fire Code as adopted by the City.

Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Number of Bike Lanes	Vehicular Lane Widths	Bike Lane Widths	On-Street Parking	Pedestrian Sidewalk Width (min.)	Parkway/ Tree Well
	R.O.W. (curb to curb)	Pedestrian Easement (on both sides)							
Main Street A	60 feet	16 feet	4	0, sharrow	11 feet	N/A	Yes, both sides, parallel,	16 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet min, within the Pedestrian Easement
Avenue	60 feet with 16’ median	16 feet	4	0, sharrow	11 feet	N/A	None	6 feet (min) within the Pedestrian Easement	6’ wide min. planting strip, within the Pedestrian Easement

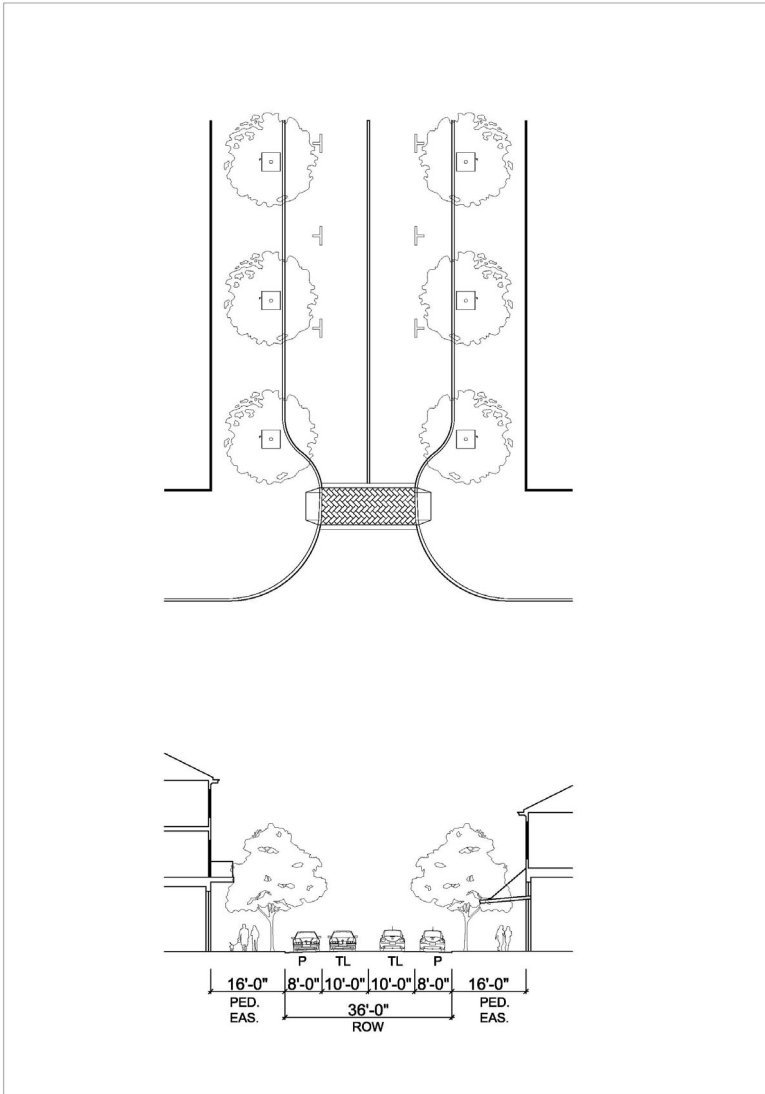
Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Number of Bike Lanes	Vehicular Lane Widths	Bike Lane Widths	On-Street Parking	Pedestrian Sidewalk Width (min.)	Parkway/ Tree Well
Neighborhood Street: Type "A"	36 feet	16 feet	2	0	10 feet	N/A	Yes, both sides, parallel	10 feet (min) within the Pedestrian Easement	6' wide min. planting strip, within the Pedestrian Easement
Mixed Use General Street: Type "B"	36 feet	12 feet	2	0	10 feet	N/A	Yes, both sides, parallel	6 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet (min), or parkway, 6 feet (min) within the Pedestrian Easement
Park Edge Street	36 feet	12 feet (development side)	2	0	10 feet	N/A	Yes, both sides, parallel	6 feet (min) within the Pedestrian Easement	Parkway, 6 feet (min) within the Pedestrian Easement
Commercial Alley	20 feet	None	N/A	None	N/A	N/A	None	None	None
Residential Alley	20 feet (12 feet of paving)	None	N/A	None	N/A	N/A	None	None	None



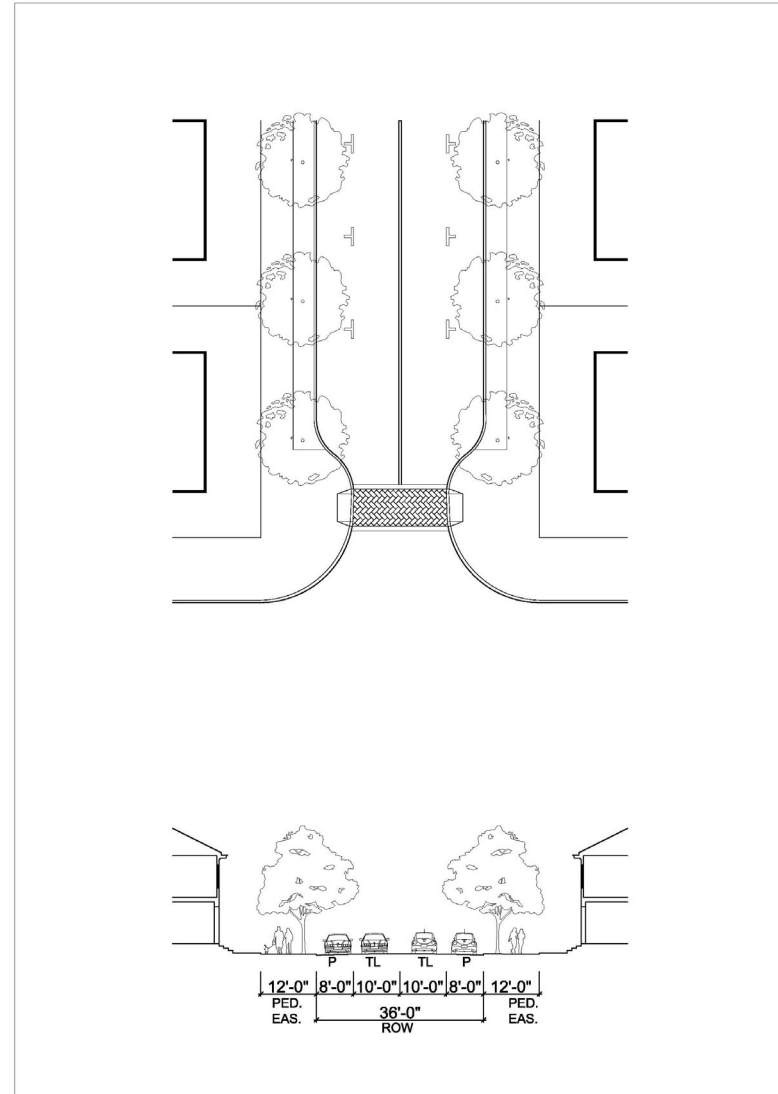
TYPICAL MAIN STREET



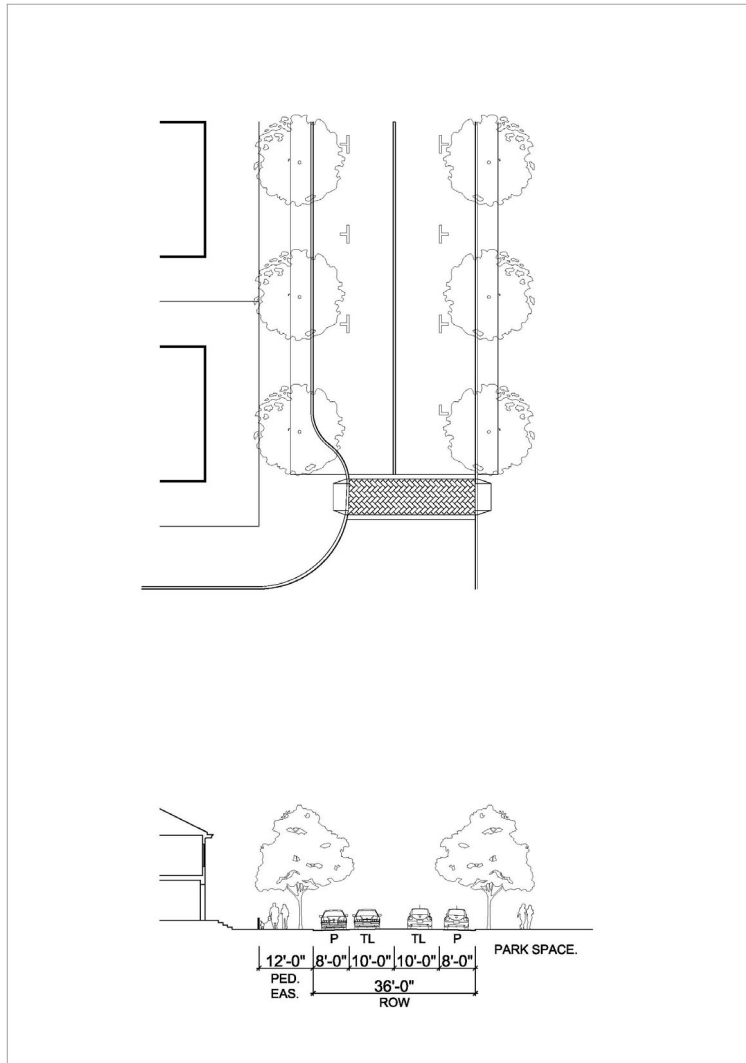
TYPICAL AVENUE



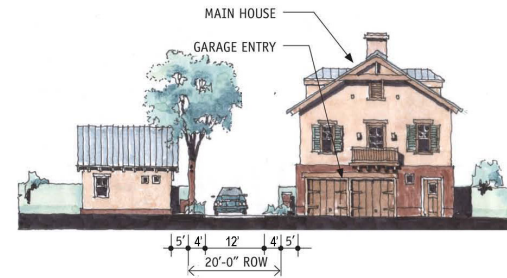
TYPICAL NEIGHBORHOOD STREET – TYPE 'A'



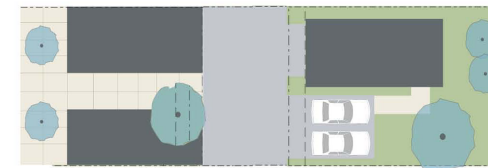
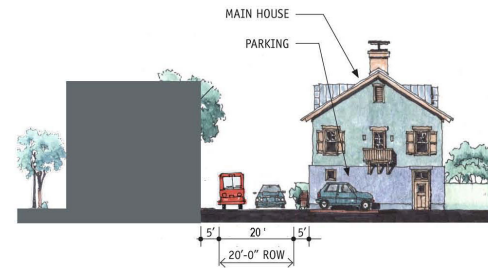
TYPICAL GENERAL MIXED USE STREET – TYPE 'B'



TYPICAL PARK EDGE



TYPICAL RESIDENTIAL ALLEY



TYPICAL COMMERCIAL ALLEY

7.2 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets and development within Trinity Lakes. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape shall be according to the City of Fort Worth standards in Chapter 6 of the City of Fort Worth Zoning Ordinance.

7.3 Street Trees and Landscaping

7.3.1 Street trees shall be required on all Trinity Lakes Type “A” Streets and along Trinity Boulevard (except on Type “B” Streets and alleys).

7.3.2 Street trees shall be planted approximately 3 feet behind the curb line.

7.3.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets.

7.3.4 The minimum caliper size¹ for each tree shall be 3 in. Each tree shall be planted in a planting area no less than 25 sq. feet.

7.3.5 Along Trinity Boulevard, trees shall be required in the median and spacing and species shall be the same as the trees in the parkway.

7.3.6 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof.

7.3.7 Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

7.3.8 Maintenance of all landscape materials shall meet the requirements of Chapter 6, Article 3 of the City of Fort Worth Zoning Ordinance.

7.3.9 Tree Planting mitigation as well as landscaping requirements shall be solely subject to the TLD Code and private CC&R applicable to the subject property.

7.4 Street Furniture, Lighting, and Materials

7.4.1 Pedestrian scale lighting, with the top of fixture being no more than 20 feet from the ground, shall be provided along all streets except alleyways and Type B City Standard Streets, depicted in the Regulating Plan (Appendix A and B).

7.4.2 Street lights shall be placed at 60 feet (max.) on center, approximately 3 feet behind the curb line.

7.4.3 The light standard selected shall be compatible with the design of the street and buildings.

7.4.4 Trash receptacles and bike racks shall be required along Type “A” Streets. A minimum of one each per block face shall be required.

7.4.5 Street furniture and pedestrian amenities such as benches are recommended along all Type “A” Streets.

7.4.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

¹ Caliper size for a multi trunk tree shall be the total of the diameter of the largest trunk and one half (½) of the diameter of each additional trunk, measured at a height of 4 ½ feet above the ground.

7.4.7 Within the Pedestrian Easement, materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

VIII. Building Design Standards

The Building Design Standards and Guidelines for the TLD Code shall establish a coherent urban character and encourage enduring and attractive development. Site plans shall be reviewed by the ~~Planning and Development~~ Development Services Director or designee for compliance with the standards below.

The key design principles establish essential goals for Trinity Lakes to ensure the preservation, sustainability, and visual quality of different development character areas in the development. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm along Type “A” Streets and at street intersections along Trinity Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- (i) Buildings shall be oriented towards Type “A” Streets, where the lot has frontage along a Type “A” Street. All other buildings shall be oriented towards Trinity Boulevard or Civic/Open Spaces.

If the lot does not front a Type “A” Street or Trinity Boulevard then it may front a Type “B” Street.

- (ii) Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

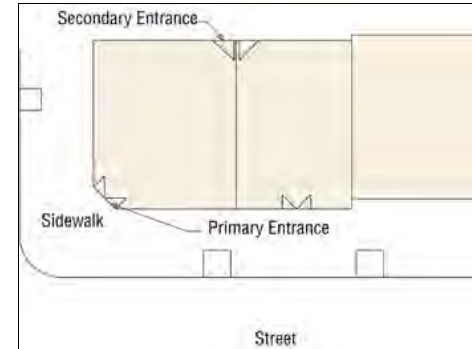


Figure showing required building orientation and location of primary entrances

8.1.2 Building Massing and Scale

- (i) Commercial and Mixed-Use buildings shall be simple, rectilinear forms with flat or low pitched roofs with parapets.
- (ii) Residential Buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- (iii) Gable roofs, if provided for residential buildings, shall have a minimum pitch of 3:12. When

hipped roofs are used, the minimum pitch shall be 3:12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3:12.

- (iv) The following standards shall apply for all buildings with mansard roofs in Trinity Lakes:
 - Mansard roofs shall only be used on buildings that are three stories or higher.
 - The mansard roof shall project no more than 18” forward of the building façade line.
 - The lower slope of the roof should be inclined at no greater than 75 degrees to the horizontal.
 - Windows on a mansard roof shall be constructed as a dormer, with a roof so that the window does not appear to be punched through the roof.

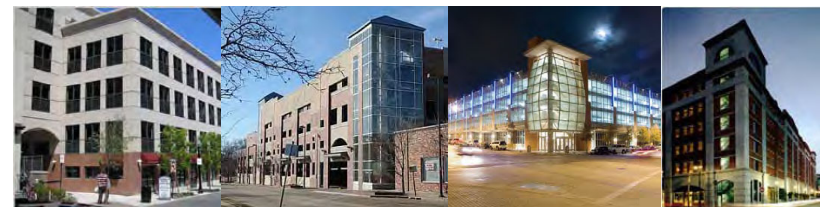
8.1.3 Design of Surface Parking

- (i) On Type ‘A’ Streets, surface parking shall be placed behind or to the side of the primary building.
- (ii) Where the surface parking is visible from the public realm on Type “A” Streets, street screening shall be used along the Street Setback Line.

8.1.4 Design of Parking Structures

- (i) All frontages of parking structures located on Type “A” Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type “A” Street frontage.
- (ii) The amount of Type “A” Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Type “A” Street edge(s).

- (iii) Parking structure facades on all Type “A” Streets and Trinity Boulevard shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- (iv) Where above ground structured parking is located at the perimeter of a building with frontage along a Type “A” Street or Trinity Boulevard; it shall be screened in such a way that cars on all parking levels are completely screened from pedestrian view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- (v) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- (vi) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures

8.1.5 Design of Automobile Related Building Site Elements (only when permitted in the Schedule of Uses per Table 5.1)

- (i) Drive-through lanes for commercial uses shall not be located along any Type “A” Street. Drive-through lanes shall be hidden behind a Street

Screen along Type “B” Streets and the Trinity Boulevard frontage.

- (ii) No more than 50% of a lot’s frontage along Trinity Boulevard or Type “B” Streets shall be occupied by gas pumps, canopies, and/or service bays.
- (iii) Any buildings associated with any automobile related use shall also have a pedestrian entrance at a Type “A” Street and/or Trinity Boulevard (if available).
- (iv) Outdoor storage of vehicles or other products sold shall not be permitted along Type “A” Streets. Along Trinity Boulevard and Type “B” Streets, outdoor storage of vehicles or other products sold shall not exceed 50% of a lot’s frontage along the Boulevard. There shall be no such limitation along alleys.

form and development standards in Section 6. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.2 Specific to Boulevard Mixed Use, Village Mixed Use, and Highway Mixed Use Character Zones

8.2.1 Massing and Façade Composition

- (i) Buildings are generally built upon a rectangular layout schemes with single or multiple components with mostly flat front, with square, round or octagonal corner towers.
- (ii) Buildings shall maintain a prevalent façade rhythm of 20’ to 30’ or multiples thereof along all Type “A” Streets and Trinity Boulevard.
- (iii) This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- (iv) Doors or windows forming regular patterns of openings, some accentuated by balconies.
- (v) Commercial and Mixed-Use building facades shall be designed with tripartite architecture (with a distinct base, middle and cap) and shall maintain the alignment of horizontal elements along the block.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and

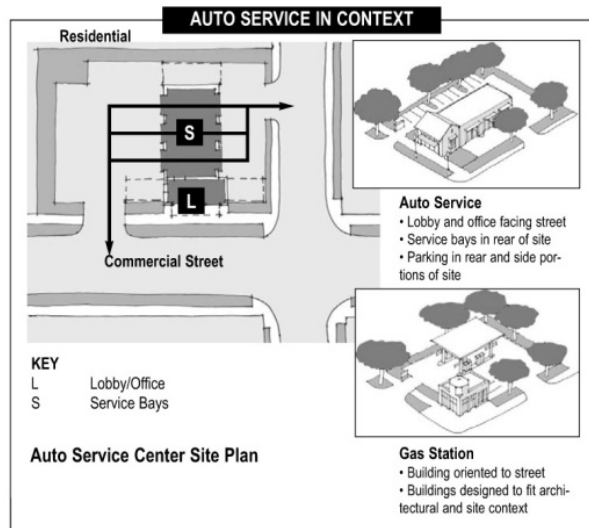


Illustration showing a site concept plan for an auto service centers

- (v) All off-street loading, unloading, and trash pick-up areas shall be located along Type “B” Streets or alleys unless permitted in the specific building

integrated into the design of the overall building facade.



Image of Tri-Partite Architecture

- (vii) Buildings are capped with wide and continuous eaves supported by open rafters and decorative brackets, or finished with elaborate parapet walls covered by tile and very shallow eaves.
 - (viii) Awnings, blade signs, arcades, galleries, café seating and balconies should be used along commercial storefronts fronting a Type “A” Street and Trinity Boulevard to add pedestrian interest.
- 8.2.2 Building Materials:
- (i) At least 80% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - Split face concrete block or pre-cast, or poured in place concrete.
 - (ii) No more than 20% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall use other accent materials: wood, architectural metal panel, split-face concrete block, tile, or pre-cast

concrete panels. EIFS shall not be permitted along any Type “A” Street or Trinity Boulevard façade.

- (iii) All facades along Type “B” Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited the upper floor facades along Type “B” Streets and alleys.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors of any Type “B” Street or alley facades.
- (iv) Roofing materials for pitched roofs visible from any public right-of-way shall be clay barrel tile, copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

8.3 Specific to Campus Commercial Character Zone

8.3.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20’ to 30’ or multiples thereof for facades along all Type “A” Streets and along Trinity Boulevard.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



Image of Tri-Partite Architecture

- (iv) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (v) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- (vii) Buildings shall generally maintain the alignment of horizontal elements along the block.



Campus Commercial building organization

8.3.2 Commercial and Mixed-Use Building Materials

- (i) At least 60% of each building’s Base façade (excluding doors and windows) along any Type “A” Street or Trinity Boulevard shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - b) Split face concrete block or pre-cast, or poured in place concrete.
- (ii) No more than 40% of each façade along any Type “A” Street or Trinity Boulevard shall use accent materials such as wood, architectural metal panel, or EIFS.
 - EIFS and Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade.
- (iii) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (iv) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Images showing appropriate building materials within the Campus Commercial Character Zone.

8.4 Specific to Transition and Neighborhood Character Zones

8.4.1 Façade Composition

- (i) For non-residential buildings, buildings shall maintain a façade rhythm of 20’ to 30’ along all Type “A” Streets.
- (ii) For non-residential buildings, this rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) For non-residential buildings, buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.
- (iv) For non-residential buildings, building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building façade.

- (v) For non-residential buildings, buildings shall generally maintain the alignment of horizontal elements along the block.
- (vi) Garages for Residential Buildings shall be located on Type “B” Streets, alleys or shared driveways.
- (vii) Garages on lots 50’ or wider:
 - a) Front entry garages shall not project more than 8 feet from the building facade.
 - b) J-swing garage types are excluded from the 8 feet restriction.
- (i) On corner lots, the garage may be rotated with windows facing the primary street.

8.4.2 Commercial and Mixed-Use Building Materials

- (i) At least 80% of each building’s façade (excluding doors and windows) along any Type “A” Street shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
- (ii) No more than 20% of each façade along any Type “A” Street shall use accent materials such as wood, architect metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted along any Type “A” facade.
- (iii) A building’s facades along all other streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited to 25% of all other facades.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.

- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or materials with similar durability and lifespan.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Image showing appropriate character and building materials within the Transition Character Zone.

8.4.3 Live-work and Residential Building Materials

- (i) The following shall be permitted finishes for a minimum of 80% of all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 20% as an accent material:
 - a) Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.

- (iii) All other facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) An enclosed garage or carport shall be designed and constructed of the same material as the primary building.
- (vi) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.
- (vii) Chain link fences and plastic vinyl fences shall not be permitted in any character zone.

8.4.4 Accessory Buildings and Accessory Dwelling Units Building Materials:

- (i) The facades shall be built of similar materials as the primary building.
- (ii) The roof shall be built of similar materials as the primary building.

IX. Signage Standards

For new signs, the standards in Table 9.1 shall apply and sign permits shall be approved administratively by the City of Fort Worth Building Official unless specifically noted in this section.

9.1 Applicability: Except as specifically listed below, all other signage and sign standards shall comply with Chapter 6, Article 4 of the City of Fort Worth Zoning Ordinance, as amended.

Table 9.1

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	Standard
Billboards Signs	NP	NP	NP	NP	NP	NP	<ul style="list-style-type: none"> New Billboard signs are not permitted in any character zone. Billboard signs in existence prior to the adoption of the TLD Code are permitted to remain, but shall not be reconstructed. Regular maintenance to existing billboards is permitted to ensure safety and regular use.
Attached Signs	P	P	P	P	P (comm. and live-work uses only)	P (comm. and live-work uses only)	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of tenant space façade along the public street frontage with a maximum of 100 sq. ft per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of second or upper floor frontage along that public street with a maximum of 125 sq ft. Institutional uses (non-profits and churches): One sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage with a maximum of 100 sq. ft. Live-Work and Home occupations: One sign limited to an area of 20 sq. ft. max. Building sign may encroach, a maximum of 12", on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Monument Signs	P	P	P	P	NP	NP	<ul style="list-style-type: none"> One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 ft.) limited to a maximum of 75 sq. ft. per sign face and 6 ft. in height. Monument signs in the Village Mixed Use shall be permitted along Type "B" Streets only.

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	
Sign Type							Standard
Window Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> Limited to 10% of the window area. In the Transition and Neighborhood Zones, window signs are only permitted for commercial uses (including the “work” component of live-work uses). The following shall be exempt from this limitation: <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold. Interior directory signage identifying shopping aisles and merchandise display areas.
Building Blade Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> One per building (commercial and mixed use buildings only) per public street frontage Area = 30 sq. ft. maximum per sign face. May encroach a maximum of 6 ft. over a sidewalk, but shall not encroach over any parking or travel lane. Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade. Minimum vertical clearance from the finished sidewalk shall be 11 ft.
Tenant Blade Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> One per commercial tenant space (retail, office, or restaurant use) per public street frontage, if the tenant is on the corner of the building. Area = 16 sq. ft. maximum per sign face May encroach a maximum of 4 ft. over a public sidewalk, but shall not encroach over any parking or travel lane. Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 ft. from the finished sidewalk for non-illuminated signs and 11 ft. from the finished sidewalk for illuminated signs.
Marquee Signs	P	P	P	P	NP	NP	<ul style="list-style-type: none"> Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more Marquee signs shall be attached to the building or located above or below a canopy only Area = 100 sq ft. maximum Message board may be changeable copy (non-electronic). Electronic message boards shall be permitted with a Special Exception from the Board of Adjustment.
For sale/for lease signs	P	P	P	P	P	P	<ul style="list-style-type: none"> Size is limited to 32 sq. ft. per sign face All other standards are the same as City of Fort Worth Sign Regulations.
Address signs	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Temporary construction signs	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Banners	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Sandwich board signs	P	P	P	P	P	P	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses Limited to 8 sq. ft. per sign face per storefront; Sign may not exceed 4 ft. in height.

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	
Sign Type							Standard
							<ul style="list-style-type: none"> • A minimum of 6 ft. of sidewalk shall remain clear. • Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited. • Sign shall be removed every day after the business is closed.
Directory signs	P	P	P	P	P	P	<ul style="list-style-type: none"> • Shall be allowed for all multi-tenant commercial and mixed use buildings only • One directory sign per multi-tenant building limited to 12 sq. ft. in area • Design of the sign shall be integral to the façade on which the sign is to be affixed.

9.2 Unique Sign Applications. An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Unique Sign Plans” by the ~~Planning and Development~~Development Services Director and are subject to approval of the UDC. In evaluating a Unique Sign Plan, the UDC shall consider the extent to which the application meets the following:

- 9.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- 9.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 9.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; or
- 9.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

X. Open Space Design Standards

10.1 Applicability. This chapter establishes the design standards of publicly accessible private open space and private open space Standards for Trinity Lakes. The detailed Open Space Design Standards for each type of publicly accessible private open space are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses. The design standards are used to coordinate the style of design within Trinity Lakes.

10.2 Private Open Space Standards. Given the mixed use nature of development within Trinity Lakes, all new residential and lodging uses within the development shall meet the private open space type requirements and

standards established in this Section. Table 10.1 establishes the standards for different private open space types and Table 10.2 establishes the private open space requirement based on the proposed intensity of residential or lodging development.

Table 10.1 Private Open Space Types

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(i) Balconies	Balconies that are not flush shall be a minimum of 5 feet clear in depth and a minimum of 8 feet in width Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.
(ii) Patios	Patios shall be a minimum of 150 sq.ft. Patios shall have a clear sense of enclosure and separation from the public realm.
(iii) Courtyard	Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk. The courtyard shall be a minimum of 200 square feet. Courtyard may be landscaped or a combination of landscape and hardscape. However, they shall contain amenities for residents such as seating, water features, etc.
(iv) Forecourt	A Forecourt shall be surrounded on at least two sides by buildings. A Forecourt shall be a minimum of 150 square feet.
(v) Playground	Playgrounds shall be a minimum of 400 sq.ft.

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(vi) Community Garden	<p>Maximum size shall be 1 acre</p> <p>Gardens shall be enclosed by a fence on all open sides.</p> <p>Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges.</p> <p>Fencing Materials: <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel <u>Not permitted</u>: chain link, bobbed wire, vinyl, unpainted/stained pressure treated wood, plywood</p>
(vii) Roof terraces	<p>A Roof Terrace shall at least be 50% of the building footprint area.</p> <p>A Roof Terrace shall provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.</p>
(viii) Private Open Space Amenity (pool, play courts, picnic area, etc.)	<p>Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.</p>

Table 10.2 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
Over 50 units	Shall provide at least one public civic space such as a green, square, plaza or paseo
Hotel with more than 200 lodging rooms	Shall provide at least one public civic space such as a green, square, plaza or paseo

10.3 Publicly Accessible Private Open Space Type Standards.
 The design of publicly accessible private open spaces shall be regulated by the open space type standards herein which shall create a network of publicly accessible private open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. The following section shall apply to all publicly accessible private open space proposed within Trinity Lakes.

10.4 Pervious Ground and Permeable Materials
 Residential lots 50 feet or greater in width require a minimum of ~~35~~35% pervious ground or permeable materials.

10.3.1 Green Type Standards



Greens shall be appropriate where open spaces are recommended on the Regulating Plan and will serve as important publicly accessible private open spaces for Trinity Lakes. Greens will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. Greens are appropriate in the Campus Commercial, Transition, and Neighborhood Character Zones.

Typical Characteristics

General Character

Open space

Spatially defined by landscaping and building frontages

Lawns, trees and shrubs naturally disposed

Open shelters and paths formally disposed

Location and Size

Size may range from 0.5 – 5 acres.

Typical Uses

Unstructured and passive recreation

Casual seating

Commercial and civic uses

Residential address

10.3.2 Square Type Standards



Squares serve as an open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square. Squares are appropriate in the Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, Transition, and Campus Commercial Character Zones. .

Typical Characteristics

General Character

Formal open space

Spatially defined by buildings and tree-lined streets.

Open shelters, paths, lawns, and trees formally arranged

Walkways and plantings at all edges

Located at important intersection

Location and Size

Size shall range from 0.5 to 2 acres.

Typical Uses

Unstructured and passive recreation

Casual seating

Commercial and civic uses

10.3.3 Plaza Type Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, Campus Commercial and Transition Character Zones. .

Typical Characteristics
General Character
Formal open space
Primarily hardscape surfaces
Trees and shrubs optional
Spatially defined by building frontages
Location and Size
Location shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.25 acre to 1 acre.
Shall front on at least one (1) street.
Typical Uses
Commercial and civic uses
Casual seating
Tables and chairs for outdoor dining
Retail and food kiosks

10.3.4 Paseo Type Standards



A **Paseo or Pedestrian Passage** is an intimate street level passage way for pedestrians through blocks at designated locations on the Regulating Plan. These paths provide direct pedestrian access to key destinations and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Arcades may line Paseos to provide shade and a more attractive edge. Paseos may allow access to emergency and maintenance vehicles. Paseos may be appropriate in all character zones.

Typical Characteristics
General Character
Hardscape pathway
Pedestrian friendly frontages
Small-scale commercial uses
Frequent entries
Location and Size
The minimum width shall be 15'.
The maximum width shall be 50'.
Typical Uses
Small scale commercial uses
Residential uses
Casual seating

10.3.5 Park Type Standards



The required/recommended park, as designated on the Regulating Plan, will create an important open space that connects the neighborhood with the Trinity River's natural assets and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included.

Typical Characteristics

General Character

Large, open space
Spatially defined by landscaping and building frontages

Paths, trails, open shelters, lawns, trees and shrubs naturally disposed

May be lineal, following the trajectories of natural corridors

Location and Size Standards

~~Location and size shall be as shown on the Regulating Plan (Appendix A).~~ Minimum of 0.25 acres

Typical Uses

Unstructured and passive recreation
Casual seating/picnicking

10.3.6 Multi-Use Trail Type Standards



Multi-use trails provide an important place for active recreation and create a connection to regional paths and biking trails. Multi-use trails will run continuously from the development and connect to the trails along the Trinity River. The multi-use trail will help activate connections between the open spaces and the uses throughout the development. The multi-use trail may have a different character as it passes through the park and as it is adjacent to the different character zones. Within the park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing flood plain and landscape. Along streets, the trail shall have a more formal disposition with a paved trail and regular landscaping.

Typical Characteristics

General Character

Park Multi-Use Trail:
Naturally disposed landscape
Low impact paving
Trees lining trail for shade
Appropriately lit for safety
Low-impact paving or Hardscape Path
Formally disposed pedestrian furniture, landscaping and lighting
Trees lining trail for shade

Standards

Min. Width: 12 feet
~~Location shown on the Regulating Plan (Appendix A).~~

Typical Uses

Active and passive recreation

XI. Definitions

In addition to Definitions in Chapter 9 of the City of Fort Worth Zoning Ordinance, the following terms shall have the corresponding interpretations.

Accessory Building: a building that is physically separated from the Principal Building and is subordinate to the Principal Building in terms of size, location, and use.

Accessory Dwelling Unit: a self-contained residential unit in on the same property as a detached or attached single-family building, or multi-unit home which is either attached to the principal building or in a separate structure.

Arcade: is a portion of the main façade of the building that is at or near the Street-Setback Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

Attics/Mezzanines: the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

Auto-Related Sales and Service Uses: are establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Build-to Zone: the area between the minimum and maximum setbacks within which the principal building’s front and side, in the case of a corner building, façade is to be built.

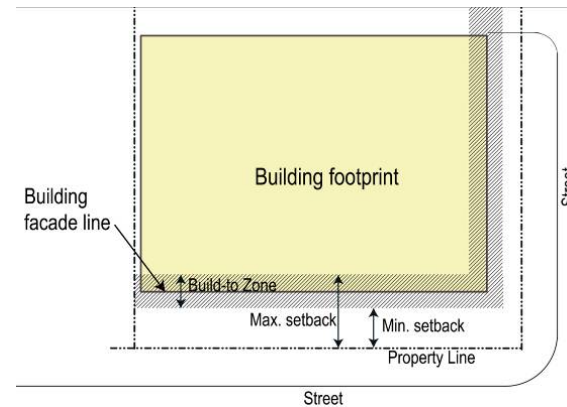
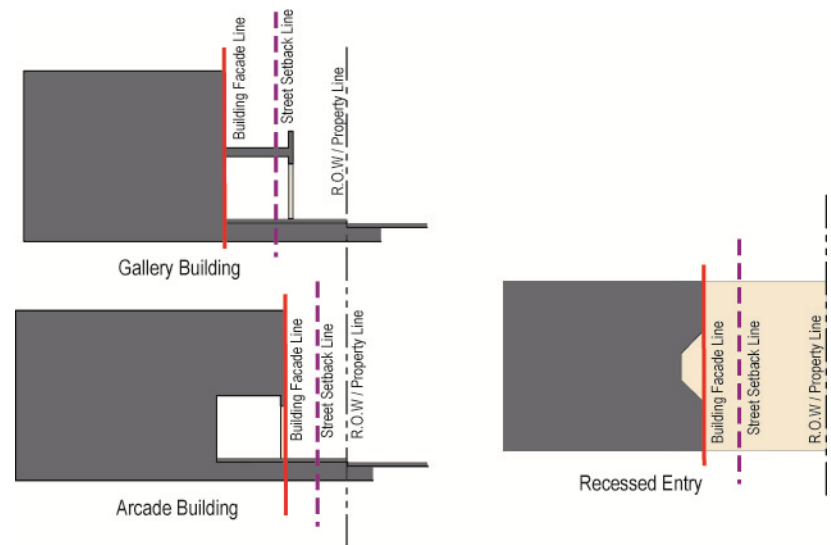


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line means the vertical plane along a lot where the portion of the building’s front façade closest to the street is actually located



Building Façade Line Illustrations

Building Form Standards: the standards established for each Character Zone that specifies the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage: the percentage of the building’s front façade that is required to be located at the front Build-to Line or Zone as a proportion of the block frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

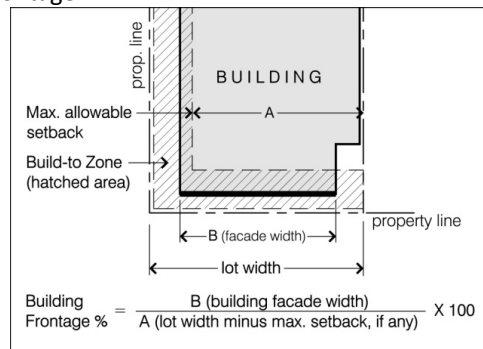


Image showing how a lot’s building frontage is calculated.

Certificate of Appropriateness (COA): is the official document issued by the ~~Planning and Development~~ Development Services Director, and for certain cases, is issued after recommendation by the UDC, authorizing proposed work to buildings within the District.

Character Zone means an area within Trinity Lakes that creates a distinct urban form different from other areas within the development. Character Zones are identified in the Regulating Plan.

Civic/Open Space: a publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as

courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance.

Green – a civic/open space intended for unstructured recreation, spatially defined by landscaping rather than building frontages.

Park – a civic/open space that is a natural preserve available for unstructured recreation.

Plaza – a primarily hardscaped, civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground – a civic/open space designed and equipped for children’s recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

Paseo: is a civic space dedicated for pedestrian movement located between blocks, buildings or along alleys. Paseos may terminate public streets within the TLDC.



Image of a typical paseo

Commercial or Mixed Use Building means a building in which the ground floor of the building is built to commercial ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready means space constructed at a minimum ground floor height as established in each character zone which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial-Ready space, the space must comply with all building and construction codes for that use. The intent of Commercial-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

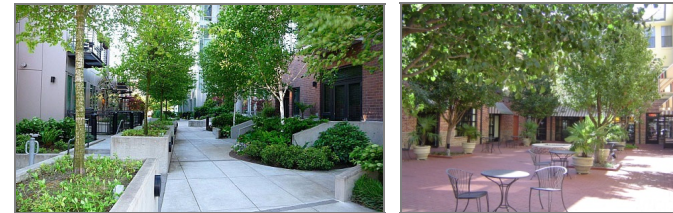
Community Garden is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).



Images of community gardens

Comprehensive Plan: City of Fort Worth Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City.

Courtyard is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.



Images of Courtyards

Encroachment: any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony, that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R-O-W, or above a height limit.

Forecourt is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.



Image of a forecourt

Gallery: is an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

~~*Illustrative Concept Plan:* shall be the design concepts and drawings developed during the Trinity Lakes Development Code initiative and hereby attached as Appendix B to this Code.~~

Institutional Uses: are uses that are related to non-profit organizations dedicated to religious or social functions.

J-Swing is a home with a driveway that loads from the primary street and swings into the side of the home to enter the garage. Two of these homes side-by-side, should have a shared driveway or a curb-cut to driveways and have garages facing each other.



Images of a home with a J-Swing Garage from the front and side of home.

Live-Work Unit means a mixed use building type with a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘work’ component is

usually located on the ground floor which is built to Commercial Ready standards. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Fence: shall be a Street Screen composed of landscaping in the form of vegetation.

Manor Home shall be a large home that is designed to appear as a large home from the exterior, but functions as a multi-unit building on the interior.

Patio is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.



Image of a patio

Playgrounds are open spaces designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the

City prior to installation. A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.



Images of playgrounds

Private Open Space Amenity shall be any other private open space that could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.

Regulating Plan: is a Zoning Map that shows the character zones and street type designations applicable to Trinity Lakes subject to the standards in this Ordinance.

Residential Building means a building type that is built to accommodate only residential uses on all floors of the building such as townhomes, apartment buildings, duplexes, etc.

Retail Sales: Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Roof terraces are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.



Image of a roof terrace

Service Uses: This is a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade: is a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or along the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Tenant Blade: is a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Sign, Freestanding: shall include both permanent and temporary signs placed within a building’s front yard. Freestanding signs may be Pole or Monument Signs.

Sign, Marquee: is a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument: is any freestanding sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.



Image of a Monument Sign

Sign, Sandwich Board: is a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of sandwich board signs.

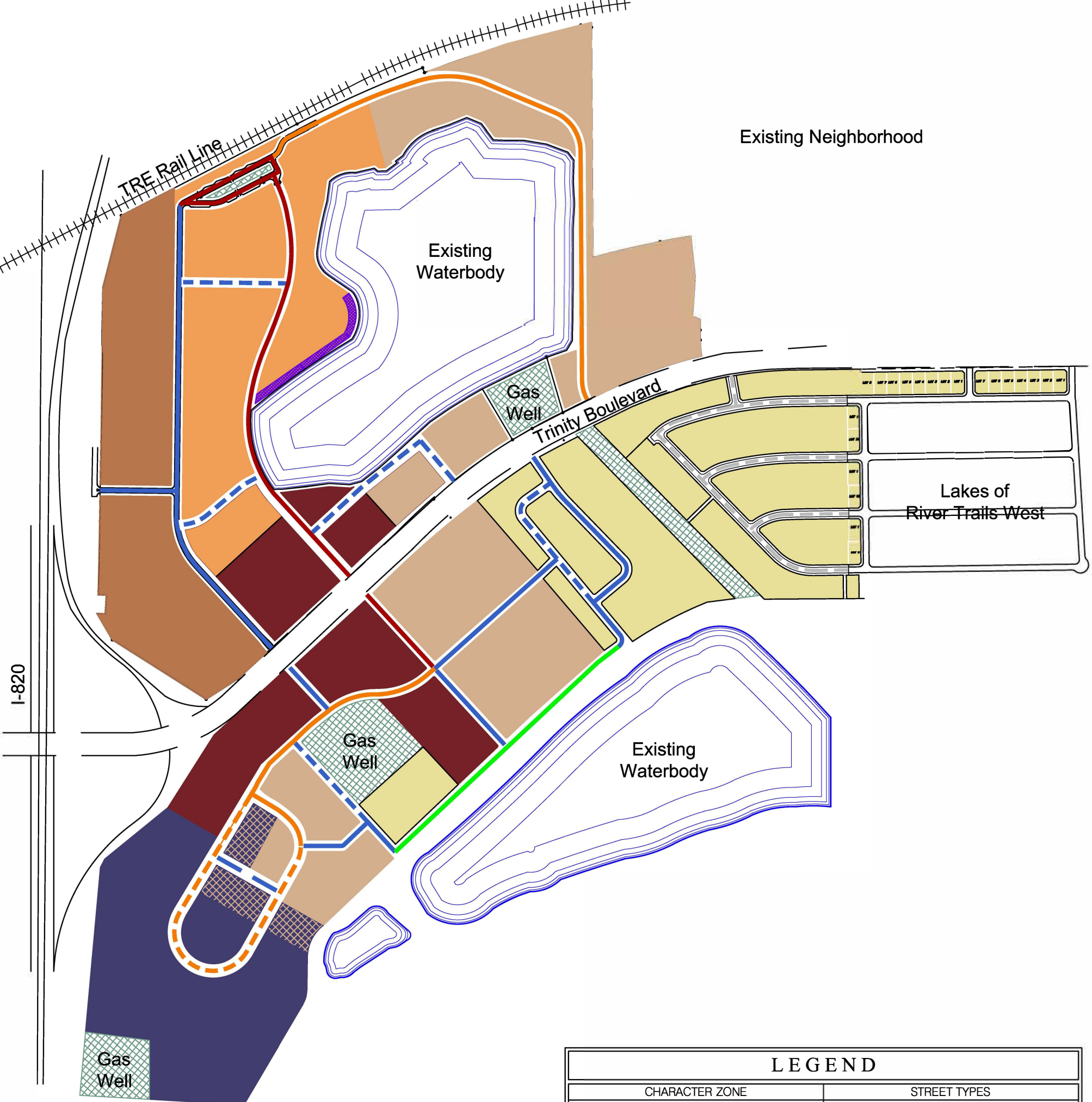
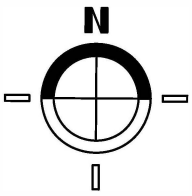
Street Screen: a freestanding wall or living fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial

definition of the public realm. Street screens shall not exceed 4 feet in height.



Image of a combination masonry and living street screen

Street Setback Line: means the imaginary line located at the outside edge of the sidewalk and measured from the center line of the street from which all build-to lines and build-to zones are measured from.



Existing Neighborhood

Existing Waterbody

Gas Well

Trinity Boulevard

Lakes of River Trails West

Gas Well

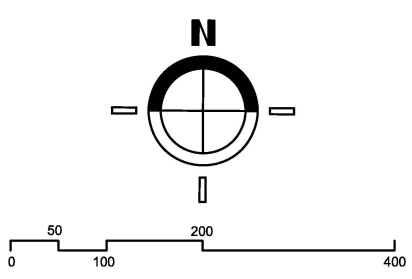
Existing Waterbody

Gas Well

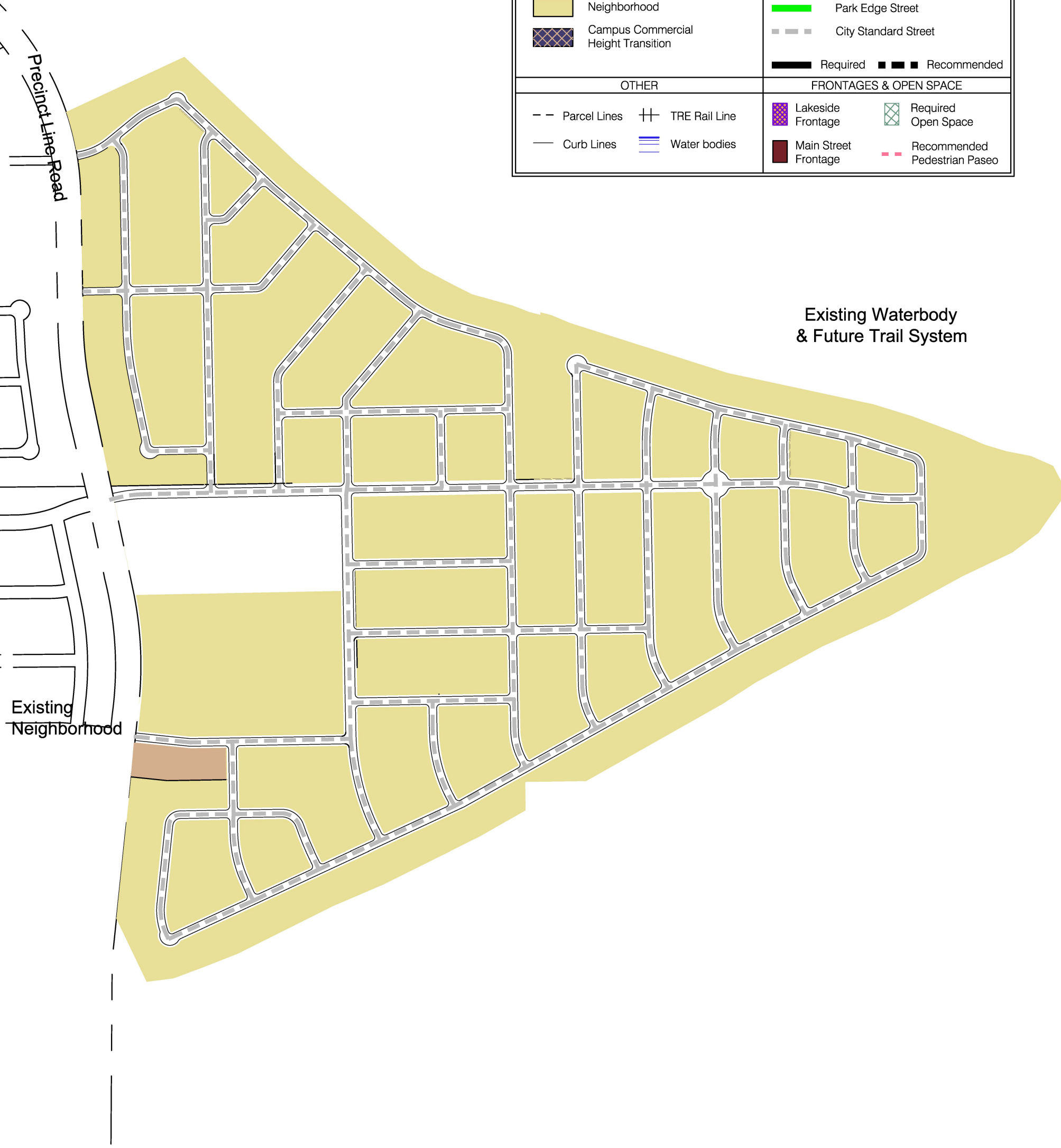
I-820

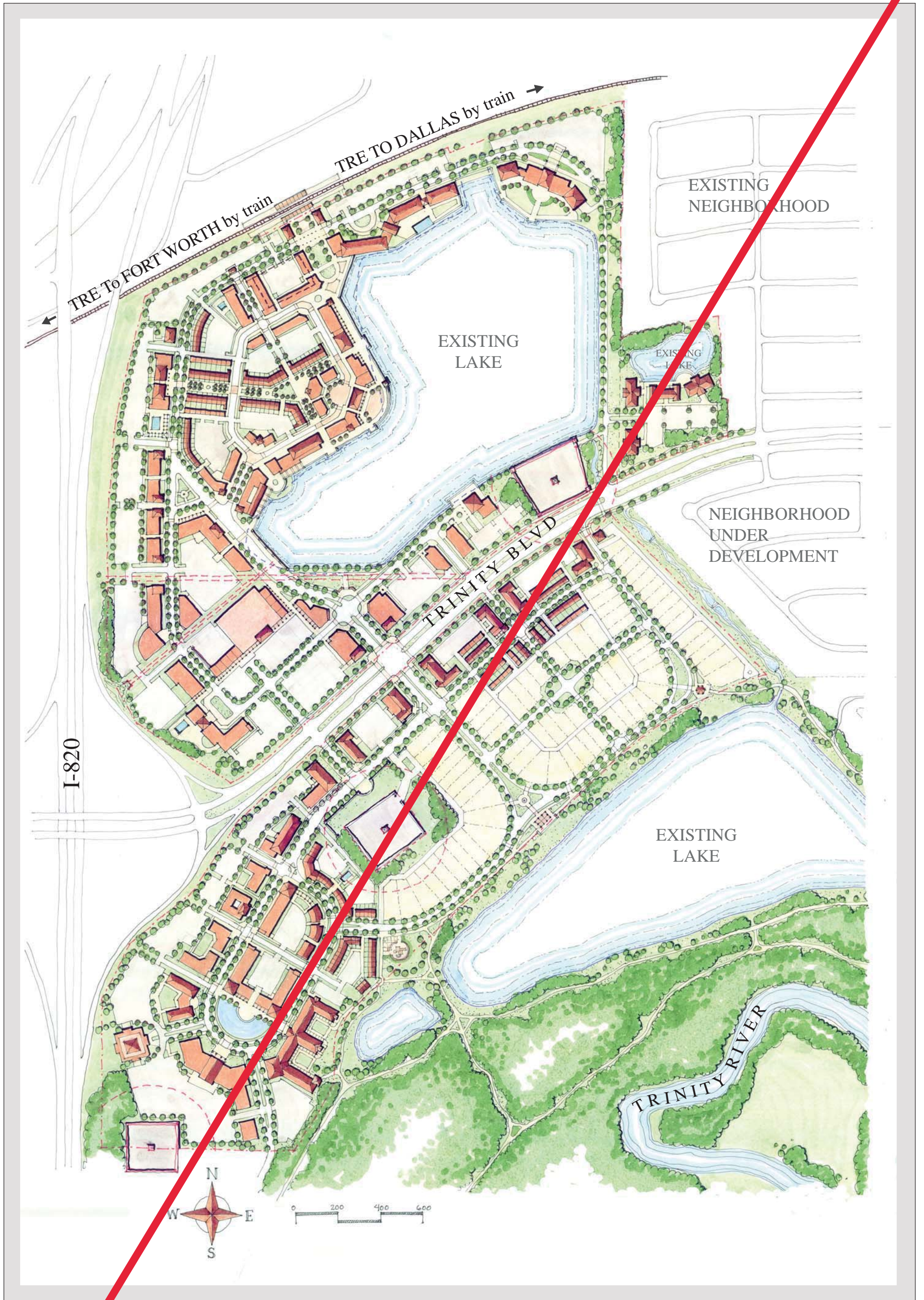
LEGEND

CHARACTER ZONE	STREET TYPES																																		
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			Recommended
OTHER		FRONTAGES & OPEN SPACE	
	Parcel Lines		Lakeside Frontage
	TRE Rail Line		Required Open Space
	Curb Lines		Main Street Frontage
	Water bodies		Recommended Pedestrian Paseo





Trinity Lakes Illustrative Plan



Zoning Commission

Date **October 13, 2021**

Case Number **ZC-21-178B**

Council District **5**

Zoning Map Amendment

Case Manager: [Sevanne Steiner](#)

Applicant: City of Fort Worth – Randy Hutcheson

Site Location: Trinity Lakes Form Based Code

Request

Request: From: “TL” Trinity Lakes

To: “TL-VM”, “TL-TR”, “TL-HM”, “TL-BM”, “TL-N”, “TL-CC”

Recommendation

UDC Recommendation **Approval**

Staff Recommendation: **Approval**

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3. [Proposed Amendments](#)
4. Area Zoning Map with 300 ft. Notification Area
5. Area Map
6. Future Land Use Map
7. Aerial Photograph

Project Description and Background

Staff is proposing Zoning Ordinance text amendments for the Trinity Lakes Development Code. The purpose of the amendments is to accommodate significant changes that have occurred in the Trinity Lakes form-based district since the code was adopted by the City Council on December 4, 2012 and amended on January 27, 2015. The most significant change is the new Trinity Railway Express (TRE) transit station moving from Richland Hills to the Village Mixed Use character zone subdistrict. In addition, Interstate 820 is being widened and modernized including frontage roads providing highway access. Lastly, Trinity Boulevard is being reconstructed. As a result, changes are being recommended by the Urban Design Commission (UDC) and staff to the Boulevard, Highway, Transition, and Village Mixed Use character zone subdistricts.

Specifically, the amendments are as follows:

- 1) Adjust all residential parking requirements to one (1) space per unit reflecting current Transit Oriented Development best practices.
- 2) Adjust maximum building height from three (3) to six (6) stories in the Boulevard Mixed Use character zone.
- 3) Adjust maximum building height from three (3) to four (4) stories in the Transition character zone.
- 4) Limit building height to two (2) stories within 30 feet of lakeside frontage areas.
- 5) Clarify 65% maximum permeable lot coverage requirement.
- 6) Change Planning and Development Department to the Development Services Department.
- 7) Update references to all appendices.

Public Notification

300-foot Legal Notifications were mailed on September 21, 2021.

The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Historic Randol's Mill Valley Alliance, Inc.	Neighborhoods of East Fort Worth
Lakes of River Trails West HOA	River Trails HA
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	East Fort Worth Business Association
Birdville ISD	Fort Worth ISD
Hurst Euless Bedford ISD	

Proposed Amendments

The requested text amendments shall be evaluated as described in the Trinity Lakes Code, excerpted below:

A request for a modification to any of the standards of this Code other than minor modifications permitted under Section 3.2 shall be reviewed and processed as a text amendment. In evaluating an amendment, the approval body shall consider the extent to which the application meets any of the following:

- (i) Provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
- (ii) Fits the adjoining context by providing appropriate transitions.

PROPOSED AMENDMENTS

Table 5.1 - Schedule of Uses: Under Vehicle Sales and Service with drive through facilities, change Highway Commercial from “NP” Not Permitted to “P/C” Permitted with conditions found in Table 5.2 Use Criteria

Section 6: Adjust all residential parking requirements to one (1) space per unit.

- This is due to the activation of the transit station and is in line with TOD best practice standards.

Section 6.1.3 – Boulevard Mixed-Use Character Zone: Adjust maximum building height to six (6) stories.

- This is to align mixed-use development with the Village and Highway Mixed Use districts given its direct connection to the transit station.

Section 6.5.3 – Transition Character Zone: Adjust maximum building height to four (4) stories.

- This will appropriately transition Highway, Village and Boulevard Mixed Use to Neighborhood Zoning, which currently has a three (3) story height maximum.

In addition to the previous text amendments, the following are clarification edits to be made in the text:

Section 1.4: The TLD Code implements the vision for Trinity Lakes as established in the Regulating Plan (Appendix A Appendices A and B)

Section 2.3.1: Locate the subject property on the Trinity Lakes Regulating Plan (Appendix A Appendices A and B)

- Correction from previous amendments when a second page for Regulating Plan was added.

Section 3.1.8: All private development projects are subject to review by the Planning and Development Department Development Services Department ...

Section 3.2.1: ...all applicable development principles and clearly conform to all standards may be approved administratively by the Planning and Development Director Development Services Director ...

- Updating new name of the Development Services Department

Section 4.5.1: Buildings along the lakeside frontage shall not exceed two (2) stories, within the 30 ft. depth of the Lakeside Frontage (language added).

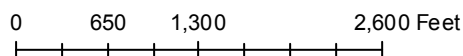
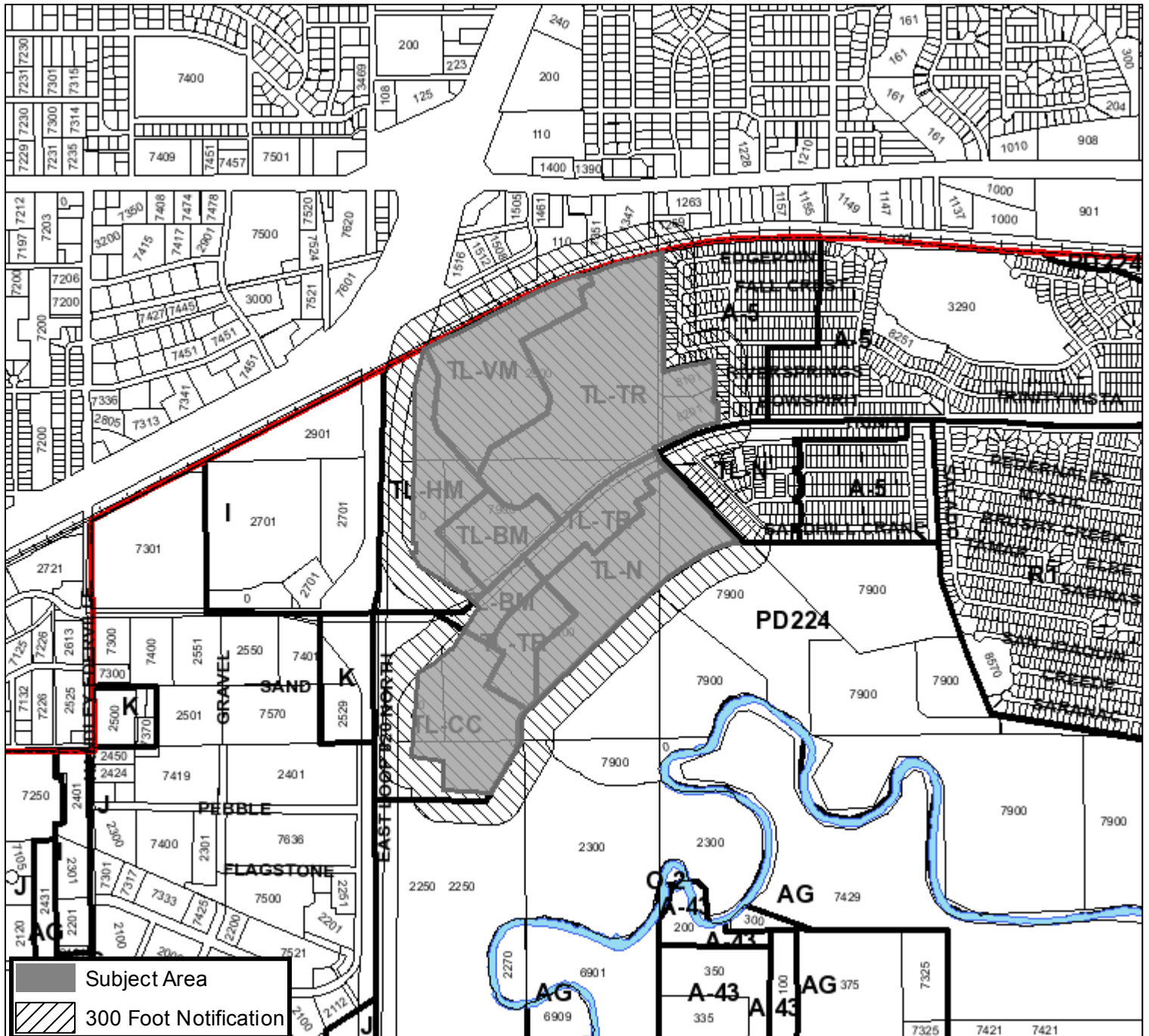
- Clarification of the depth of the two (2) story height limit.

Section 10.4: The “X %” metric for pervious ground and permeable materials lot coverage should be amended to 65%.

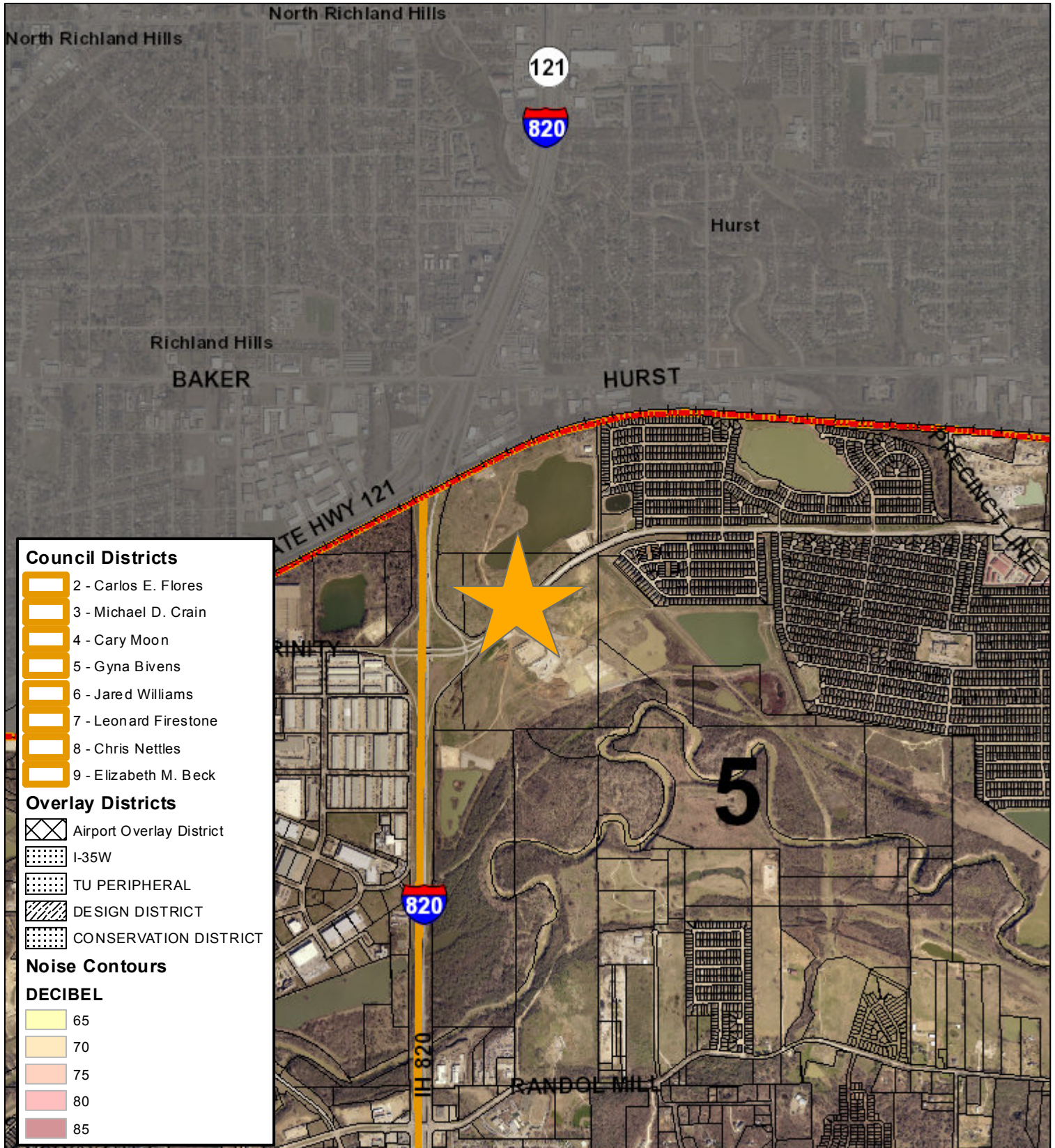
- There was a scrivener’s error that did not get changed through the original adoption process. This percentage of pervious ground was studied by the developer and the City of Fort Worth’s Stormwater Management Department, including the City Floodplain Engineer as a consultant.

Area Zoning Map

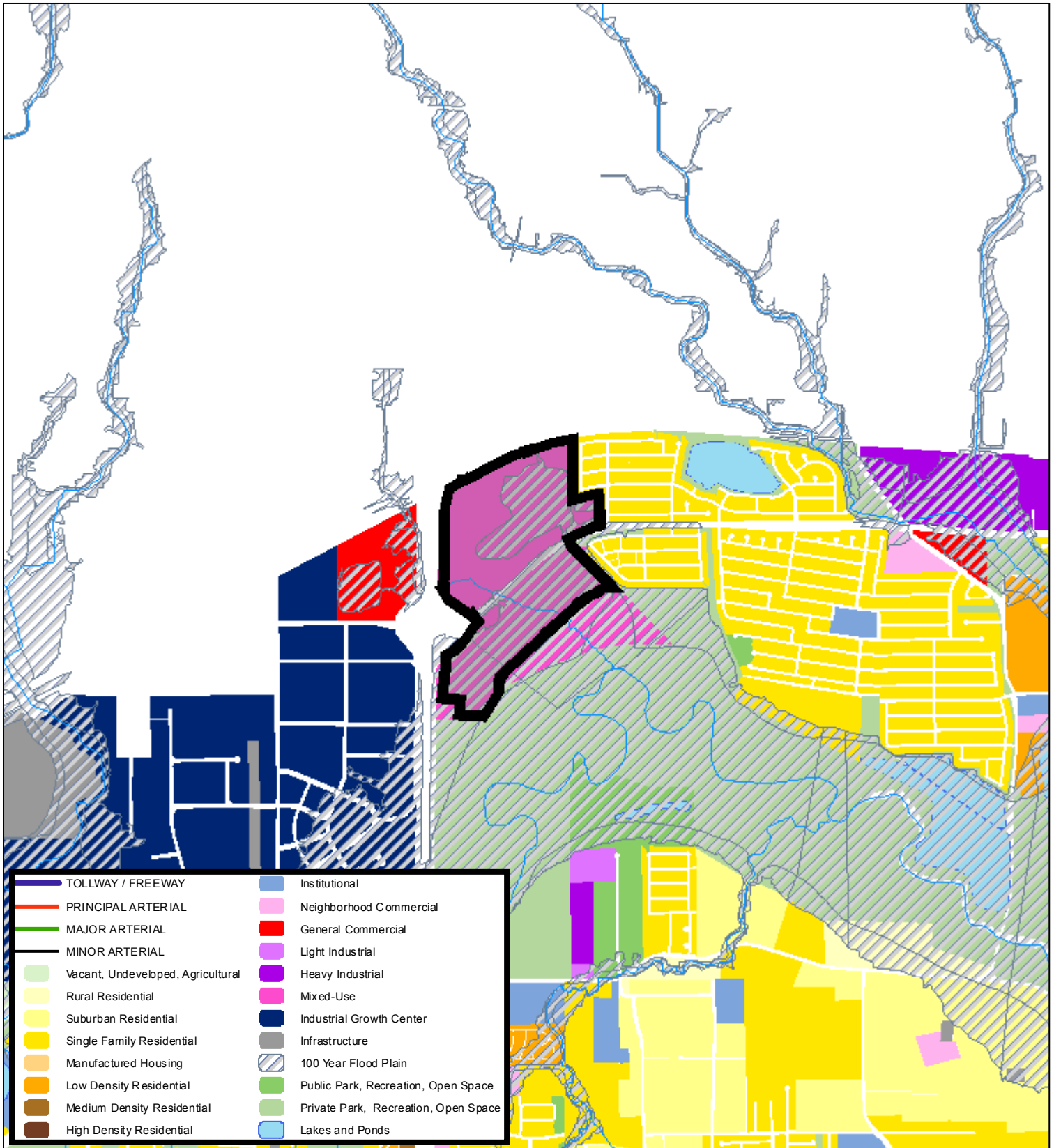
Applicant: City of Fort Worth - Development Services
 Address: 7800 - 8100 blocks Trinity Boulevard
 Zoning From: TL-BM, TL-CC, TL-HM, TL-N, TL-TR, TL-VM
 Zoning To: TL-BM, TL-CC, TL-HM, TL-N, TL-TR, TL-VM, and Campus Commercial Height Transition
 Acres: 123.83159788
 Mapsco: 66BCF
 Sector/District: Eastside
 Commission Date: 10/13/2021
 Contact: 817-392-8008



Area Map



Future Land Use



2,300 1,150 0 2,300 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 1,500 3,000 6,000 Feet





Zoning Staff Report

Date: October 13, 2021

Case Number: ZC-21-181

Council District: 5

Zoning Map Amendment

Case Manager: [Stephen Murray](#) & [Sevanne Steiner](#)

Owner / Applicant: Fort Worth Housing Authority / Mary-Margaret Lemons / Brandon Burns

Site Location: 4900-4900 blocks E. Rosedale Street, 4900 block Avenue G **Acres:** 8.94 acres

Request

Proposed Use: Multifamily Mixed Use

Request: From: “PD1259” and “PD1260” in the Stop Six Overlay

To: Revise PDs for UR and MU-1 uses to add development standards; for height, street-oriented entry, and building frontage; site plan included

Recommendation

Land Use Compatibility: Requested change is **compatible**.

Comprehensive Plan Consistency: Requested change is **consistent**.

UDC Recommendation: **Approval**

Staff Recommendation: **Approval, pending the below two changes:**

- 1. The maintenance building be moved out of the 20’ required supplemental setback**
- 2. Building 8 be moved forward so the front build wall is within the 20’ maximum setback from Calumet Street**

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 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Site Plan Comments](#)
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Project Description and Background

This site is part of the larger plan for Cavile Place, a project of Fort Worth Housing Solutions and the City of Fort Worth. The project is a result of many community meetings and planning efforts spanning over a decade to redevelop the area of Stop Six.

According to the City of Fort Worth webpage on the project,

In 2011, the Fort Worth Housing Authority (FWHA) and City of Fort Worth Housing Finance Corporation hired a consultant team, led by Gilmore Kean, LLC, a Washington D.C. based firm with extensive experience in public housing redevelopment, to develop a comprehensive plan for the Cavile Place apartments and the surrounding neighborhood.

The Cavile Place Neighborhood Transformation Plan proposes the replacement of the 300-unit Cavile Place apartments that were built in 1954 with mixed-income housing as the foundation for the creation of a vibrant, sustainable community with new neighborhood retail and business services, and programs that address education, job training, small business development, and healthy lifestyles of residents.

The plan was then updated in the fall of 2019, according to Fort Worth Housing Solutions' webpage for the development.

Planning efforts in Cavile Place:

2013 Transformation Plan (5 public meetings held May-September 2012)

The development of the 2013 Transformation Plan engaged the residents of Cavile and the wider neighborhood stakeholders. The resulting plan relied heavily on the participation of Cavile residents and Fort Worth stakeholders.

2019 Transformation Plan Update and CNI Planning (4 public meetings held June-July 2019)

FWHS decided to pursue a CNI grant application Cavile and Stop Six neighborhood in the Fall of 2019. The team developed a community engagement strategy and three step process to authentically involve the residents and community in the decision-making for the future of the neighborhood. This process formed the basis for reaching a consensus plan and included:

1.) Listening

Before pencil touched paper, in-depth listening sessions gave the neighborhood leaders, residents, and stakeholders a chance to share their ideas and visions

2.) Testing Ideas Collaboratively

All of the plans were developed during an open workshop in July, with stakeholders and residents invited into the studio multiple times throughout the week to help direct the design.

3.) Deciding on the Path Forward Together

The updated Transformation Plan was refined and brought back to the community to ask for input again before anything was finalized. At this point, the content for the CNI application was shared with residents and stakeholders and they could share their thoughts and feedback.

The site is located south of Rosedale Street, on either side of Amanda Avenue. The subject site encompasses two separate zonings; both are PDs with development standards/waivers; PD1259 is based on "MU-1" Low-Intensity Mixed Use and PD1260 is based on "UR" Urban Residential. For this site plan, the "MU-1" portion is north of Avenue G and the "UR" portion is south of Avenue G. When established, both PDs had a requirement for a site plan to be submitted at a later date. This site plan is for a portion of each of the PDs. Remaining

portions of the PDs for the greater Cavile Place development will be brought forward in the future. This portion of the overall project is being referred to as Hughes' House.

The following is the applicant's description of work, as submitted with their application to the UDC:

Hughes' House

Description of Work

2nd of a 6-phase housing strategy in the Stop Six Choice Neighborhood Transformation Plan adopted by the City of FW in 2019. 11 total buildings across three blocks. Block A bldg. (1) is a 3-4 story, elevator serviced urban design (64 units) multifamily building, maintenance building, dog park. Block B, building (2) is a 4-story, elevator-serviced, urban design (92 units) multifamily building. Ground-floor 12,404 sqft comm/retail space. Block C buildings 3 & 4, walk-up 3-story urban designed multifamily buildings. Block C buildings 5-11, 1 and 2-story walkups with larger units. Block C parking spaces, amenity buildings, swimming pool, splash pad and children's playscape. 65 MR units. Underground detention to be provided on all blocks.

The purpose and intent for the MU-1 and UR zoning districts is to provide a mixture of housing types to frame a pedestrian environment while promoting a walkable, urban form of development consistent with the surrounding areas historic urban development patterns. Any zoning proposal requesting a Planned Development "PD" zoning district or "CUP" Conditional Use Permit that includes waivers from any mixed-use design standard must receive a recommendation from the Urban Design Commission prior to a public hearing by the Zoning Commission or the City Council.

The Urban Design Commission met on this case Thursday September 16th and recommended approval to the additional development standard/waiver requests. The overall Cavile Place project had previously been before the UDC in September 2019 in order to receive a recommendation for the original development standards and waivers requested when the PDs were created as part of ZC-19-151. Because this Hughes' House site plan is not complying with a few additional items that were not included in 2019, it must come back through the public hearing process to amend the ordinance language of the PD and add the site plan, and therefore must receive a recommendation from the UDC, the Zoning Commission, and then the final vote from City Council.

The following table shows the standard requirements in the base zoning district, what was previously approved in 2019, and what the applicant is currently requesting. There are a few other items staff noticed on the site plan that are not in compliance with the Zoning Ordinance, but development standards were not requested by the applicant for those items; therefore, they are not listed in the table, but instead are added into the staff recommendation and are explained in the "Site Plan Comments" section at the end of this report.

Development Standard	Current MU-1 Requirement	PD/MU-1 from 2019	Current Request for PD/MU-1
Density	Maximum residential units per acre. (a) Three stories, single use: maximum 40 units/acre with surface parking	Maximum residential units per acre. (a) Four stories, single use: maximum 60 units/acre with surface parking	N/A No change requested.
Residential Parking Count	Single Family Detached: 2 parking spaces per dwelling unit. Townhouse: 2 parking spaces per dwelling unit. Duplex and Manor House (2+	Single Family Detached: 2 parking spaces per dwelling unit. Townhouse: 1 parking space per dwelling unit. Duplex and Manor House	N/A No change requested.



	<p>units): 2 spaces per dwelling unit; plus, 1 space per bedroom over 3 bedrooms per dwelling unit.</p> <p>Apartment/Condominium: .75 to 1 off-street required per bedroom behind the front building line; plus, 1 space per 250 square feet of common areas, offices, and recreation (less hallways, laundry rooms, and storage)</p>	<p>(2+ units): <i>1 space per dwelling unit; plus, 1 space per bedroom over 3 bedrooms per dwelling unit.</i></p> <p>Apartment/Condominium: <i>1 off-street parking required per dwelling unit located behind the front building line; plus 1 space per 350 square feet of common areas, offices, and recreation (less hallways, laundry rooms, and storage)</i></p>	
Height	<p><i>Maximum height single-use. Three stories or 38 feet, whichever is less as measured from the top of the finished slab at grade level to the top of the highest wall top plate.</i></p>	<p><i>Maximum height single-use. Four stories or 45 feet, whichever is less as measured from the top of the finished slab at grade level to the top of the highest wall top plate</i></p>	<p>Maximum height single-use. <i>Four stories of 48 feet</i>, whichever is less as measured from the top of the finished slab at grade level to the top of the highest wall top plate to accommodate ground floor retail and management space at Building 01 and 02 and to accommodate split levels of Building 01 to accommodate 22' of grade change from west to east of site.</p> <p>Staff is supportive of this development standard; it is only a few additional feet in height.</p>
Bufferyard	<p>b. When building a single family detached or a two-unit attached dwelling (duplex) within the MU-1 District, a bufferyard and supplemental setback is not required with an</p>	<p>N/A</p> <p>Request for no bufferyard requirement not approved in 2019.</p>	<p>N/A</p> <p>No change requested.</p>

	adjacent one- or two-family district. ▪ c. All uses within the MU-1 District, other than the uses listed in item b. above, shall conform to the supplemental building setback and bufferyard width standards required for the Neighborhood Commercial (“E”) District, as described in § 6.300(c) Area Requirements.												
Transitional Height Plane	A transitional height plane of 45 degrees shall apply to portions of a building above three stories, or 45 feet, whichever is less starting from the property line of the one- or two-family district.	No transitional height plane requirements.	N/A No change requested.										
Residential Entries	4.130 (g) (6) d.1. Apartments, condominiums, and manor houses with street level units shall provide an individual street-oriented entry for each unit abutting the street frontage.	N/A No change requested.	No individual street-oriented entry for each unit abutting the street frontage. Staff is supportive of this waiver along Lancaster, as applicant has expressed safety concerns.										
Setbacks	4.130(d)(4) <table border="1" data-bbox="305 1234 669 1436"> <thead> <tr> <th>REQUIREMENT</th> <th>DISTANCE</th> </tr> </thead> <tbody> <tr> <td>① Primary Street (min/max)</td> <td>0’/20’</td> </tr> <tr> <td>② Side Street (min/max)</td> <td>0’/20’</td> </tr> <tr> <td>③ Rear Yard (min)</td> <td>5’</td> </tr> <tr> <td>④ *Common Lot Line (min/max)</td> <td>0’/5’</td> </tr> </tbody> </table> <small>* Subject to building code spacing requirements</small>	REQUIREMENT	DISTANCE	① Primary Street (min/max)	0’/20’	② Side Street (min/max)	0’/20’	③ Rear Yard (min)	5’	④ *Common Lot Line (min/max)	0’/5’	N/A No change requested.	31’ primary street maximum setback and 25’ side street maximum setback to provide 18’ clearance for overhead electrical lines on primary and side streets. Staff is supportive of this development standard, since it is responding to an existing and high-cost site constraint.
REQUIREMENT	DISTANCE												
① Primary Street (min/max)	0’/20’												
② Side Street (min/max)	0’/20’												
③ Rear Yard (min)	5’												
④ *Common Lot Line (min/max)	0’/5’												
Development Standard	Current UR Requirement	PD/UR from 2019	Current Request for PD/UR										

Residential Parking Count	<p>Single Family Detached: 2 parking spaces per dwelling unit.</p> <p>Townhouse: 2 parking spaces per dwelling unit.</p> <p>Duplex and Manor House (2+ units): 2 spaces per dwelling unit; plus, 1 space per bedroom over 3 bedrooms per dwelling unit.</p> <p>Apartment/Condominium: 1 off-street required per bedroom behind the front building line; plus, 1 space per 250 square feet of common areas, offices, and recreation (less hallways, laundry rooms, and storage)</p>	<p>Single Family Detached: 2 parking spaces per dwelling unit.</p> <p>Townhouse: <i>1 parking space per dwelling unit.</i></p> <p>Duplex and Manor House (2+ units): <i>1 space per dwelling unit; plus, 1 space per bedroom over 3 bedrooms per dwelling unit.</i></p> <p>Apartment/Condominium: <i>1 off-street parking required per dwelling unit</i> located behind the front building line; plus 1 space per <i>350 square feet of common areas, offices, and recreation (less hallways, laundry rooms, and storage)</i></p>	<p>N/A</p> <p>No change requested.</p>
Height	<p>Maximum height. Three stories or 38 feet, whichever is less as measured from the top of the finished slab at grade level to the top of the highest wall top plate.</p>	<p>Maximum height. Three stories of 38 feet, whichever is less as measured from the top of the finished slab at grade level to the top of the highest wall top plate</p>	<p>N/A</p> <p>No change requested.</p>
Bufferyard	<p>Multifamily development within the UR District shall have a five-foot bufferyard.</p>	<p>N/A</p> <p>Request for no bufferyard requirement not approved in 2019.</p>	<p>N/A</p> <p>No change requested.</p>
Transitional Height Plane	<p>A transitional height plane of 45 degrees shall apply to portions of a building above three stories, or 45 feet, whichever is less starting from the property line of the one- or two-family district.</p>	<p><i>No transitional height plane requirements.</i></p>	<p>N/A</p> <p>No change requested.</p>

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / undeveloped, Family Dollar, and gas well site
 East PD1259 / previous Cavile Place Apartments will be part of overall redevelopment
 PD1260 / previous Cavile Place Apartments will be part of overall redevelopment
 South “E” Neighborhood Commercial / residential
 “A-5” One-Family / residential and vacant
 West “E” Neighborhood Commercial / residential
 “A-5” One-Family / residential and vacant

Recent Zoning History

- ZC-19-151; includes subject site; effective Dec 22, 2019
 - From “A-5” One Family, “CF” Community Facilities, “E” Neighborhood Commercial, PD1089 to PD/MU-1 Planned Development for all uses in “MU-1” Low Intensity Mixed-Use with waivers to maximum building height and minimum parking requirement; site plan required (zone 1)
 - From “B” Two-Family and “E” Neighborhood Commercial to PD/UR Planned Development for all uses in “UR” Urban Residential with waivers to transitional height plane and minimum parking requirement; site plan required (zone 2)
 - To PD/CF Planned Development for all uses in “CF” Community Facilities with waivers to building setback adjacent to one- or two-family, maximum building height, parking parallel to street; site plan required (zone 3)
- ZC-19-116; Creating the boundaries for Stop Six (“SS”) Design District Overlay; 2961 acres, includes subject site; effective October 24, 2019

Public Notification

300-foot Legal Notifications were mailed on September 24, 2021.
 The following organizations were notified: (emailed September 24, 2021)

Organizations Notified	
Neighborhoods of East Fort Worth	Historic Stop Six NA*
Stop 6/Poly Oversight	West Meadowbrook NA
East Fort Worth, Inc.	Streams and Valleys Inc.
Trinity Habitat for Humanity	Southeast Fort Worth Inc
East Fort Worth Business Association	Fort Worth ISD

* *Located within this registered Neighborhood Association*

Land Use Compatibility

The surrounding land uses include a little bit of commercial with the rest residential or vacant; the surrounding areas to the east are included in the overall Cavile Place Redevelopment plan that was rezoned in 2019.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2021 Comprehensive Plan currently designates the subject property as Mixed-Use and Urban Residential, each located where their respective PD is located.

The proposed zoning is not changing and therefore **is consistent** with the land use designations for this area; this zoning case is simply adding a few development standards and the required site plan.

Site Plan Comments

Zoning and Land Use

- Certain requirements of the MU-1 and UR Ordinances will be reviewed upon submittal of building permits, since this site plan does not include enough detail for these reviews, such as façade variation, fenestration, building entry details, bufferyard plantings, enhanced landscaping details, etc.
- The table above shows the development standards the applicant requested of the Urban Design Commission and now of the Zoning Commission. However, upon further review of the site plan, staff noticed a few items that were not in compliance with the Zoning Ordinance.
 - The two references in the “General Notes” section to the Urban Forestry and Landscaping section have been redlined by staff to show the correct wording and section references for the PDs based on MU-1 and UR; the references provided on the site plan are not applicable to the MU-1 and UR zonings of the PD, but rather apply to the normal base zonings.
 - The maintenance building located along the A-5 property near Building 1 is not allowed where it is shown. Because of the adjacency to A-5, that area is subject to a 5’ bufferyard and 20’ supplemental setback. No buildings can be placed within the 20’ supplemental setback. In the 2019 PD case, a waiver from the bufferyard requirement was requested but it was not approved; therefore the project must comply with the bufferyard and supplemental setback requirements of the Ordinance. This maintenance building must either be moved out of the 20’ supplemental setback, or an additional development standard must be requested of the Urban Design Commission, then Zoning Commission, then City Council, in order to allow the building to exist within the required 20’ supplemental setback. Staff has written into the motion recommendation that this maintenance building should be moved out of the 20’ supplemental setback.
 - The requested setback increase as presented at UDC was for the PD/MU-1 portion of the site. No setback increase was included for the PD/UR portion of the site. Staff has measured the setbacks of the buildings to the streets in the UR portion of the site; it appears that Building 8 is placed further than the maximum 20’ setback from Calumet Street. The building should be shifted forward a few feet so that the front build wall is within the maximum 20’ setback from the street. It appears, to the best

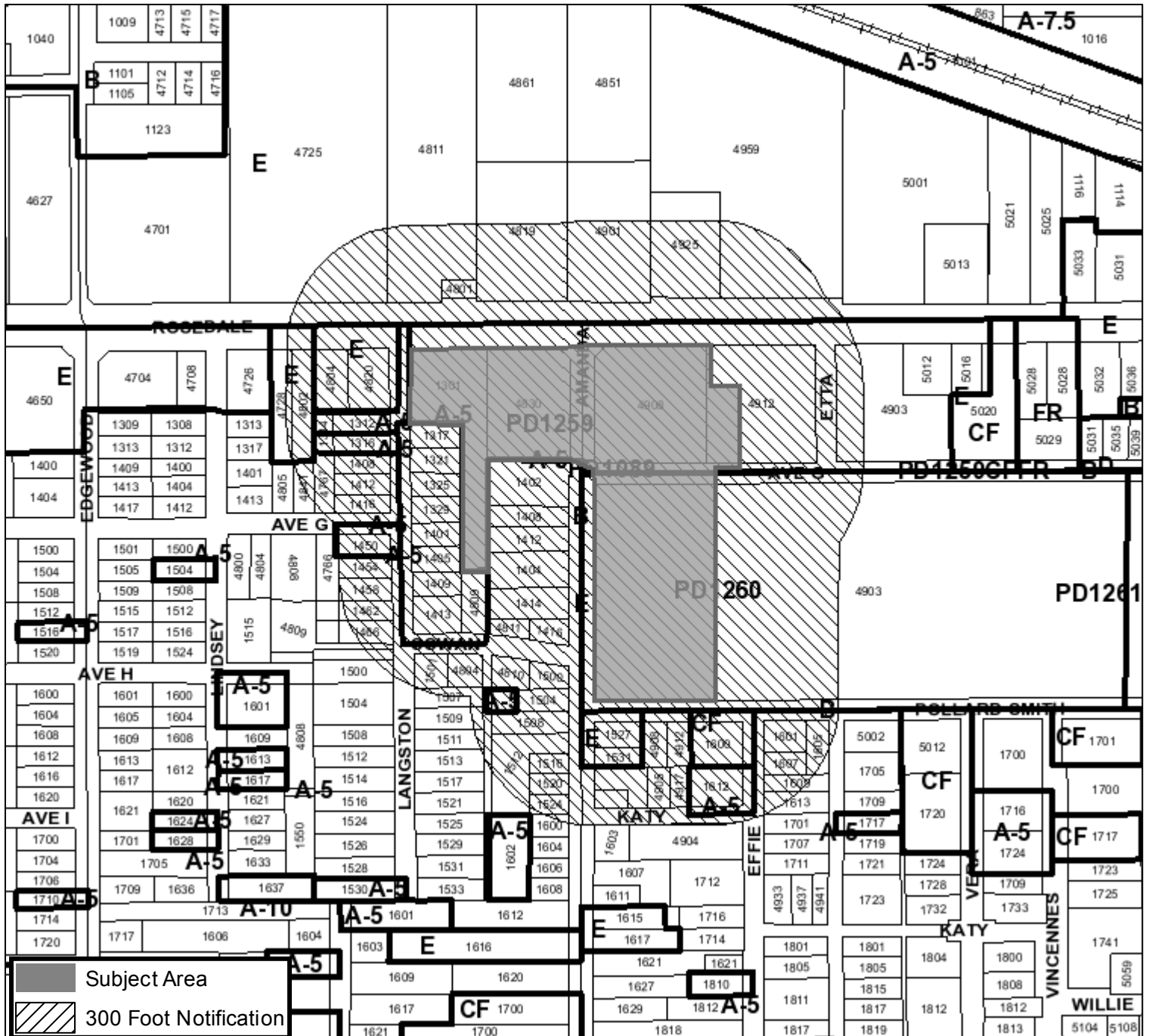
of staff's judgement, that the remaining buildings in the UR portion of the site plan do not exceed the 20' setback; however, if any other buildings exceed the 20' setback, they also should be pulled forward to be within the 20' maximum setback from the street. Staff has written into the motion recommendation that Building 8 be moved forward to meet the maximum 20' setback from the street.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

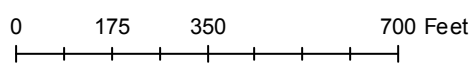


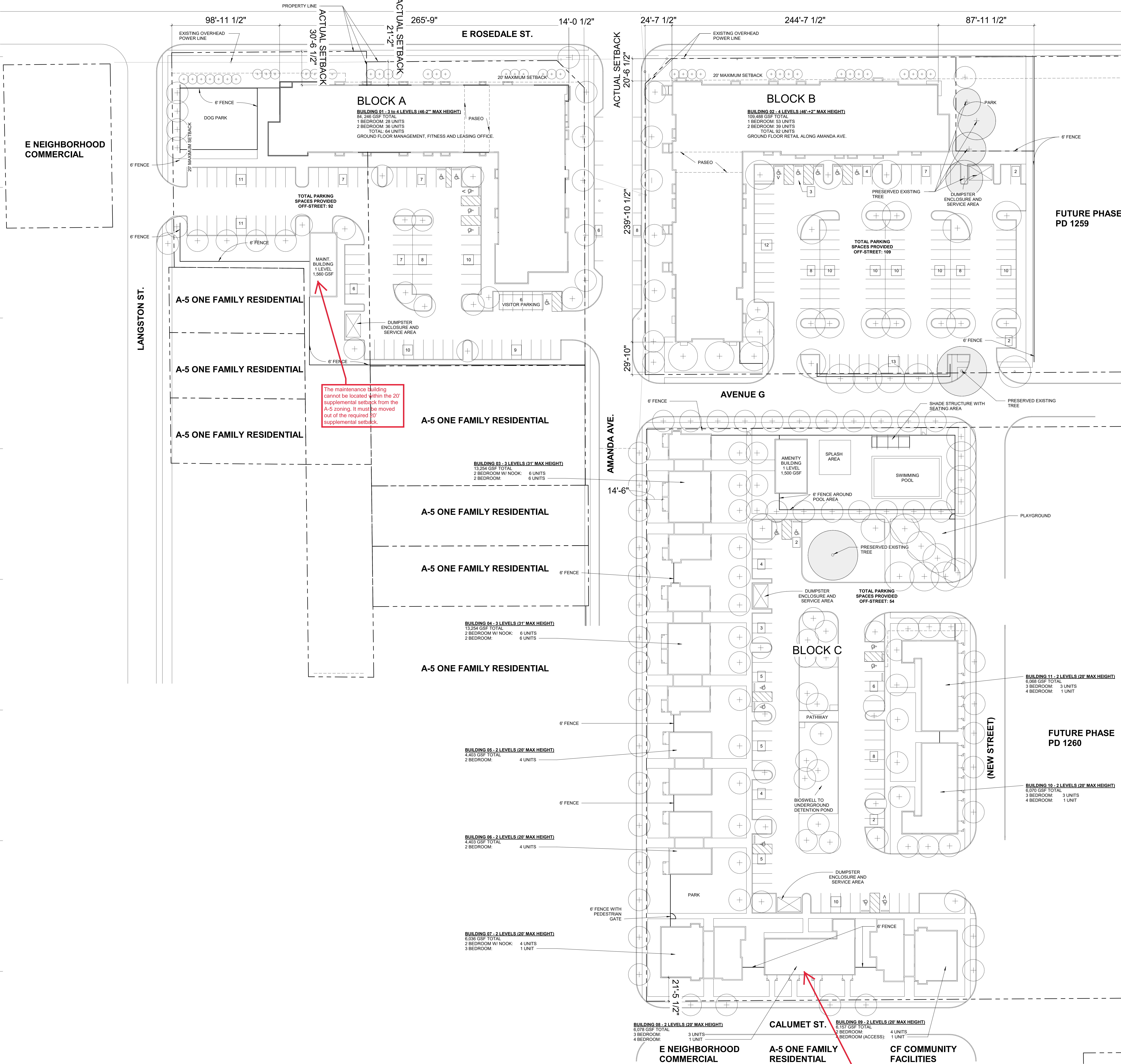
Area Zoning Map

Applicant: FW Housing Authority
 Address: 4900 - 4900 blocks E. Rosedale Street, 4900 block Avenue G
 Zoning From: PD 1259 & 1260 in the Stop Six Overlay
 Zoning To: for MU-1 uses for multifamily with development standards
 Acres: 8.94450192
 Mapsco: 79JK
 Sector/District: Southeast
 Commission Date: 10/13/2021
 Contact: 817-392-8012

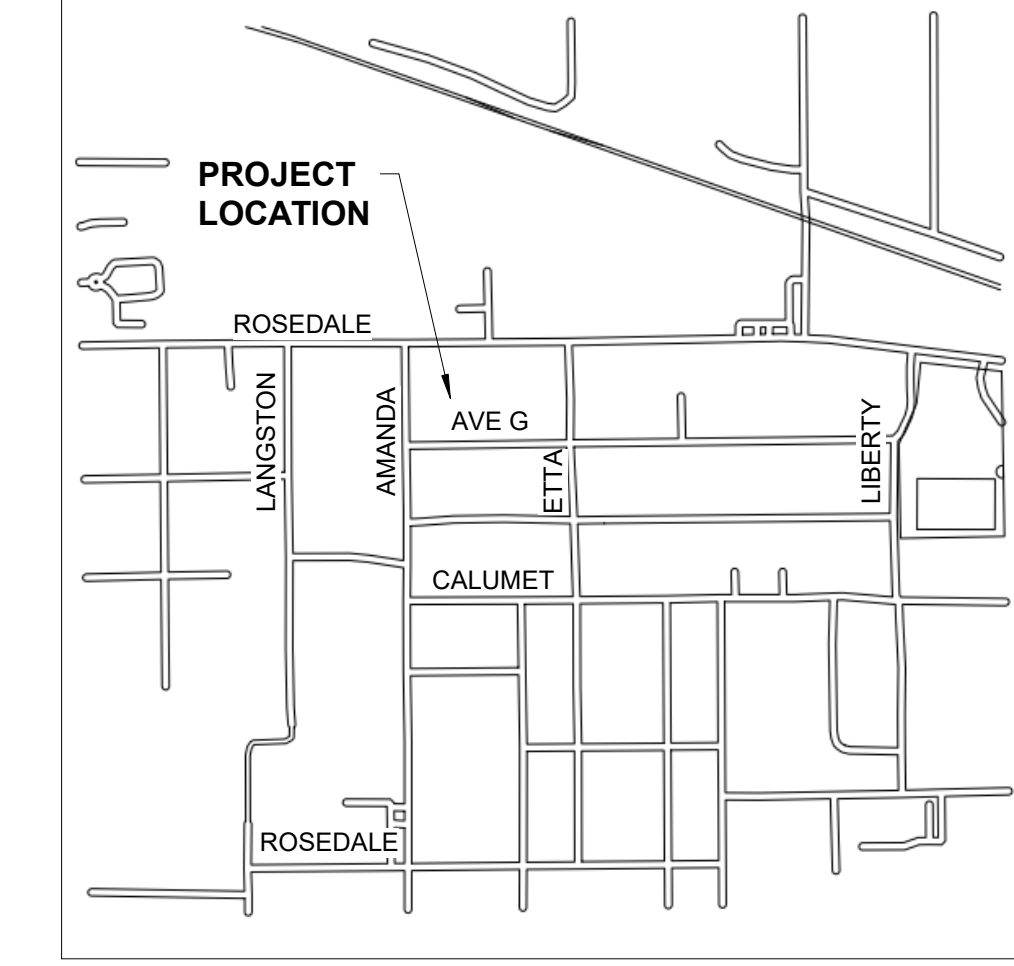


Subject Area
 300 Foot Notification





PROJECT LOCATION MAP



GENERAL NOTES

- 1. ALL DUMPSTERS, GROUND LEVEL EQUIPMENT, AND LOADING DOCK BAYS SHALL BE SCREENED FROM PUBLIC RIGHT OF WAY.
2. ALL SIGNAGE WILL COMPLY WITH TO ARTICLE 4, SIGNS.
3. ALL LIGHTING WILL CONFORM TO THE LIGHTING CODE, AND WILL BE SHIELDED FROM ADJACENT RESIDENTIAL PROPERTIES.
4. PROJECT WILL COMPLY WITH SECTION 6.302 - URBAN FORESTRY: Project will comply with Urban Forestry requirements of MU-1 and UR, including providing 5% canopy coverage and mitigation for removal of significant trees.
5. PEDESTRIAN SIDEWALKS WILL BE CONSTRUCTED INTERCONNECTING ALL BUILDING AND STREET R.O.W.
6. LANDSCAPE AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH CITY OF FORT WORTH CODE.
7. FIRE HYDRANTS WILL BE LOCATED THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH THE FIRE CODE.
8. ALL BUILDING EXTERIOR CONSTRUCTION TO BE A MIX OF MASONRY.
9. PROJECT WILL COMPLY WITH SECTION 6.301 - LANDSCAPING: Project will comply with Landscaping requirements, including Enhanced Landscaping, 4.1300(f) for MU-1 and 4.7130(f) for UR.

BLOCK A INFORMATION:

SITE SIZE: BLOCK A: 2.60 ACRES
UNITS: 64 UNITS
PARKING: 1 SPACES PER DWELLING UNIT
1 SPACE PER 350 SQFT OF COMMON AREA
64 UNITS = 64 REQUIRED PARKING SPACES
8,566 SQFT COMMON AREA = 25 REQD. PARKING SPACES
89 TOTAL REQUIRED PARKING SPACES
92 OFF-STREET PARKING SPACES PROVIDED

BLOCK B INFORMATION:

SITE SIZE: BLOCK B: 2.29 ACRES
UNITS: 92 UNITS
PARKING: 1 SPACES PER UNIT
4 SPACE PER 1,000 SQFT OF RETAIL
92 UNITS = 92 REQUIRED PARKING SPACES
11,250 SQFT RETAIL * = 45 REQD. PARKING SPACES
(60/75% 34 MIN. SPACES REQUIRED)
126 TOTAL REQUIRED PARKING SPACES
*109 OFF-STREET PARKING SPACES PROVIDED
*14 ON-STREET PARKING SPACES PROVIDED
126 TOTAL PARKING SPACES PROVIDED

*NOTE: (4.1300 D 4 a) Block A is within 500' of Block B. (3) extra spaces of Block A to be applied to Block B parking in addition to (14) on street parking spaces along Amanda to meet total 126 required parking spaces.

BLOCK C INFORMATION:

SITE SIZE: BLOCK C: 3.51 ACRES
UNITS: 54 UNITS
PARKING: 1 SPACES PER UNIT
54 UNITS = 54 REQUIRED PARKING SPACES
54 TOTAL REQUIRED PARKING SPACES
54 OFF-STREET PARKING SPACES PROVIDED

PD Site Plan

Project No: 20106.01
Issue Date: 07/30/21
Rev Description Date

ARCHITECT/REPRESENTATIVE: BENNETT BENNER PARTNERS
640 TAYLOR STREET, SUITE 2323
FORT WORTH, TEXAS 76102
CONTACT: MICHAEL BENNETT
PHONE: (817)333-3400

OWNER: CAVILE PUBLIC FACILITY CORPORATION
1202 E 13TH STREET
FORT WORTH, TEXAS 76102
PHONE: (817) 333-3400

HUGHES' HOUSE
BLOCK A
GASSOWAY ADDITION LOT 33A
COONROD, GEORGE W SURVEY ABSTRACT 291 TRACT 6A
BLOCK B
DULANEY, DANIEL SURVEY ABSTRACT 411 TRACT 1 & 2
BLOCK C
CAVILE, J A PLACE BLOCK A & REMAINDER BLK B LOT A

PD-1259 & PD-1260
ZC-19-151
APPROVED BY CITY COUNCIL OCTOBER 15, 2019

DIRECTOR OF DEVELOPMENT SERVICES

SIGNATURE DATE

PD SITE PLAN

plot date/time: 8/23/2021 2:14:53 PM

PD001

1 SITE PLAN-PD
1" = 30'-0"

Hughes' House
Rosedale St and Amanda Ave

DEVELOPERS
McComack Baron Salazar
E. Rosedale St. & Stalcup Rd.
Fort Worth, TX
CO-DEVELOPERS
Fort Worth Affordability, Inc
Fort Worth, TX

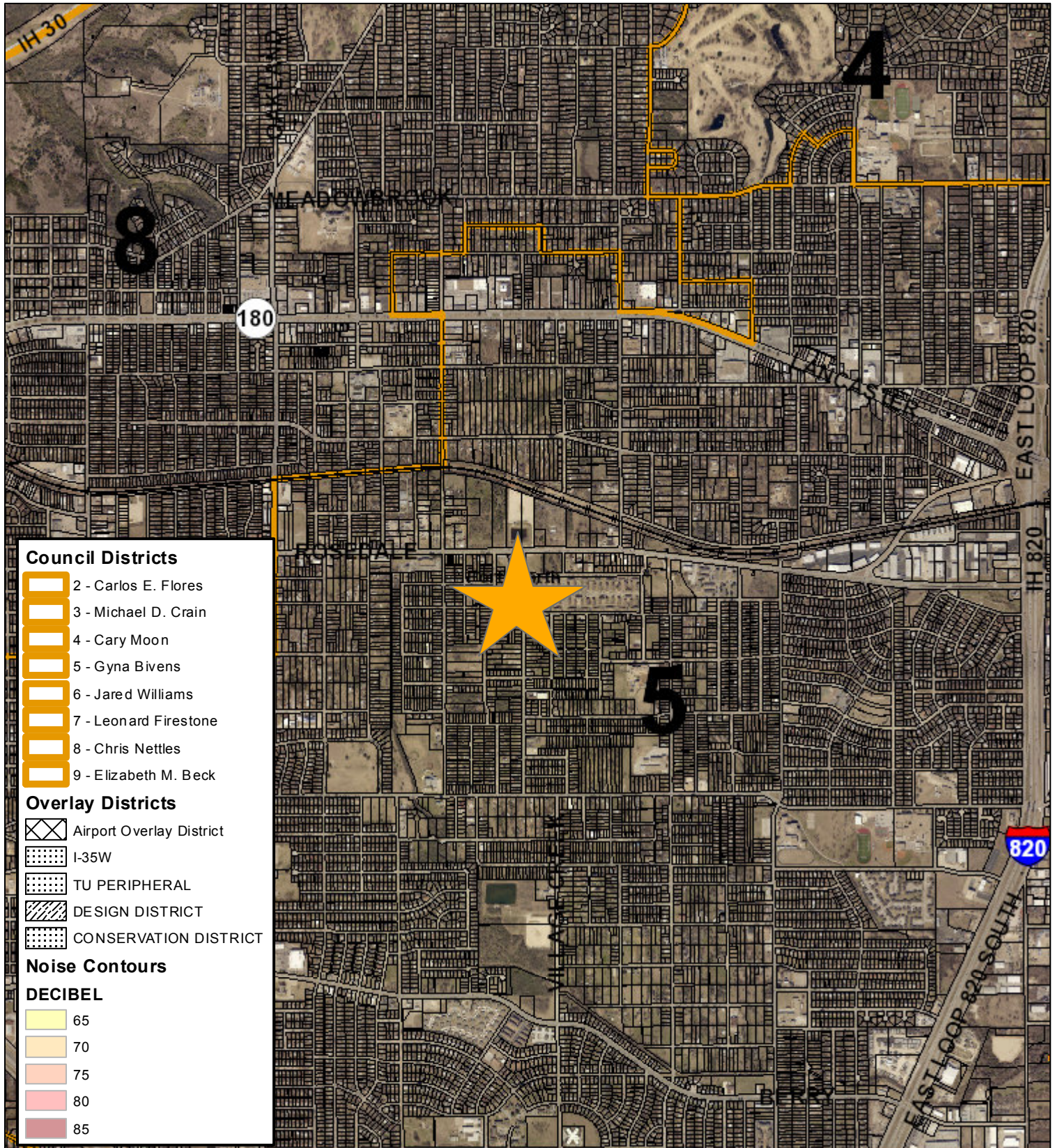
CIVIL
Kimley Horn
801 Cherry St. Unit 11
Fort Worth, TX 76102
STRUCTURAL
Dunaway Associates
550 Bailey Ave # 400
Fort Worth, TX 76107
MEP
Squire Engineering Unlimited
1300 Summit Ave #514
Fort Worth, TX 76102

BENNETT BENNER PARTNERS
ARCHITECTURE + INTERIORS + PLANNING
640 Taylor Street, Suite 2323
Fort Worth, Texas 76102
Tel: 817.333.3400 Fax: 817.877.1861
www.bbpx.com









The maintenance building cannot be located within the 20' supplemental setback from the A-5 zoning. It must be moved out of the required 30' supplemental setback.

Building 08 should be shifted forward so the front build wall is within the 20' maximum setback from Calumet St. any other buildings in the UR portion of the site that exceed the 20' maximum setback from the street should also be shifted forward.






Area Map



Council Districts






-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

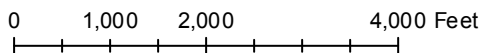
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

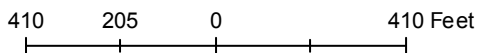
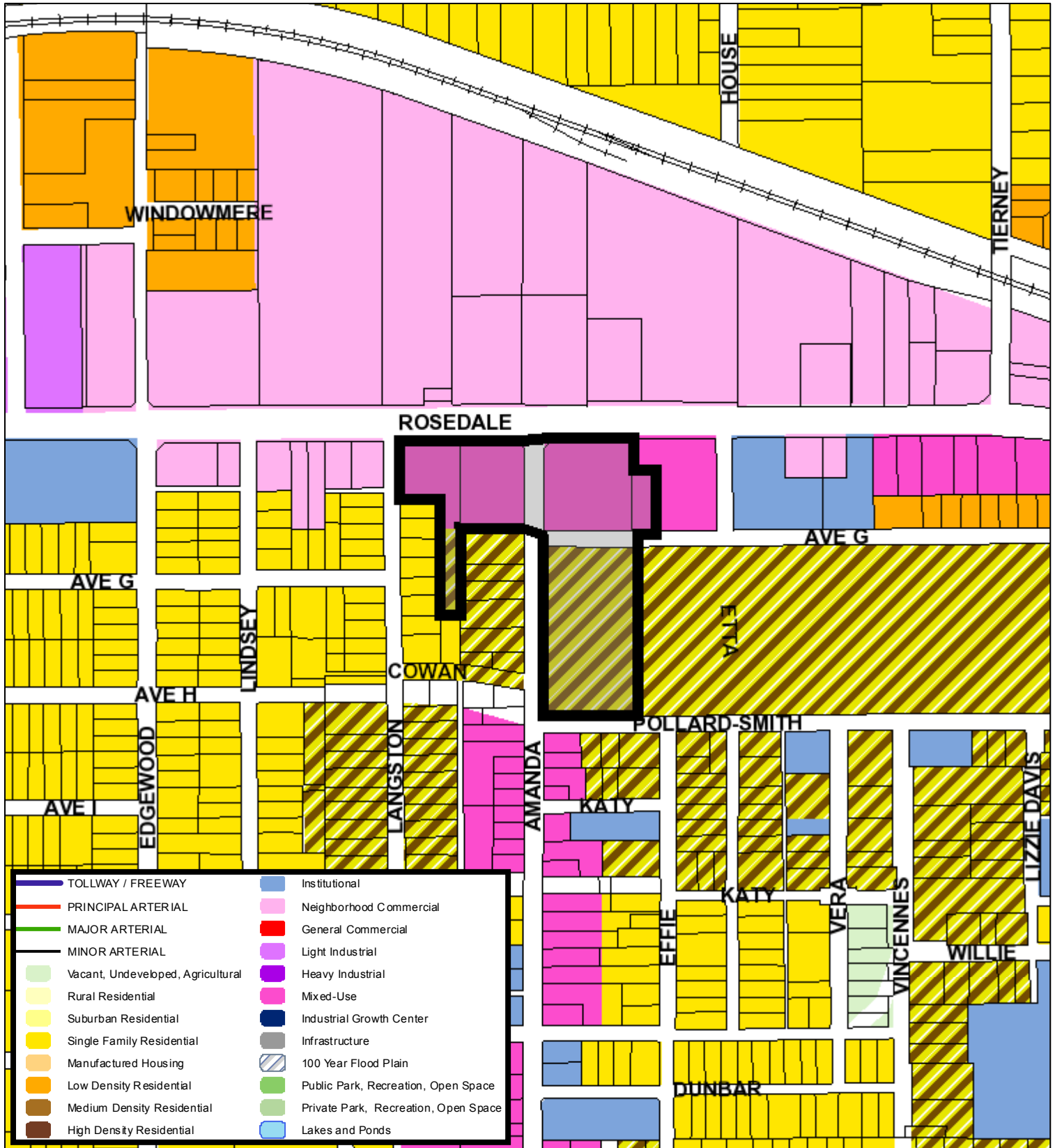
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 255 510 1,020 Feet

