

ARTICLE 5. RULES FOR ALL DISTRICTS

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Div. 5.1. Measurements and Exceptions

Sec. 5.1.1. Building Placement

A. Building Setbacks

All buildings and structures (principal and accessory) must be located at or within the required building setbacks except as listed below. No building or structure can extend into a required easement.

1. Building Features

- a. Awnings/canopies, balconies, galleries, porches and stoops may extend into a required front setback as stated in [Sec. 5.1.4](#).
- b. Building eaves, roof overhangs, gutters, downspouts, light shelves, bay windows and oriels less than 10 feet wide, cornices, belt courses, sills, buttresses or other similar architectural features may encroach up to 3 feet into a required setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
- c. Chimneys or flues may encroach up to 4 feet, provided that such extension is at least 2 feet from the vertical plane of any lot line.
- d. Unenclosed patios, decks, balconies, stoops, porches, terraces or fire escapes may encroach into a common lot line setback, provided that such extension is at least 5 feet from the vertical plane of any lot line.
- e. Handicap ramps may encroach to the extent necessary to perform their proper function.

2. Site Features

- a. Structures below and covered by the ground may encroach into a required setback.
- b. Fences and walls (including retaining walls and railings) may encroach into a required setback (see [Sec. 7.2.4](#)).
- c. Dumpster and recycling enclosures may encroach into a common lot line setback only (see [Sec. 7.2.3](#) for screening standards).
- d. Landscaping, trees, planters, lighting, benches, trash receptacles, public art, water features, bollards, and other street furniture may encroach into a required setback.
- e. Signs may encroach into a required setback (see [Div. 7.4](#)).
- f. Pedestrian or cyclist facilities, such as sidewalks, pathways and bicycle parking, may encroach into a required setback.
- g. Driveways may encroach into a required setback.
- h. Accessory structures, such as kiosks, concession stands and similar structures, may encroach into a required setback (see [Sec. 2.4.5.F](#)).
- i. Outdoor storage and outdoor display may encroach into a required setback (see [Div. 7.5](#)).

3. Low Impact Stormwater Features

- a. Low impact stormwater management features may encroach into a required front setback including, but not limited to:

- i. Rain barrels or cisterns, 6 feet or less in height;
 - ii. Planter boxes;
 - iii. Bio-retention areas; and
 - iv. Similar features, as determined by the FBC Administrator.
- b. Low impact stormwater management features listed above may encroach into a required common lot line setback, provided such extension is at least 1 foot from the vertical plane of any lot line.
4. Mechanical Equipment and Utility Lines
- a. Mechanical equipment, such as HVAC units, swimming pool pumps or filters, security lighting, and tankless water heaters may encroach into a required common lot line setback, provided that the encroachment is at least 2 feet from the vertical plane of any lot line (see [Sec. 7.2.3](#) for screening standards).
 - b. Minor structures accessory to utilities, such as hydrants, transformers, miscellaneous utility cabinets, electric meters, aboveground water utility devices, cable television or phone utility boxes, and wires and conduits may encroach into a required common lot line setback, provided that the encroachment is at least 2 feet from the vertical plane of any lot line (see [Sec. 7.2.3](#) for screening standards).

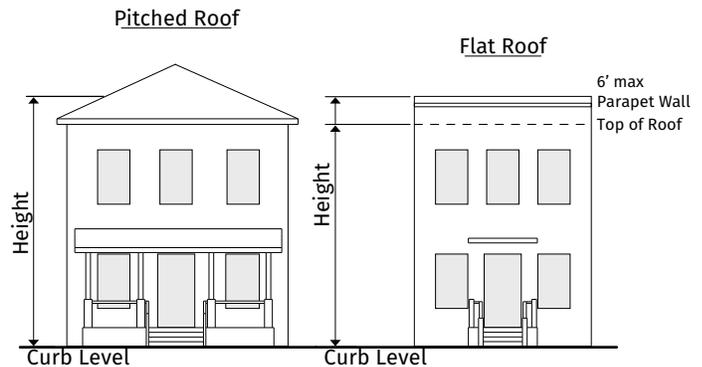
Sec. 5.1.2. Bulk and Mass

A. Building Height

- 1. Building height is the vertical distance in feet measured from the curb level to the highest point of the roof surface, if a flat roof; to the deck line of

a mansard roof; and to the mean height level between eaves and ridge for a gable, hip or gambrel roof.

- 2. On a flat roof, a parapet wall may exceed the height limit by a maximum of 6 feet.



B. Height Encroachments

All buildings and structures must be located at or below the maximum height limit except as listed below.

- 1. The maximum height limits of the district do not apply to spires, belfries, cupolas, domes not intended for human occupancy; monuments, water tanks, water towers or other similar structures which, by design or function, must exceed the established height limits.
- 2. The following may exceed the established height limit provided they do not exceed the maximum height by more than 6 feet:
 - a. Chimney, flue or vent stack;
 - b. Flagpole;
 - c. Vegetation or landscaping associated a green roof;
 - d. Skylights;
 - e. Unroofed and unenclosed rooftop terrace;
 - f. Parapet wall; and
 - g. Solar panels.

3. The following may exceed the established height limit provided they do not exceed the maximum building height by more than 15 feet, do not occupy more than 25% of the roof area, and are set back at least 10 feet from the edge of the roof:
 - a. Elevator or stairway access to roof;
 - b. Rooftop shade structure;
 - c. Wind turbines, rainwater collection systems.
 - d. Greenhouse; and
 - e. Mechanical equipment.

C. Building Mass

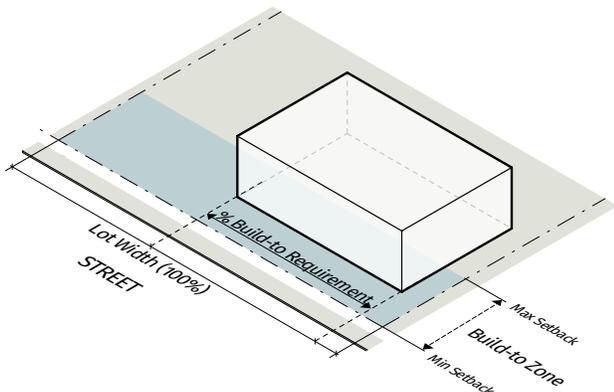
1. Street-Facing Building Length

Street-facing building length is the maximum length of a building or structure.

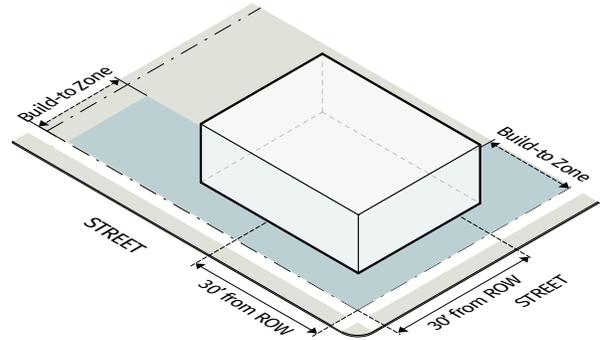
Sec. 5.1.3. Frontage

A. Build-to-Zone

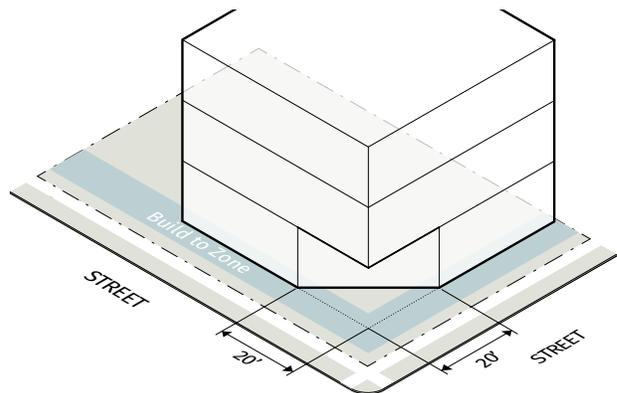
1. The build-to zone is the area on the lot or site where a percentage of the building facade must be located, measured as a minimum and maximum setback range from the edge of the right-of-way.
2. The required percentage specifies the amount of the building facade that must be located in the build-to zone, measured based on the width of the building or buildings divided by the width of the lot.



3. On a corner lot, a building facade must be placed within the build-to zone for the first 30 feet along the street extending from the block corner, measured from the intersection of the two right-of-way lines.

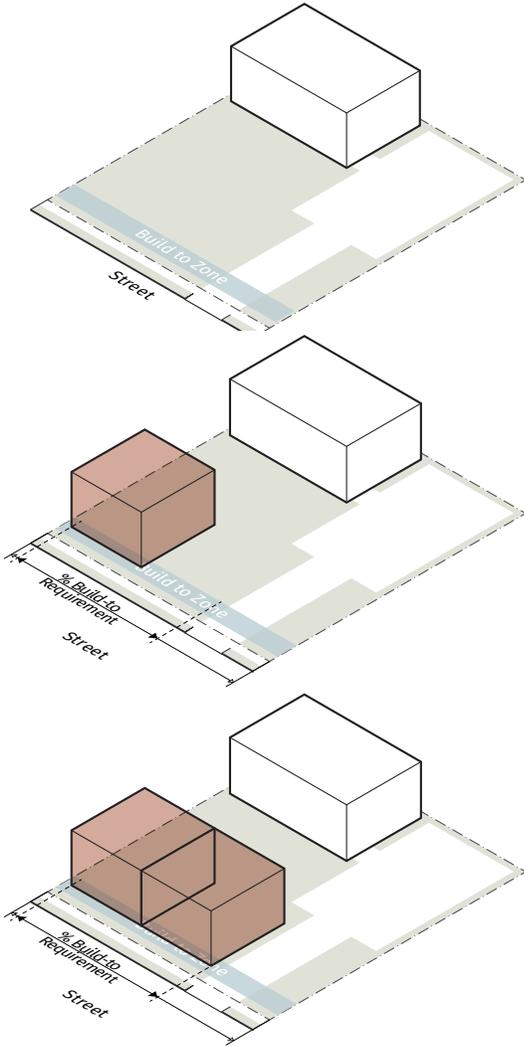


4. The build-to zone applies to the 1st and 2nd stories of a building.
5. With the exception of parking spaces, all structures and uses allowed on the lot are allowed within the build-to zone.
6. A forecourt meeting the requirements of [Sec. 5.1.4.D](#) is considered part of the building for the purpose of meeting the build-to requirement.
7. A chamfered corner on the ground floor of no more than 20 feet in width that extends outside of the build-to zone is considered part of the building for the purpose of meeting the build-to requirement.

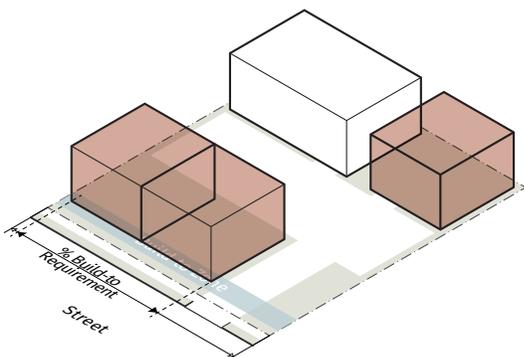


B. Build-to-Zone: New Buildings

1. All new buildings must be placed in the build-to zone until the required percentage for the entire lot or site has been met.



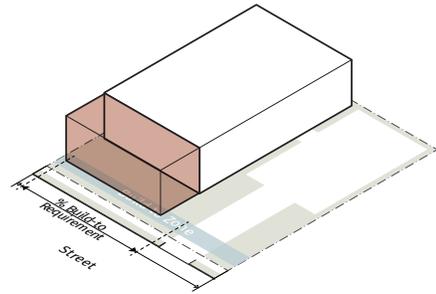
2. Once the required percentage has been met for the entire lot or site, new buildings may be placed outside of the build-to zone.



C. Build-to Zone: Additions

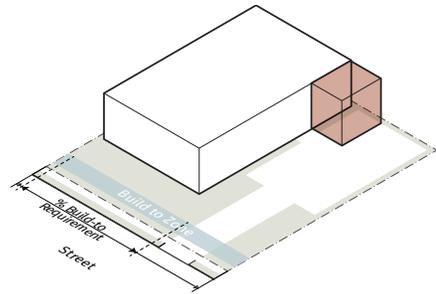
1. Front Additions

Any addition to the front of an existing building must be placed in the build-to zone. The addition does not have to meet required percentage for the entire lot or site. Front additions no greater than 10% cumulatively of the existing building footprint are allowed outside of the build-to zone.



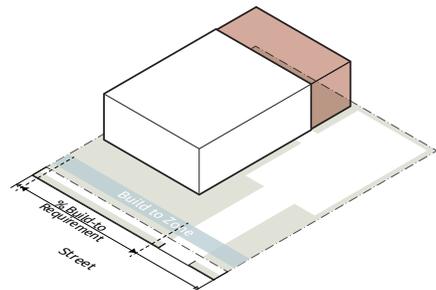
2. Side Additions

Side additions no greater than 20% cumulatively of the existing building footprint are allowed outside of the build-to zone. Once the required percentage for the entire lot or site has been met side additions of any size are allowed.



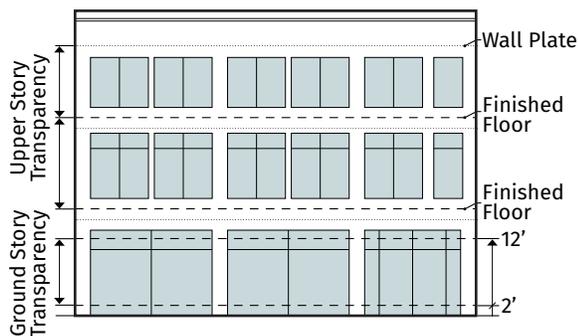
3. Rear Additions

Rear additions are allowed outside of the build-to zone.



D. Transparency

1. Transparency applies to all building facades that face a designated Frontage.
2. Transparency is the minimum percentage of windows and doors that must cover a ground or upper story facade.
3. Clear glazing must have a visible transmittance rating of 0.5 or greater to count towards the transparency requirement.
4. Ground story transparency is measured between 2 and 12 feet above the abutting sidewalk. Upper story transparency is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate above.



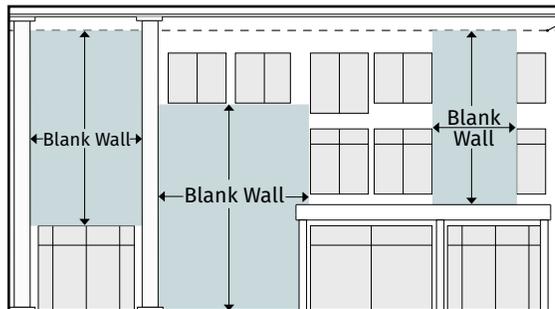
5. In the Pedestrian, Active Alley and Historic Shopfront Frontages, a minimum of 60% of the required transparency must allow views into the ground story use for a depth of at least 8 feet. Windows cannot be made opaque by window treatments (except operable sunscreen devices within the conditioned space).

E. Blank Wall Area

1. Blank wall area applies to all building facades that face a designated Frontage.
2. Blank wall area means a portion of the exterior facade of the building that does not include: windows or doors; columns, pilasters

or other articulation greater than 12 inches in depth; or a substantial material change (paint color is not considered a substantial change).

3. Blank wall area applies in both a vertical and horizontal direction.



F. Transparency Alternatives

The following alternatives may count towards a portion of the transparency requirement and can be used in singular or combination. Alternatives may count for no more than 50% of the total transparency requirement.

Translucent Glazing
 Translucent, fritted, patterned, or color glazing



Display Cases
 Wall mounted or recessed display cases at least 4 feet in height.



Living Wall
 Green facade system, green or living wall, or similar vegetation

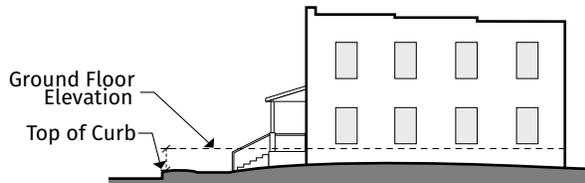


Outdoor Dining Area
 Outdoor dining/seating located between the building and street.



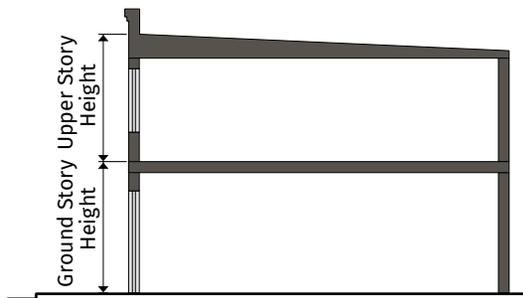
G. Ground Floor Elevation

1. Ground floor elevation is measured from top of the adjacent curb to the top of the finished ground floor.
2. Minimum ground floor elevation applies to the first 30 feet of the lot measured from the right-of-way.



H. Story Height

Story height is the height of each story of building and it is measured from the top of the finished floor to the top of the finished floor above. When there is no floor above, upper story height is measured from the top of the finished floor to the top of the wall plate above.



I. Pedestrian Access

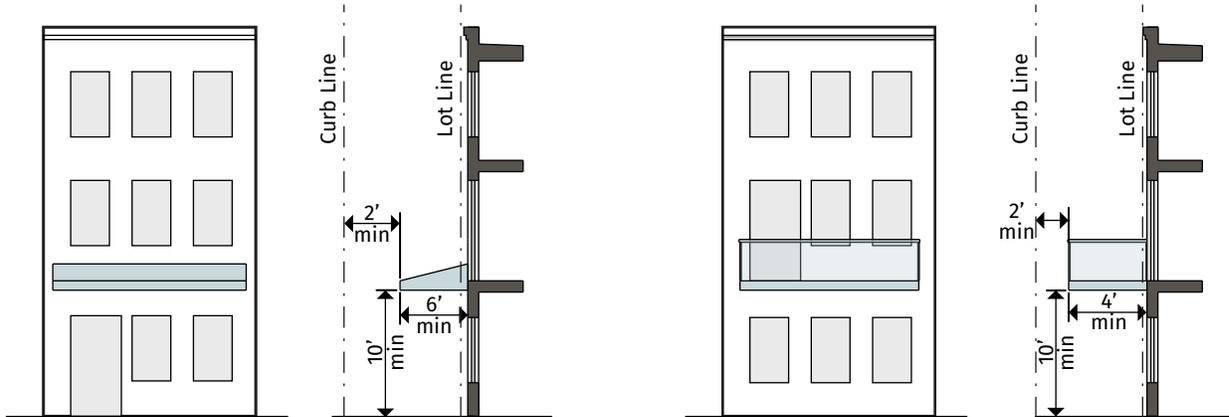
1. An entrance providing both ingress and egress, operable to residents at all time or customers during operating hours, is required to meet the pedestrian access requirement.
2. Additional entrances off another street, pedestrian area, open space or internal parking area are allowed.
3. The entrance spacing requirement must be met for each building, but are not applicable to adjacent buildings.

4. An angled entrance provided at the corner of a building meets the entrance requirements for two intersecting Frontages. However, the entrance spacing requirement applies separately for each Frontage.
5. Entrance spacing is measured from the edge of door to the edge of the next door.

Sec. 5.1.4. Building Elements

A. Intent

The following standards are intended to ensure that certain building elements when added to a Frontage are of sufficient size to be both usable and functional and be architecturally compatible with the Frontage they are attached to. Building elements are allowed by Frontage, see [Div. 2.3](#), [Div. 3.3](#) or [Div. 4.3](#), and may be used individually or in combination as allowed. Requirements for each building element are listed below.



B. Awning/Canopy

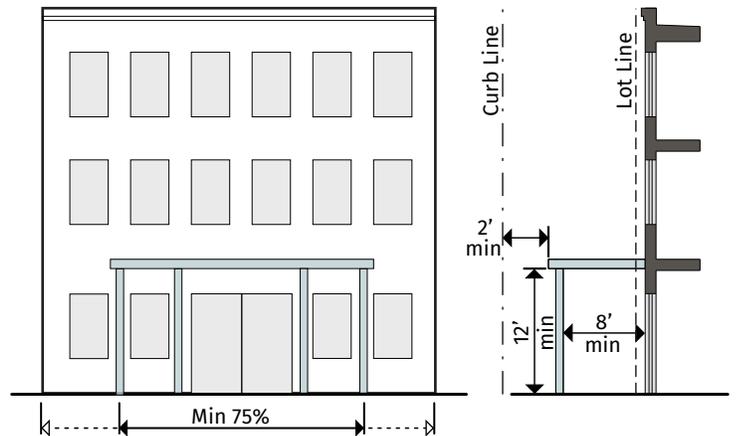
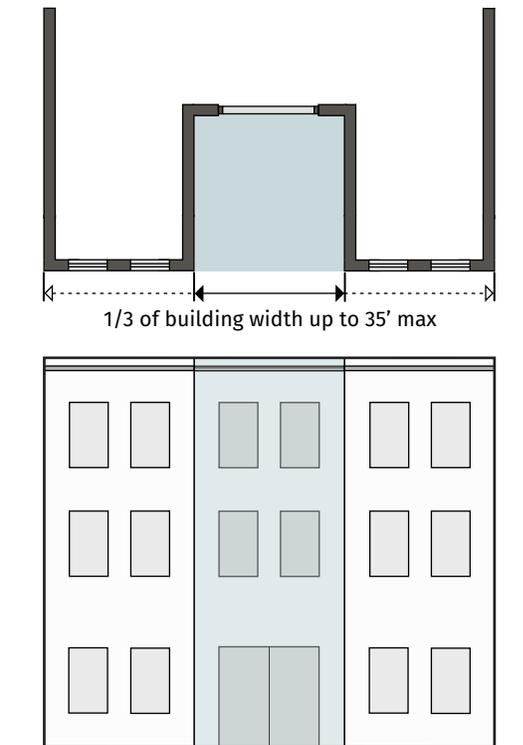
A wall-mounted, cantilevered structure providing shade and cover from the sun.

1. An awning/canopy must be a minimum of 10 feet clear height above the sidewalk and must have a minimum depth of 6 feet.
2. An awning/canopy may extend into a required front setback.
3. Subject to the issuance of a right-of-way encroachment agreement, an awning/canopy may encroach over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.

C. Balcony

A platform projecting from the wall of an upper-story of a building with a railing along its outer edge, often with access from a door or window.

1. A balcony must be at least 4 feet deep.
2. A balcony must have a clear height above the sidewalk of at least 10 feet.
3. A balcony may be covered and screened, but cannot be fully enclosed.
4. A balcony may extend into a required front setback.
5. Subject to the issuance of a right-of-way encroachment agreement, a balcony may encroach over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



D. Forecourt

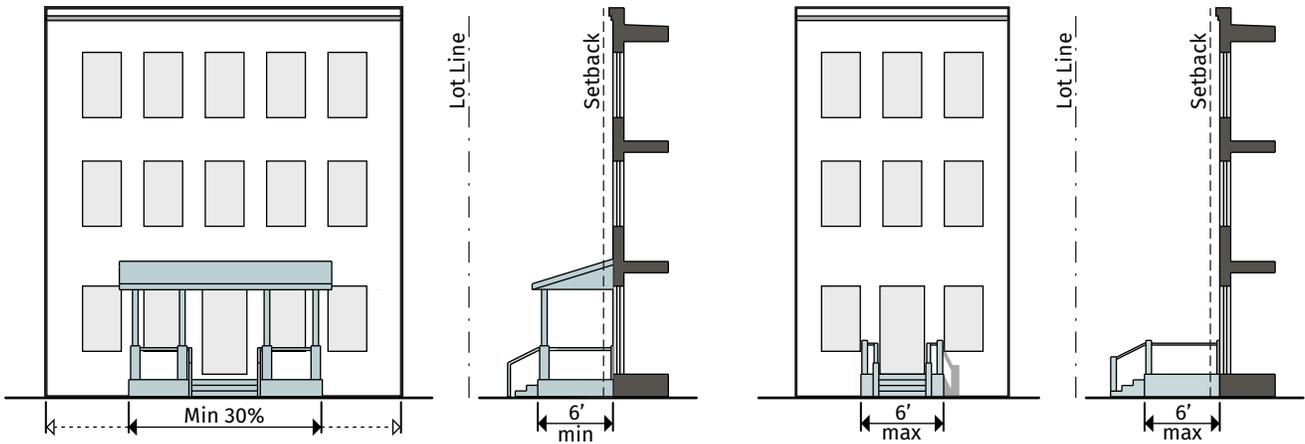
An open area at grade, or within 30 inches of grade, that serves as an open space, plaza or outdoor dining area. Where allowed, a forecourt meeting the following requirements is considered part of the building for the purpose of meeting a required build-to.

1. A forecourt must be no more than one-third of the length of the building face, and in no case longer than 35 feet in width.
2. A maximum of one forecourt is permitted per building.
3. The standards above apply only to a forecourt used to meet a portion of a required build-to. A forecourt not used to meet a portion of a required build-to is not regulated above.

E. Gallery

A covered passage extending along the outside wall of a building supported by arches or columns that is open on three sides.

1. A gallery must have a clear depth from the support columns to the building's facade of at least 8 feet and a clear height above the sidewalk of at least 12 feet.
2. A gallery may extend into a required front setback.
3. A gallery must be contiguous and extend over at least 75% of the width of the building facade from which it projects.
4. Subject to the issuance of a right-of-way encroachment agreement, a gallery may encroach into the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



F. Porch

A raised structure attached to a building, forming a covered entrance to a doorway.

1. A porch must be at least 6 feet deep (not including the steps).
2. A porch must be roofed and may be screened, but cannot be fully enclosed.
3. A porch must be contiguous, with a width not less than 30% of the building facade from which it projects.
4. A porch, including the steps, may extend into a required front setback.
5. A porch, including the steps, may not encroach into the right-of-way.

G. Stoop

A small raised platform that serves as an entrance to a building.

1. A stoop must be no more than 6 feet deep (not including the steps) and 6 feet wide.
2. A stoop may be covered but cannot be fully enclosed.
3. A stoop, including the steps, may extend into a required front setback.
4. A stoop, including the steps, may not encroach into the right-of-way.

Div. 5.2. Architectural Standards

Sec. 5.2.1. Roof Form

For new buildings in a Historic District, roof forms must be compatible with the historic context. Those in the Transition Districts must be consistent with those seen historically in those areas, while accommodating new designs. In an Edge District, more variety in roof forms are allowed. Roof forms are allowed by sub-district (see [Div. 2.2](#), [Div. 3.2](#) or [Div. 4.2](#)). Allowed roof forms may be used individually or in combination. Descriptions of each roof form are listed below.

<p>Flat</p> <p>Flat roof (with a pitch less than 2:12) with a low parapet wall (less than 6 feet in height) on the outside edge of the roof.</p>		
<p>Traditional Parapet</p> <p>Roof with parapet wall (6 feet or more in height) on the outside edge of the roof that conceals a flat, barrel vaulted, gabled or hipped roof.</p>		
<p>Barrel Vault</p> <p>A roof having an exposed curved form, often semicircular in cross section, with no angle change.</p>		
<p>Gable - Medium Pitch</p> <p>An exposed triangular roof form with a pitch of 2:12 and greater but less than 8:12.</p>		
<p>Gable - Steep Pitch</p> <p>An exposed triangular roof form with a pitch of 8:12 and greater.</p>		
<p>Hipped</p> <p>An exposed four-sided roof form having sloping ends and sides.</p>		

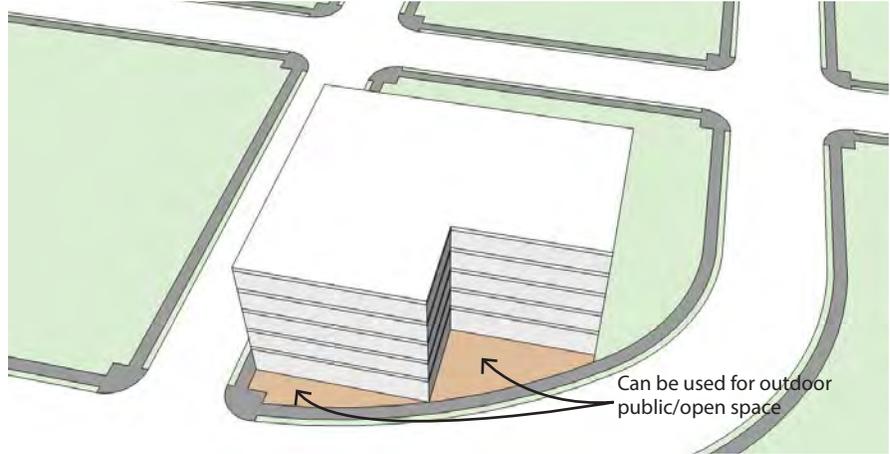
Sec. 5.2.2. Building Form

Traditionally, most buildings in the Stockyards area had a rectilinear building form. Continuing this tradition will help to convey the arrangement of buildings, paths, streets and rail lines that existed. However, where a curved or angled street exists or is proposed, an angled or curved building form may not be appropriate. Therefore, building form is regulated by sub-district (see [Div. 2.2](#), [Div. 3.2](#) or [Div. 4.2](#)). Allowed building forms may be used individually or in combination. Descriptions of each building form are listed below.

Rectilinear

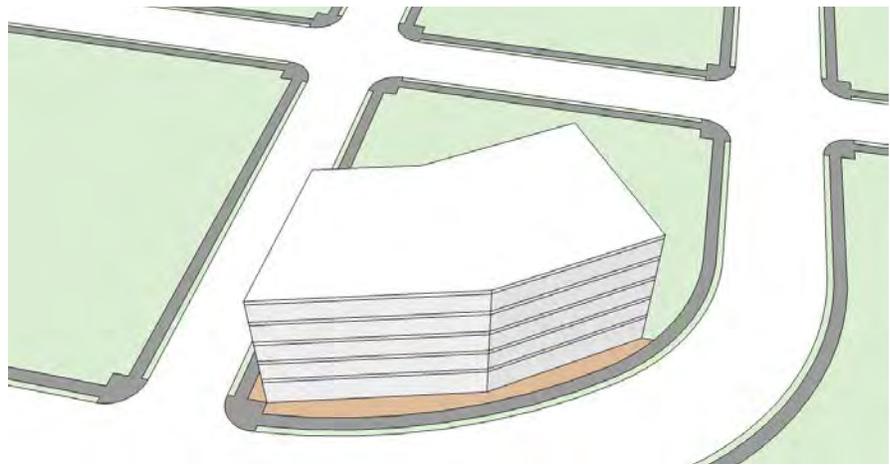
A building facade that changes at an angle of 90 degrees (right-angle).

An accent element on a rectilinear building may be curved or angled; however, the element must be subordinate in size when compared to the primary rectilinear form of the building.



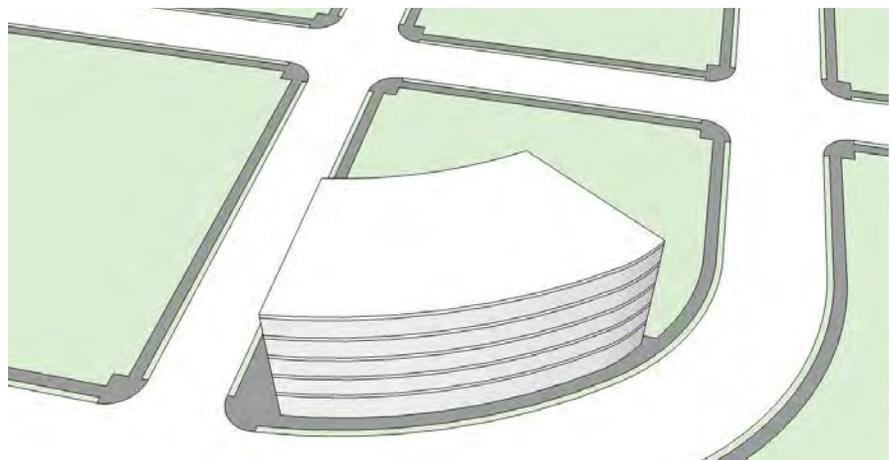
Angled

A building facade that changes at an angle greater than 90 degrees and less than 180 degrees (obtuse angle).



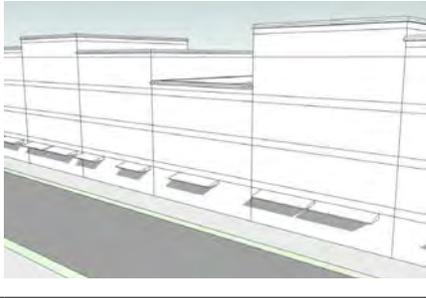
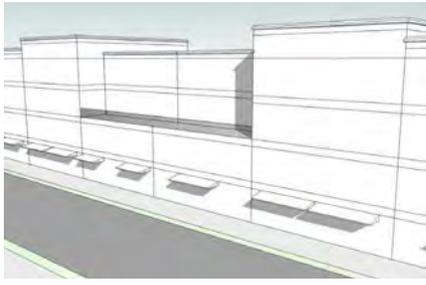
Curved

A building facade that bends in a smooth, continuous way without angles.



Sec. 5.2.3. Articulation

A. The following table indicates the standards for appropriate building articulation. Refer to the [Sec. 5.2.3.B](#) to determine the number of articulation techniques that must be used. The articulation standards do not apply in the Historic District.

<p>Base, Middle, Cap</p> <ul style="list-style-type: none"> › Expressed by horizontal moldings, cornices, fenestration, patterns and changes in materials. 		
<p>Horizontal Articulation</p> <ul style="list-style-type: none"> › Horizontal Molding: 2" min in depth and 6" min in height, full width of facade. › Alignment: upper-story windows, balconies, canopies and other architectural features in alignment with one another and the historic context, for the full width of facade › Cornice: 6" min in depth and 18" min in height, for the full width of facade. 		
<p>Vertical Articulation</p> <ul style="list-style-type: none"> › Roof Line Offset: 3' min height difference for at least 20% of facade width › Vertical Molding: 4" min in depth and 12" in width, full height of facade › Wall Notch: 4' min depth, 6' min width and full height of facade for at least 10% of facade width. 		
<p>Step Back</p> <ul style="list-style-type: none"> › 10' min step back from street facing facade plane for at least 20% of facade width. 		
<p>Material Variation</p> <ul style="list-style-type: none"> › Change in materials and their inherent colors, textures and finishes. 		

Note: The images above are intended to illustrate the articulation techniques, the heights and other dimensions shown may not be allowed in some sub-districts.

B. The following table indicates the required number of articulation techniques that must be used based on the facade length facing a designated Frontage. Refer to the Sec. 5.2.3.A for standards for each articulation technique. The articulation standards do not apply in the Historic District

	-----Facade Length-----		
	(< 50)	(50'-75')	(> 75')
Number of Required Articulation Techniques	2	3	4
Base, Middle, Cap	R	R	R
Horizontal Articulation	R	R	R
Vertical Articulation	O	O	R
Step Back	O	O	O
Material Variation	O	O	O

R = Required O = Optional

Sec. 5.2.4. Building Materials

A. Primary and Secondary Building Materials

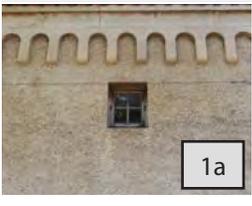
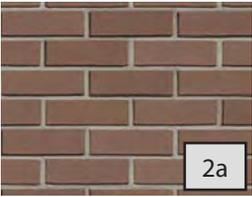
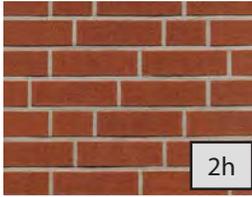
The following table indicates building materials that are appropriate as primary (P) or secondary (S) materials in each of the sub-districts. Secondary materials cannot exceed 25% of the surface area of any one building facade. These standards apply to the primary and secondary materials that are integral to the wall of a building. They do not limit use for accents or accessories such as storefronts, awnings or canopies.

	Historic		Transition					Edge	
	HSH	HCO	TMC	TNF	TNX	TSA	TNE	ENX	ECC
1. Stucco									
a. Authentic	S	S	P/S	P/S	P/S	S	P/S	P/S	P/S
b. Synthetic (scored)	S	--	S	P/S	S	S	P/S	S	P/S
c. Synthetic (not scored)	--	--	--	S	S	--	P/S	--	S
2. Masonry									
a. Brick	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S	P/S
b. Stone	S	S	P/S	P/S	P/S	P/S	P/S	P/S	P/S
c. Patterned Pre-Cast Concrete	S	S	--	--	S	S	S	P/S	P/S
d. Cement Board Siding	S	S	--	S	S	S	P/S	S	P/S
e. Terra Cotta & Ceramic Block	S	S	S	S	S	S	S	S	S
f. Detailed Concrete	--	--	S	S	S	S	S	S	S
g. Cast Stone	S	S	S	--	S	S	S	S	S
h. Prefabricated Brick Panels	--	--	--	--	--	--	--	S	S
3. Siding									
a. Shingled	S	S	S	S	S	S	S	S	S
b. Horizontal Lap (Wood and Cement Board Siding)	S	S	--	--	S	S	--	S	--
c. Vertical Board and Batten	--	--	--	--	S	S	--	S	--
4. Metal									
a. Metal Panels	S	S	S	S	S	S	P/S	P/S	P/S

P = Allowed as a Primary Material S = Allowed as a Secondary Material -- = Material Not Allowed

B. Building Material Images

Primary and secondary building materials are illustrated below. Allowed building materials may be used individually or in combination. Examples of each type of material are shown below.

<p>1. Stucco</p> <p>a. Authentic</p> <p>b. Synthetic (scored)</p> <p>c. Synthetic (not scored)</p>	 <p>1a</p>	 <p>1b</p>	 <p>1c</p>
<p>2. Masonry</p> <p>a. Brick</p> <p>b. Stone</p> <p>c. Patterned Pre-Cast Concrete</p> <p>d. Cement Board Siding</p> <p>e. Terra Cotta & Ceramic Block</p> <p>f. Detailed Concrete</p> <p>g. Cast Stone</p> <p>h. Prefabricated Brick Panels</p>	 <p>2a</p>	 <p>2b</p>	 <p>2c</p>
	 <p>2d</p>	 <p>2e</p>	 <p>2f</p>
	 <p>2g</p>	 <p>2h</p>	
<p>3. Siding</p> <p>a. Shingled</p> <p>b. Horizontal Lap Board (Wood and Cement Board Siding)</p> <p>c. Vertical Board and Batten</p>	 <p>3a</p>	 <p>3b</p>	 <p>3c</p>
<p>4. Metal</p> <p>a. Metal Panels</p>	 <p>4a</p>	 <p>4a</p>	

ARTICLE 6. LAND USE PROVISIONS

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Div. 6.1. Permitted Uses

Sec. 6.1.1. Use Classification

A. Allowed Uses

Sec. 6.1.2 establishes allowed principal and accessory uses. No building or lot may be used except for a purpose permitted in the sub-district in which it is located. Uses not specifically listed must be approved by the FBC Administrator in accordance with Sec. 6.1.1.B.

B. Unlisted Uses

1. Principal Uses

- a. A principal use not specifically listed in Sec. 6.1.2 is prohibited. If a principal use is not listed then the FBC Administrator will, upon the request of any interested party, make a determination within which sub-district, if any, a proposed use is allowed.
- b. When determining whether a proposed use is similar to a listed use, the FBC Administrator will consider the following criteria:
 - i. The actual or projected characteristics of the proposed use;
 - ii. The relative amount of site area or floor area and equipment devoted to the proposed use;
 - iii. Relative amounts of sales;
 - iv. The customer type;
 - v. The relative number of employees;
 - vi. Hours of operation;
 - vii. Building and site arrangement;
 - viii. Types of vehicles used and their parking requirements;

- ix. The number of vehicle trips generated;
 - x. How the proposed use is advertised;
 - xi. The likely impact on surrounding properties; and
 - xii. Whether the activity is likely to be found independent of the other activities on the site.
- c. Where a use not listed is found by the FBC Administrator not to be similar to any other permitted use, the use can only be permitted following a text amendment.
- ##### 2. Accessory Uses

An accessory use not specifically listed is Sec. 6.1.2 is prohibited unless the FBC Administrator determines the accessory use:

- a. Is clearly incidental to and customarily found in connection with an allowed principal use;
- b. Is serving an allowed principal use;
- c. Is subordinate in area, extent and purpose to the principal use served;
- d. Contributes to the comfort, convenience or needs of occupants, business or industry in the principal use served; and
- e. Is located on the same lot as the principal use served.

C. Key to the Allowed Use Table

1. Permitted Uses (P)

A "P" in a cell indicates that a use is allowed by-right in the respective sub-district. Permitted uses are subject to all other applicable regulations of this Code and the City of Fort Worth Zoning Ordinance. A "P*" in any cell means that supplemental use standards apply. The specific section number of the supplemental standards are noted in the right-hand column, titled "Supplemental Use Standards."

2. Special Exception Required (SE)

An "SE" in a cell indicates that a use is allowed only if reviewed and approved as a special exception use in the respective sub-district, in accordance with the review procedures of Chapter 3, Article 3 of the City of Fort Worth Zoning Ordinance. An "SE*" in any cell means that supplemental standards use also apply. The specific section number of the supplemental standards are noted in the right-hand column, titled "Supplemental Use Standards."

3. Uses Not Allowed

A "--" indicates that a use is not allowed in the respective sub-district.

Sec. 6.1.2. Allowed Use Table

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Residential Uses										
Household Living										
One-family detached dwelling	--	--	--	--	--	--	--	--	--	
Two-family detached	--	--	--	--	--	--	--	--	--	
Duplex/two-family attached dwelling	--	--	--	--	--	--	--	--	--	
One-family attached (townhouse, rowhouse)	--	--	P	--	P	P	P	P	P	
Multifamily dwelling	P*	--	P	--	P	P	P	P	P	Sec. 6.2.1
One dwelling unit (when part of a business)	P	--	P	--	P	P	P	P	P	
Group Living										
Boarding House	--	--	--	--	--	--	--	--	--	
Community Home	--	--	--	--	P*	P*	P*	P*	P*	§ 5.110 (City Zoning Ordinance)
Group Home I	--	--	--	--	P*	P*	P*	P*	P*	§ 5.115 (City Zoning Ordinance)
Group Home II	--	--	--	--	P*	P*	P*	P*	P*	§ 5.115 (City Zoning Ordinance)
Halfway House	--	--	--	--	--	--	--	--	--	
Shelter	--	--	--	--	--	--	--	--	--	
Public and Civic Uses										
Education										
College or University	--	--	--	--	--	--	--	--	--	
Day Care Center (Child or Adult)	--	--	--	--	P*	P*	P*	P*	P*	§ 5.111 (City Zoning Ordinance)
School, Elementary or Secondary (Public)	--	--	--	--	--	P	P	P	--	
School, Elementary or Secondary (Private)	--	--	--	--	--	P	P	P	--	
Business College or Commercial School	P	P	P	P	P	P	P	P	P	
Government										
Animal Shelter	--	--	--	--	--	--	--	--	--	
Correctional Facility	--	--	--	--	--	--	--	--	--	
Government Maintenance Facility	--	--	--	--	--	--	--	--	--	
Government Office Facility	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Government										
Governmental Vehicle Storage/ Junkyard	--	--	--	--	--	--	--	--	--	
Museum, Library or Fine Art Center	P	P	P	P	P	P	P	P	P	
Probation or Parole Office	--	--	--	--	--	--	--	--	P	
Health Care Facilities										
Ambulance Dispatch Station	--	--	--	--	--	--	--	--	P	
Assisted Living Facility	--	--	--	--	P	P	P	P	P	
Blood Bank	--	--	--	--	--	--	--	--	P	
Care Facility	--	--	--	--	P	P	P	P	P	
Health Services Facility, including Doctor's or Medical Office					P	P	P	P	P	
Hospice	--	--	--	--	P	P	P	P	P	
Hospital	--	--	--	--	--	--	--	--	--	
Massage Therapy and Spa	P	P	P	P	P	P	P	P	P	
Nursing Home (with Full Medical Services)	--	--	--	--	P	P	P	P	P	
Recreation										
Center, Community Recreation or Welfare	--	--	--	--	P	P	P	P	P	
Center, Community Recreation or Welfare (private or non-profit)	--	--	--	--	P	P	P	P	P	
Country Club (private)	--	--	--	--	--	--	--	--	--	
Country Club (public)	--	--	--	--	--	--	--	--	--	
Golf Course	--	--	--	--	--	--	--	--	--	
Golf Driving Range	--	--	--	--	--	--	--	--	--	
Park or Playground (public or private)	P	P	P	P	P	P	P	P	P	
Religious										
Place of Worship	P	P	P	P	P	P	P	P	P	
Place of Worship Auxiliary Use	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Utilities										
Electric Power Substation	--	--	--	--	SE	SE	SE	SE	SE	
Gas Lift Compressor Station	--	--	--	--	SE	SE	SE	SE	SE	Ch. 15, Gas City Code
Gas Line Compressor Station	--	--	--	--	SE	SE	SE	SE	SE	Ch. 15, Gas City Code
Power Plant or Central Station Light	--	--	--	--	--	--	--	--	--	
Stealth Telecommunications Towers	--	--	--	--	SE*	SE*	SE*	SE*	SE*	§ 5.137 (City Zoning Ordinance)
Telecommunications Antenna (on structure)	--	SE*	§ 5.133 (City Zoning Ordinance)							
Telecommunications Tower	--	--	--	--	SE*	SE*	SE*	SE*	SE*	§ 5.137 (City Zoning Ordinance)
Utility Transmission or Distribution Line	SE*	§ 5.140 (City Zoning Ordinance)								
Wastewater (Sewage) Treatment Facility	--	--	--	--	--	--	--	--	--	
Water Supply, Treatment or Storage Facility	--	--	--	--	SE	SE	SE	SE	SE	
Commercial Uses										
Entertainment and Eating										
Amusement, Indoor	P	P	P	P	P	P	P	P	P	
Amusement, Outdoor	--	--	--	--	--	--	--	--	--	
Baseball, Softball Facility (commercial)	--	--	--	--	--	--	--	--	--	
Bar, Tavern, Cocktail Lounge; Club, Private or Teen	P	P	P	P	P	P	P	P	P	
Brewpub	P	P	P	P	P	P	P	P	P	
Circus	--	--	--	P	--	P	P	--	--	
Club, Commercial or Business	P	P	P	P	P	P	P	P	P	
Drive-In Restaurant or Business	--	--	--	--	--	--	--	--	P*	<u>Sec. 6.2.2</u>
Health or Recreation Club	P	P	P	P	P	P	P	P	P	
Indoor Recreation	P	P	P	P	P	P	P	P	P	
Lodge or Civic Club	P	P	P	P	P	P	P	P	P	
Museum/Cultural Facility	P	P	P	P	P	P	P	P	P	
Racing: Horse, Dog or Automotive	--	--	--	--	--	--	--	--	--	

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	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Entertainment and Eating										
Restaurant, Cafe, Cafeteria	P*	Chap 9, Restaurants								
Sexually Oriented Business	--	--	--	--	--	--	--	--	--	
Shooting or Weapons Firing Range	--	--	--	--	--	--	--	--	--	
Stable, Commercial, Riding, Boarding or Rodeo Arena	P	P	P	P	--	P	P	--	--	
Swimming Pool, Commercial	--	--	--	--	--	--	--	--	--	
Theater, Drive-In	--	--	--	--	--	--	--	--	--	
Theater, Movie Theater or Auditorium	P*	§ 5.138 (City Zoning Ordinance)								
Lodging										
Bed and Breakfast Home	--	--	--	--	--	--	--	--	--	
Bed and Breakfast Inn	P	P	P	P	P	P	P	P	P	
Hotel, Motel or Inn	P	P	P	P	P	P	P	P	P	
Office										
Bank, Financial Institution	P	P	P	P	P	P	P	P	P	
Office	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										
Antique Shop	P	P	P	P	P	P	P	P	P	
Appliance, Sales, Supply or Repair	P	P	P	P	P	P	P	P	P	
Bakery	P	P	P	P	P	P	P	P	P	
Barber or Beauty Shop	P	P	P	P	P	P	P	P	P	
Book, Stationary Stores or Newsstand	P	P	P	P	P	P	P	P	P	
Burglar Alarm Sales and Service	P	P	P	P	P	P	P	P	P	
Caterer or Wedding Service	P	P	P	P	P	P	P	P	P	
Clothing/Wearing Apparel Sales, New	P	P	P	P	P	P	P	P	P	
Clothing/Wearing Apparel Sales, Used	P	P	P	P	P	P	P	P	P	
Convenience Store	P	P	P	P	P	P	P	P	P	
Copy Store or Commercial Print Without Off-Set Printing	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										

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	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Dance Studio	P	P	P	P	P	P	P	P	P	
Dressmaking, Custom; Millinery Shop	P	P	P	P	P	P	P	P	P	
Duplicating Services	P	P	P	P	P	P	P	P	P	
Farmer's Market	P	P	P	P	P	P	P	P	P	
Feed Store, No Processing/Milling	P	P	P	P	P	P	P	P	P	
Firewood Sales	P*	§ 5.113 (City Zoning Ordinance)								
Furniture Sales in a Building (new/used)	P	P	P	P	P	P	P	P	P	
Furniture Sales with Outside Storage/Display (new/used)	--	P	P	P	--	P	--	--	P	
Furniture Upholstery, Refinishing or Resale	P	P	P	P	P	P	P	P	P	
General Merchandise Store	P	P	P	P	P	P	P	P	P	
Greenhouse or Plant Nursery	--	--	--	--	P	P	P	P	P	
Grocery Store, Meat Market	P	P	P	P	P	P	P	P	P	
Gunsmithing, Repair or Sales	P	P	P	P	P	P	P	P	P	
Home Improvement Sales	P	P	P	P	P	P	P	P	P	
Interior Decorating	P	P	P	P	P	P	P	P	P	
Laundry or Dry Cleaning Collection Office	--	--	--	--	P	P	P	P	P	
Laundry, Dry Cleaning or Washeteria	--	--	--	--	P	P	P	P	P	
Leather Goods Shop	P	P	P	P	P	P	P	P	P	
Liquor or Package Store	P	P	P	P	P	P	P	P	P	
Livestock Auction	P	P	P	P	--	P	P	--	--	
Locksmith	P	P	P	P	P	P	P	P	P	
Medical Supplies/Equipment Sales	P	P	P	P	P	P	P	P	P	
Mini-Warehouse	--	--	--	--	--	--	--	--	--	
Mortuary or Funeral Home	P	P	P	P	P	P	P	P	P	
Newspaper Distribution Center	--	--	--	--	--	--	--	--	--	
Optician	P	P	P	P	P	P	P	P	P	
Retail Sales and Service										

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	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Pawn Shop	--	--	--	--	--	--	--	--	P	
Pharmacy (Drug Store)	P	P	P	P	P	P	P	P	P	
Photograph, Portrait/Camera Shop or Photo Finishing	P	P	P	P	P	P	P	P	P	
Recording Studio	P*	§ 5.128 (City Zoning Ordinance)								
Retail Sales, General	P	P	P	P	P	P	P	P	P	
Saddle or Harness, Repair or Sales	P	P	P	P	P	P	P	P	P	
Shoe Shine Shop	P	P	P	P	P	P	P	P	P	
Studio, Art or Photography	P	P	P	P	P	P	P	P	P	
Tailor, Clothing or Apparel Shop	P	P	P	P	P	P	P	P	P	
Tattoo Parlor	P	P	P	P	P	P	P	P	P	
Taxidermist Shop	P	P	P	P	P	P	P	P	P	
Veterinary Clinic w/Indoor Kennels	--	P	P	P	P	P	P	P	P*	§ 5.142 (City Zoning Ordinance)
Veterinary Clinic w/Outdoor Kennels	--	P	P	P	--	P	P	--	P	
Vehicle Sales and Service										
Auto Parts Supply, Retail	--	--	--	--	--	--	--	--	P	
Automotive Repair; Paint and Body Shop	--	--	--	--	--	--	--	--	--	
Car Wash, Full or Self-Service	--	--	--	--	--	--	--	--	P	
Gasoline Sales	--	--	--	--	--	--	--	--	P	
Mobile Home or Manufactured Housing Sales	--	--	--	--	--	--	--	--	--	
Recreational Vehicle (RV) Sales/ Service	--	--	--	--	--	--	--	--	--	
Service Station	--	--	--	--	--	--	--	--	--	
Towing Yard w/ Office	--	--	--	--	--	--	--	--	--	
Truck Stop w/ Fuel and Accessory Services	--	--	--	--	--	--	--	--	--	
Vehicle Junkyard	--	--	--	--	--	--	--	--	--	
Vehicle Sales or Rental Showrooms or Kiosks; Including Automobiles, Motorcycles, Boats or Trailers	--	--	P	P	--	P	P	--	P	
Vehicle Steam Cleaning	--	--	--	--	--	--	--	--	P	
Light Industrial Uses										

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	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Light Industrial Services										
Assaying	--	--	--	--	--	--	--	--	--	
Assembly of Pre-Manufactured Parts, Except for Vehicles, Trailers, Airplanes or Mobile Homes	--	--	--	--	--	--	--	--	--	
Bottling Works, Milk or Soft Drinks	--	--	--	--	--	--	--	--	--	
Blacksmithing or Wagon Shop	P	P	P	P	P	P	P	P	P	
Brewery, Distillery or Winery	P	P	P	P	P	P	P	P	P	
Carpet and Rug Cleaning	--	--	--	--	--	--	--	--	--	
Chicken Battery or Brooder	--	--	--	--	--	--	--	--	--	
Coal, Coke or Wood Yard	--	--	--	--	--	--	--	--	--	
Cottage Manufacturing Uses	P	P	P	P	P	P	P	P	P	
Crematorium	--	--	--	--	--	--	--	--	--	
Electroplating	--	--	--	--	--	--	--	--	--	
Fabricating of Manufactured Housing, Temporary or Office Building	--	--	--	--	--	--	--	--	--	
Food Processing (no slaughtering)	P	P	P	P	P	P	P	P	P	
Galvanizing, Small Utensils	--	--	--	--	--	--	--	--	--	
Machine Shops	--	--	--	--	--	--	--	--	--	
Manufacture of Artificial Flowers, Ornaments, Awnings, Tents, Bags, Cleaning/Polishing Preparations, Boats Under 28'	--	--	--	--	--	--	--	--	--	
Manufacture of Aluminum, Brass or Others Metals or from Bone, Paper, Rubber, leather	--	--	--	--	--	--	--	--	--	
Manufacture of Basket Material, Bicycles, Boots/Shoes, Boxes, Caskets	--	P	P	P	--	P	P	--	P	
Manufactured Home/RV Repair	--	--	--	--	--	--	--	--	--	
Monument/Marble Works, Finishing and Carving Only	--	P	P	P	--	P	P	--	P	

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 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Light Industrial Services										
Monument Works, Stone	--	P	P	P	--	P	P	--	P	
Paint Mixing or Spraying	--	--	--	--	--	--	--	--	--	
Paper Box Manufacture	--	--	--	--	--	--	--	--	--	
Pattern Shop	--	P	P	P	--	P	P	--	P	
Printing, Lithographing, Book-Binding, Newspapers or Publishing	--	P	P	P	--	P	P	--	P	
Rubber Stamping, Shearing/Punching	--	P	P	P	--	P	P	--	P	
Rubber Stamp Manufacture	--	--	--	--	--	--	--	--	--	
Sheet Metal Shop	--	--	--	--	--	--	--	--	--	
Warehouse or Bulk Storage	P	P	P	P	P	P	P	P	P	
Welding Shop, Custom Work (not structural)	--	P	P	P	--	P	P	--	P	
Yards, Contractors, Lumber or Storage, Automobiles, Storage Yards, Building Materials	--	--	--	--	--	--	--	--	--	
Heavy Industrial Uses										
All Heavy Industrial Manufacturing	--	--	--	--	--	--	--	--	--	
Transportation										
Airport, Aviation Field, Helistop or Landing Area	--	--	--	--	--	--	--	--	--	
Passenger Station	--	P	P	P	--	P	P	--	--	
Railroad Freight or Classification Yard	--	--	--	--	--	--	--	--	--	
Railroad Roundhouse or Railroad Car Repair Shop	--	P	--	P	--	--	--	--	--	
Railroad Tracks, Team, Spur or Storage	--	P	P	P	--	P	P	--	--	
Terminal: Truck, Freight, Rail or Water	--	--	--	--	--	--	--	--	--	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Waste Related										
Landfill, Recycling Center, Household Hazardous Waste or Waste Tire Facility	--	--	--	--	--	--	--	--	--	
Pet Cemetery	--	--	--	--	--	--	--	--	--	
Recycling Collection Facility	--	--	--	--	--	--	--	--	SE*	§ 5.130 (City Zoning Ordinance)
Salvage Yard (other than automotive)	--	--	--	--	--	--	--	--	--	
Wholesale Trade										
Wholesale: Bakery, Produce Market or Wholesale House	P	P	P	P	P	P	P	P	P	
Wholesale Office or Sample Room	--	--	--	--	--	--	--	--	P	
Other Uses										
Agricultures										
Agricultural Uses	--	P	P	P	--	P	P	--	--	
Community Garden	--	--	P	P	P	P	P	P	P	
Stockyards or Feeding Pens (commercial/noncommercial)	--	P	P	P	--	P	P	--	--	
Fresh Water Fracture Ponds and Production	--	--	--	--	--	--	--	--	--	
Gas Drilling and Production	--	--	P*	Ch. 15, Gas City Code						
Oil Drilling and Production	--	--	--	--	--	--	--	--	--	
Accessory Uses										
Accessory Use or Building	P	P	P	P	P	P	P	P	P	
Home Occupation	P*	--	P*	--	P*	P*	P*	P*	P*	§ 5.116A (City Zoning Ordinance)
Outdoor Display	P*	Sec. 7.5.2								
Limited Outdoor Storage	P*	Sec. 7.5.3								
General Outdoor Storage	--	--	--	--	--	--	--	--	--	Sec. 7.5.4
Satellite Antenna (dish)	P	P	P	P	P	P	P	P	P	
Solar Energy Equipment	P	P	P	P	P	P	P	P	P	
Wind Energy Equipment	P	P	P	P	P	P	P	P	P	
Rain Water Harvesting Equipment	P	P	P	P	P	P	P	P	P	
Utility Equipment (includes electrical transformers, gas meters, etc.)	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required

SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

	SY-HSH	SY-HCO	SY-TMC	SY-TNF	SY-TNX	SY-TNE	SY-TSA	SY-ENX	SY-ECC	Supplemental Use Standards
Recreational Vehicle Park	--	--	P	P	--	P	P	--	--	
Temporary Uses										
Amusement, Outdoor	SE*	§ 5.400 (City Zoning Ordinance)								
Batch Plant, Concrete or Asphalt	--	--	--	--	--	--	--	--	--	
Garage or Other Occasional Sale	P	--	P	--	P	P	P	P	P	
Model Home	--	--	--	--	--	--	--	--	--	
Residence for Security Purposes	SE*	§ 5.404 (City Zoning Ordinance)								
Special Event (subject to City's special events ordinance)	P	P	P	P	P	P	P	P	P	
Temporary construction offices, storage sheds, trailers, barricades, fences	P*	<u>Sec. 6.2.3</u>								
Trailer, Portable, Sales or Storage	P	P	P	P	P	P	P	P	P	
Vendor, Food, Mobile Food Court	P*	<u>Sec. 6.2.4</u>								
Vendor, Merchandise	P*	<u>Sec. 6.2.4</u>								
Vendor, Transient	P*	<u>Sec. 6.2.4</u>								
Sales from Kiosks	P	P	P	P	P	P	P	P	P	

P = Permitted P* = Permitted must also meet supplemental use standards SE = Special Exception Required
 SE* = Special Exception required and must also meet supplemental use standards -- = Not Permitted

Div. 6.2. Use Standards

Sec. 6.2.1. Multifamily Dwelling

A multifamily dwelling is only allowed in the upper stories of a building. A lobby or other entrance is allowed on the ground floor.

Sec. 6.2.2. Drive-in Restaurant or Business

- A. Adequate space must be made available on-site for the stacking, storage and queuing of vehicle.
- B. Where allowed, vehicles using drive-in or drive-thru facilities may not encroach on or interfere with the public use of streets and sidewalks by vehicles or pedestrians.
- C. All drive-thru, including but not limited to menu boards, stacking lanes, trash receptacles, ordering box, drive up windows, and other objects associated with the drive-thru, must be located to the side or rear of the building. Drive-thru windows and lanes may not be placed between a public street (not including an alley) and the associated building.

Sec. 6.2.3. Temporary Construction Facilities

- A. Temporary construction offices, storage sheds, trailers, barricades and fences will be allowed as necessary during the construction or restoration of buildings.
- B. Facilities must be placed as inconspicuously as possible.
- C. Construction fences must ensure the safety of pedestrians and motorists. Screening designs should have elements or references to the associated building under construction, with the exception of art project on the construction fence.
- D. It is not permitted to advertise for any off-site or non-property related entity (e.g., general contractor, financial institution).
- E. Off-site construction storage and construction trailers must meet the following:

- 1. Any plans for off-site storage of construction materials or construction trailers for new construction projects must be included with construction plans.
- 2. Construction trailers must be located within the designated limits of construction.
- 3. Sites used of off-site construction materials or construction trailers must be cleared before any issuance of a certificate of occupancy.
- 4. Off-site construction trailers will be limited to cases where site characteristic make it difficult or impractical to locate a trailer on the construction site.
- F. The Historic & Cultural Landmarks Commission will review plans for projects located in the Historic District and the Urban Design Commission will review plans for sites in the Transition and Edge Districts.

Sec. 6.2.4. Mobile Vendors

The requirements of § 5.406 of the City of Fort Worth Zoning Ordinance apply, except as listed below:

- A. § 5.406.C.3.
- B. § 5.406.C.4.
- C. § 5.406.C.13.
- D. § 5.406.D.1.
- E. § 5.406.D.2.
- F. § 5.406.F.1.e. is replaced as follows:

Restrooms must be provided within the boundaries of the Mobile Vendor Food Court. At least 1 restroom must be provided for each Mobile Vending Unit.
- G. § 5.406.F.2.
- H. § 5.406.F.3.
- I. § 5.406.F.5.
- J. § 5.406.F.6.
- K. § 5.406.F.7.

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Div. 7.1. Parking and Access

Sec. 7.1.1. Pedestrian Access

A. Access Required

All development must provide safe, direct and convenient pedestrian access connecting public streets and parking lots to primary building entrances, and to all other uses in the development that allow for public access.

B. Pedestrian Facilities

1. Pedestrian access must consist of an accessible, easily discernible, well-lit, and ADA compliant walkway a minimum of 5 feet in width.
2. The pedestrian access surface located on private property must be paved with fixed, non-slip semi-pervious or impervious materials.
3. Pedestrian access routes between buildings and parking areas must be physically separated from drive aisles, except when crossing a drive aisle.
4. Where a pedestrian walkway crosses a drive aisle, the walkway must have a continuous surface treatment across the drive aisle.

Sec. 7.1.2. Vehicle Parking

Vehicle parking spaces must be provided in accordance with § 6.201, Off-Street Parking Requirements, of the City of Fort Worth Zoning Ordinance.

Sec. 7.1.3. Bicycle Parking

Bike parking spaces must be provided in accordance with § 6.204, Bicycle Parking, of the City of Fort Worth Zoning Ordinance.

Sec. 7.1.4. Location of Vehicle Parking

Required vehicle parking must be located on the same lot as the use they are intended to serve, except as listed below.

A. On-Street Parking

1. One on-street parking space may be substituted for every required parking space, provided the on-street space is located on a public right-of-way immediately abutting the subject property. On-street parking spaces do not count towards the parking maximum.
2. Each on-street parking space may only be counted for one property. Where a space straddles an extension of a property line, the space may only be counted by the owner whose property abuts 50% or more of the on-street parking space.

B. Remote Parking

1. All required parking spaces, except required accessible spaces, can be located off site if the remote parking area is located within 500 feet from the primary entrance of the use served.
2. Up to 50% of the required parking spaces may be located more than 500 feet off site, if the parking area is located within 1,320 feet from the primary entrance of the use served.
3. All remote parking spaces used to meet the vehicle parking requirement must be located within the boundaries of the Stockyards Form District.
4. The distance of the off-site parking area is measured in walking distance from the nearest point of the off-site parking area to the primary entrance of the use served.
5. All off-site parking areas must have a City-approved remote parking agreement as part of the approved site plan.

Sec. 7.1.5. Parking Setbacks

A. General

1. The parking setback applies to that portion of the lot that fronts a designated Frontage.
2. All parking spaces must be located behind the parking setback line (surface and structured).
3. Parking below and covered by the ground may encroach into a required parking setback but cannot extend into a required easement or the right-of-way.
4. The parking setback is measured perpendicular from the lot line inward.

B. Historic Districts

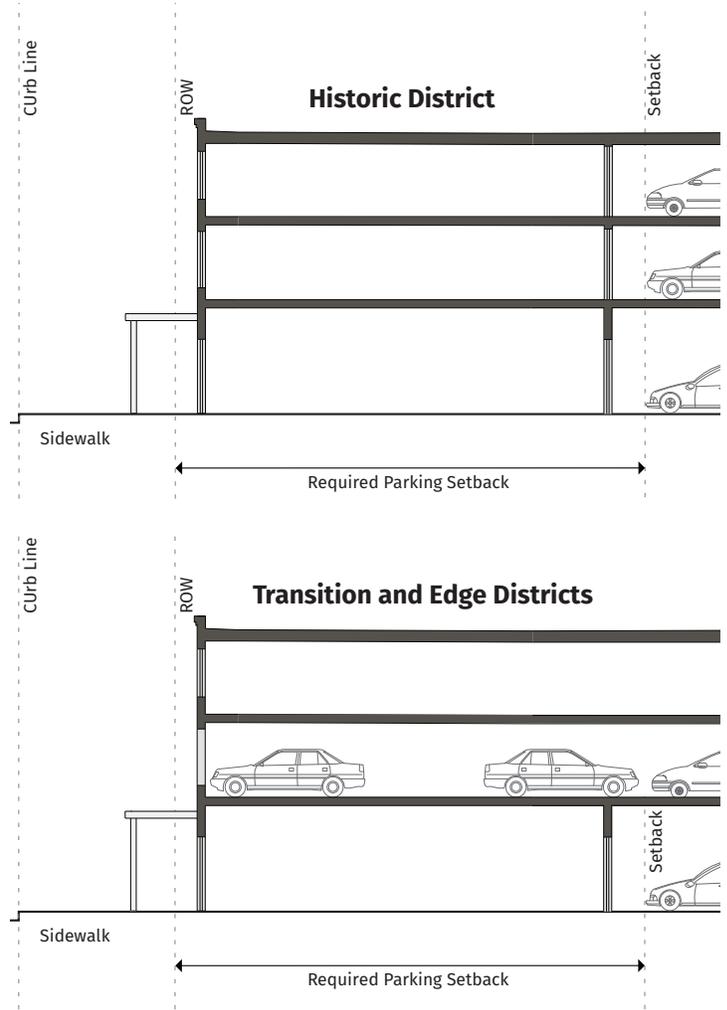
The parking setback applies to all surface parking and the ground and upper stories of all buildings.

C. Transition Districts

1. The parking setback applies to all surface parking and the ground stories of all buildings.
2. Parking spaces on upper stories that face a designated Frontage must be screened in accordance with [Sec. 7.1.6.](#)

D. Edge Districts

1. The parking setback applies to all surface parking and the ground stories of all buildings.
2. Parking spaces on upper stories that face a designated Frontage must be screened in accordance with [Sec. 7.1.6.](#)

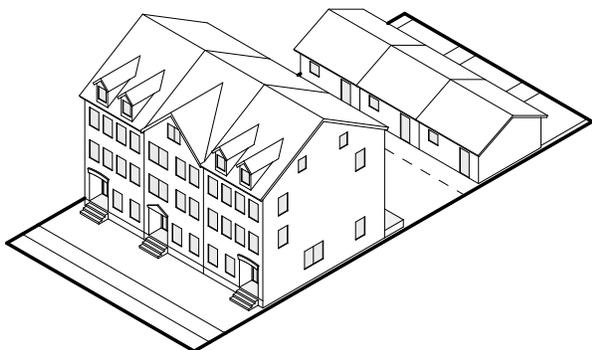


Sec. 7.1.6. Parking Structure Screening

- A. Where upper stories of structured parking are located at the perimeter of a building facing a designated Frontage they must be screened to hide park and shield lighting with glazing, metal grillwork, louvers, vegetation or another type of architectural treatment.
- B. Sloped ramps cannot be discernible along the perimeter of the parking structure.
- C. The ground floor facade treatment (building materials, windows and architectural detailing) must continued on upper stories.

Sec. 7.1.7. Residential Garages

- A. Residential garages must be placed entirely to the rear of the unit and be rear-accessed. The garage can be attached or detached.
- B. All garage doors must face a rear alley or rear access drive.



- 3. Loading areas may not be placed between a public street (not including an alley) and the associated building.
- 4. Loading areas must be located to the rear of buildings Screening?.
- 5. No designated loading area is allowed within 50 feet of a ground floor residential use (measured from the residential lot line to the closest point of the loading area).

Sec. 7.1.8. Vehicle Loading

A. Applicability

If determined necessary by the FBC Administrator, adequate space must be made available on-site for the unloading and loading of goods, materials, items or stock for delivery and shipping, otherwise on-site loading space is not required.

B. Location

If a loading area is provided or required, it must meet the following.

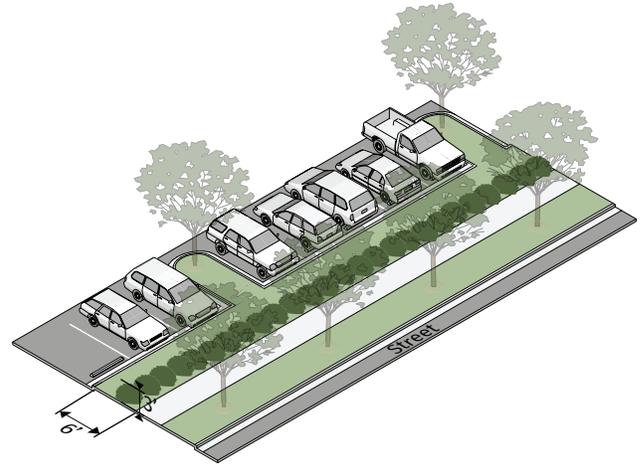
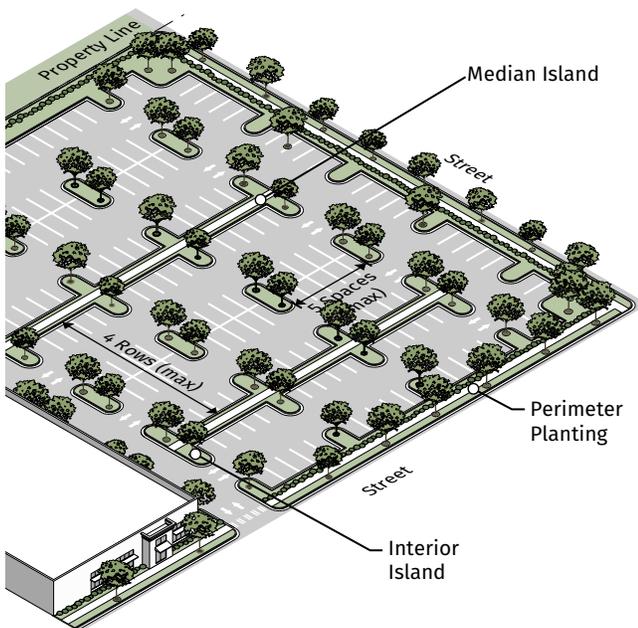
- 1. With the exception of areas specifically designated by the City, loading and unloading activities are not permitted on a public street, not including an alley.
- 2. Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking areas and parking areas.

Div. 7.2. Landscaping

Sec. 7.2.1. Parking Lots

A. Applicability

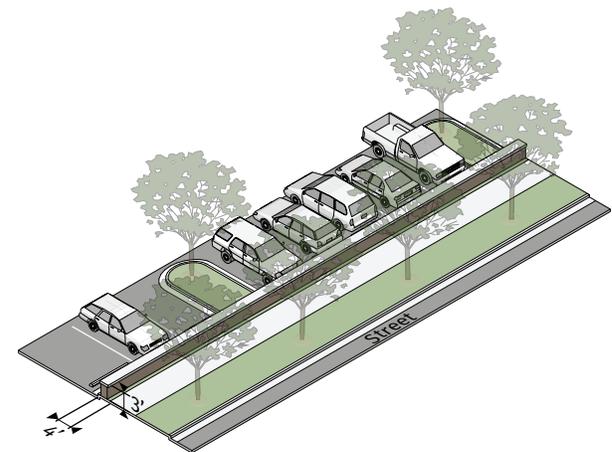
Parking lot landscaping is required for all on-site surface vehicle parking areas with more than 10 spaces. Multiple platted lots contained on a single site plan, under one owner or development entity, and any separate parking areas connected with drive aisles are considered a single parking area.



- i. All required shrubs must be of a species that under typical conditions are expected to reach a minimum height and spread of 3 feet within 3 years of planting. All shrubs must be a minimum of 2 feet tall when planted.
- ii. All required shrubs must form at least one continuous row of shrubs.
- iii. All perimeter screening shall not exceed four (4) feet in height.

2. Perimeter Planting with Wall

A minimum 4-foot wide landscape strip with a 3-foot high wall.



B. Trees in Surface Parking Lots

All new construction projects shall provide at least 40% tree canopy coverage of surface parking lots.

C. Perimeter Planting

One of the following perimeters screen is required along the outer perimeter of all parking areas (of any size) abutting a public or private street (not including an alley), excluding breaks for pedestrians, bicycles and driveways.

1. Perimeter Planting with Shrubs

- a. A minimum 6-foot wide landscape strip planted with 3-foot high continuous row of shrubs.

D. Curbing

All curbing must have openings to allow drainage to enter and percolate through landscaped areas.

Sec. 7.2.2. Plant Material

A. General Provisions

1. An automatic irrigation system is required in all landscape areas, and must be installed prior to plant of landscape materials.
2. No artificial plants, trees, or other vegetation may be installed as required landscaping.
3. Native or locally-adapted plants and species are preferred.
4. Required landscaping must be installed for full root contact with the surrounding subgrade. Planters planted on paved surfaces are not permitted.
5. Shrubs cannot be planted within the critical root zone of any tree.

B. Large Canopy Trees

1. Large canopy trees must be selected from § 6.302 Table F. Preferred Tree List (City of Fort Worth Zoning Ordinance).
2. Large canopy trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 3 inches and have a 6-foot clear trunk before branching.

C. Small and Medium Canopy Trees

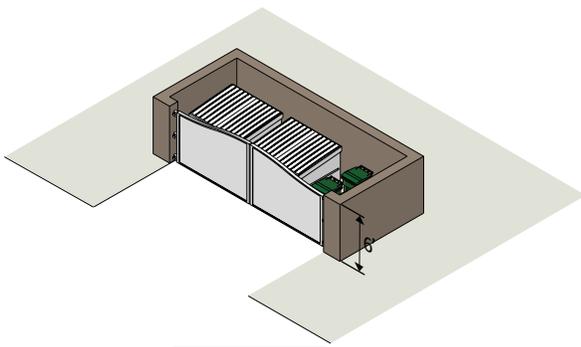
1. Small and medium canopy trees must be selected from § 6.302 Table F. Preferred Tree List (City of Fort Worth Zoning Ordinance).
2. Small and medium canopy single-stem trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 2 inches and have a 5-foot clear trunk before branching.

3. Small and medium canopy multi-stem trees planted to meet the street tree or parking lot landscaping requirements must have a minimum caliper of 2½ inches and have a 5-foot clear trunk before branching.

Sec. 7.2.3. Screening

A. Service Areas

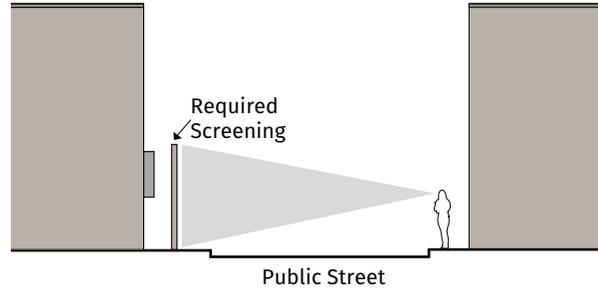
1. Trash and recycling collection and other similar service areas must be located to the rear of buildings.
2. Service areas must be screened on 3 sides by a wall a minimum 6 feet in height or to the top of the equipment, whichever is higher up to 8 feet maximum and on the 4th side by a solid gate at a minimum of 6 feet in height.



3. The gate and wall must be maintained in good working order and must remain closed except when trash pick-ups occur.
4. Trash and recycling collection and other similar service areas must be located on a concrete base.

B. Wall-Mounted Equipment

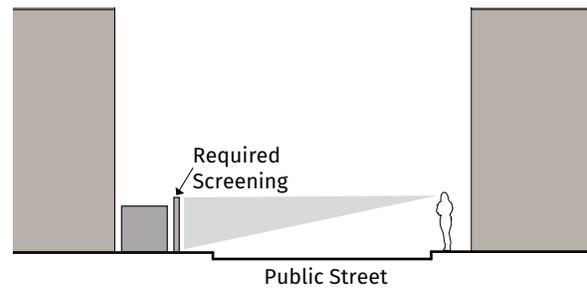
1. When feasible, wall-mounted equipment, not including antennas, must be located on non-street-facing building facades or structures.
2. Wall-mounted equipment, not including antennas, located on any building facade or structure that is visible from a private or public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.



3. Screening must be of a height equal to the height of the mechanical equipment being screened.

C. Ground-Mounted Equipment

1. Ground-mounted mechanical equipment must be located to the rear of buildings.
2. Ground-mounted mechanical equipment above 30 inches in height that is visible from a public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.

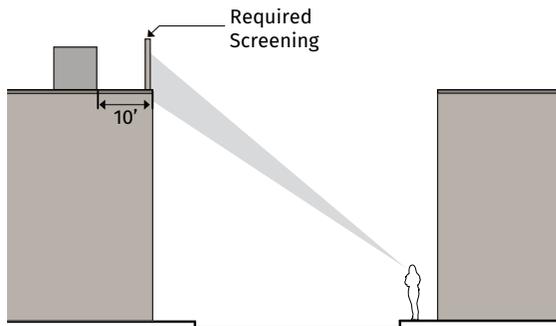


3. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.

D. Roof-Mounted Equipment

1. Roof-mounted equipment must be set back at least 10 feet from the edge of the roof and screened from ground level view from abutting property or abutting private or public street (not including an alley).

2. New buildings must provide a parapet wall up to 6 feet in height or other architectural element that is compatible with the principal building in terms of texture, quality, material and color that fully screens roof-mounted equipment from ground level view.



3. For buildings with no or low parapet walls, roof-mounted equipment must be screened on all sides by an opaque screen compatible with the principal building in terms of texture, quality, material and color.

Sec. 7.2.4. Walls and Fences

A. Materials

1. Walls must be constructed of high quality materials including decorative blocks, brick, stone, cast-stone, split-faced block, stucco over standard concrete masonry blocks, glass block; or other material approved by the FBC Administrator.
2. Fences must be constructed of high quality materials including; wood, wrought iron; composite fencing; aluminum; metal; or other material approved by the FBC Administrator.
3. No wall or fence may be constructed of tires, junk, or other discarded materials.
4. Chain-link fence, barbed wire or concertina wire is not allowed.

B. Location

1. Walls and fences may be located on the lot line.
2. No wall or fence may be located within any required easement.
3. The maximum length of a continuous, unbroken and uninterrupted wall or fence plane is 50 feet. Breaks must be provided through the use of columns, landscaped areas, transparent sections or a change in material.

C. Height

1. Wall or fence height is measured from the subject property grade to the highest point of the wall or fence.
2. A wall or fence abutting a common lot line may be no more than 8 feet in height.
3. A wall or fence located in front yard or side street yard may be no more than 4 feet in height.

Div. 7.3. Site Lighting

Sec. 7.3.1. Applicability

A. New Fixtures

All lighting fixtures installed outside of the public right-of-way after the effective date of this Code must conform to all applicable standards of this Division.

B. Existing Fixtures

1. Routine maintenance, including changing the lamp, ballast, starter, photo control, fixture housing, lens and other required components, is allowed for all existing fixtures.
2. The installation of site lighting, replacement of site lighting and changes to existing light fixture wattage, type of fixture, mounting or fixture location must be made in compliance with this Division.

Sec. 7.3.2. Lighting Standards

A. Light Level Measuring

1. Light levels are specified, calculated and measured in footcandles. All footcandles values are maintained footcandles.
2. Measurements are to be made at ground level, with the light-registering portion of the meter held parallel to the ground pointing up.

B. Prohibited Sources

The following light fixtures and sources cannot be used:

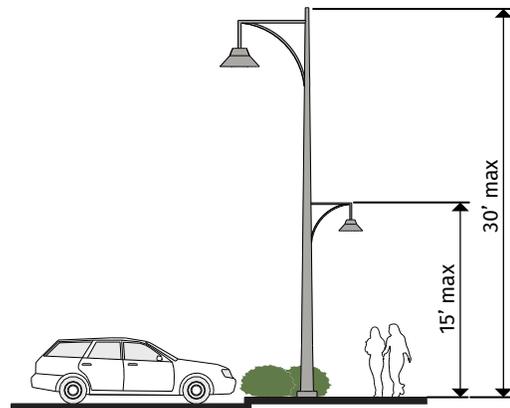
1. Cobra-head-type fixtures having dished or drop lenses or refractors, which contain sources that are not incandescent; and
2. Temporary searchlights and other high-intensity narrow-beam, moving uplight fixtures.

C. Design and Installation

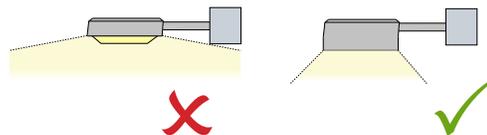
1. The maximum light level of any light fixture measured at the right-of-way line of a street cannot exceed an average of 2.5 footcandles. The uniformity ratio should be no more than 4:1.
2. Light sources must have a Color Rendering Index (CRI) value of 80 or higher.
3. Lighting must not be oriented onto adjacent properties, streets or sidewalks.
4. Service connections for all freestanding lighting fixtures must be installed underground.

D. Parking and Pedestrian Areas

1. Light fixtures within vehicle parking areas may be no higher than 30 feet.
2. Light fixtures within pedestrian areas mounted on poles may be no higher than 15 feet.



3. All light fixtures must be full cutoff, except as listed in paragraph 5. below.

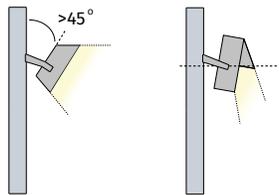


4. Non-cutoff (unshielded) fixtures can be used when the maximum initial lumens generated by each fixture is less than 9,500 initial lamp lumens. These fixtures generally feature globes or vertical glass planes and must be coated with an internal white frosting to diffuse light.

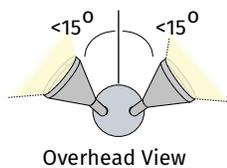


E. Flood Lights and Flood Lamps

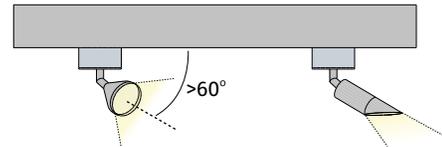
1. Flood light fixtures must either be aimed down at least 45 degrees from vertical or the front of the fixture shielded so that no portion of the light bulb extends below the bottom edge of the shield.



2. Any flood light fixture located within 50 feet of a street right-of-way must be mounted and aimed perpendicular to the right-of-way, with a side-to-side horizontal aiming tolerance not to exceed 15 degrees, except for small building mounted accents used for lighting signs and building features



3. All adjustable flood lamps emitting 1,000 or more lumens must be aimed at least 60 degrees down from horizontal or shielded so that the main beam is not visible from adjacent properties or the right-of-way, except for flagpole lighting.

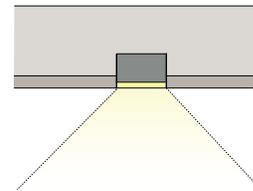


F. Vehicular Canopies

Lighting under vehicular canopies must be less than 24 maintained footcandles and be designed to prevent glare off-site. Acceptable lighting designs include the following:

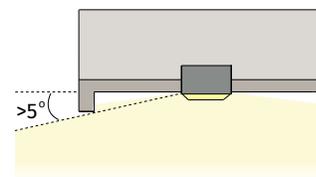
1. Recessed

Recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface of the canopy;



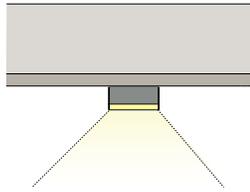
2. Shielded

Light fixture incorporating shields or is shielded by the edge of the canopy itself, so that light is restrained to 5 degrees or more below the horizontal plane;



3. Surface Mounted

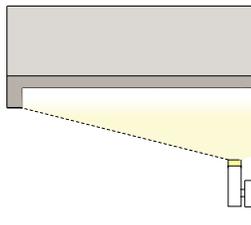
Surface mounted fixture incorporating a flat glass that provides a cutoff design or shielded light distribution; or



3. Only lighting used to accent architectural features, landscaping or art may be directed upward, provided that the fixture is located, aimed or shielded to minimize light spill into the night sky.

4. Indirect

Indirect lighting where light is beamed upward and then reflected down from the underside of the canopy, provided the fixture is shielded so that direct illumination is focused exclusively on the underside of the canopy.



G. Building Lighting

1. Lighting fixtures must be selected, located, aimed and shielded so that direct illumination is focused exclusively on the building facade, plantings and other intended site features and away from adjoining properties and the street right-of-way.
2. All wall pack fixtures must be full cutoff fixtures.



Div. 7.4. Signs

Sec. 7.4.1. Applicability

The sign requirements of Chapter 6, Article 4 of the City of Fort Worth Zoning Ordinance apply, except as listed below:

- A. § 6.403.(f), Window Signs.
- B. § 6.408, Regulations Governing On-Premise Attached Signs in Commercial and Industrial Districts.
- C. § 6.409, Regulations Governing On-Premise Detached Signs in Commercial and Industrial Districts.

Sec. 7.4.2. Sign Types Allowed By District

Signs are allowed by district as set below. Specific requirements for each sign type are shown on the following pages.

	Historic		Transition					Edge	
	HSH	HCO	TMC	TNF	TNX	TSA	TNE	ENX	ECC
A-Frame Sign	P	P	P	P	P	P	P	P	P
Awning Sign	P	P	P	P	P	P	P	P	P
Canopy Sign	P	P	P	P	P	P	P	P	P
Crown Sign	--	--	P	P	--	P	P	--	P
Monument Sign	--	--	--	--	--	--	--	--	P
Projecting Sign	P	P	P	P	P	P	P	P	P
Ranch Entrance Sign	--	--	P	P	--	P	P	--	--
Shingle Sign	P	P	P	P	P	P	P	P	P
Wall Sign	P	P	P	P	P	P	P	P	P
Window Sign	P	P	P	P	P	P	P	P	P

KEY: P = Sign allowed -- = Sign not allowed

Sec. 7.4.3. Sign Placement

- A. For the purpose of this Division, a Frontage means a designated Frontage included on the map in Div. 1.4, District and Frontage Map.
- B. Signs may be placed on any building facade that faces a Frontage, subject to the allocation and sign type regulations below.
- C. Signs may also be placed on any building facade that does not face a Frontage, subject to the allocation and sign type regulations below.

Sec. 7.4.4. Sign Allocation

A. Allocation Not Transferable

Sign allocation must be used on the building facade used to measure the allocation, and may not be transferred to a different building facade.

B. A-Frame Signs

The allocation for an A-frame Sign is in Sec. 7.4.5.

C. Awning, Canopy, Projecting and Wall Signs

- 1. Awning signs, canopy signs, projecting signs and wall signs are allocated a combined sign area of 36 square feet or 1.5 square feet per linear foot of building facade facing a Frontage included on the map in Div. 1.4, District and Frontage Map, whichever is greater.
- 2. Awning signs, canopy signs, projecting signs and wall signs are allocated a combined sign area of 0.5 square feet per linear foot of building facade not facing a Frontage included on the map in Div. 1.4, District and Frontage Map.

D. Crown Signs

The allocation for a Crown Sign is found in Sec. 7.4.8.

E. Monument Signs

- 1. The allocation for a Monument Sign is found in Sec. 7.4.9.
- 2. Properties with more than 1,000 linear feet of frontage included on the map in Div. 1.4, District and Frontage Map are allowed one additional monument sign on that Frontage.
- 3. Monument signs located on the same property must be spaced a minimum of 500 feet apart.

F. Ranch Entrance Signs

The allocation for a Ranch Entrance Sign is in Sec. 7.4.11.

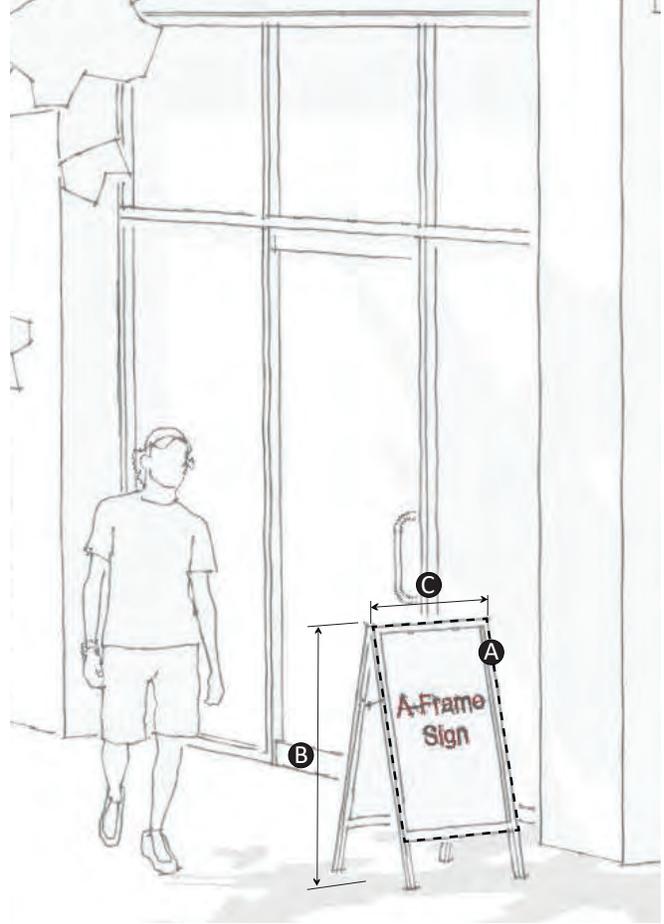
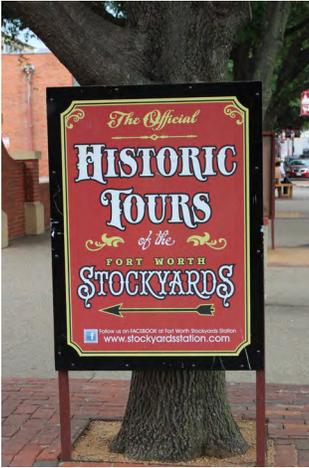
G. Shingle Signs

The allocation for a Shingle Sign is in Sec. 7.4.12.

H. Window Signs

The allocation for Window Signs is in Sec. 7.4.14.

SEC. 7.4.5. A-FRAME SIGN



Description

A movable sign not secured or attached to the ground or surface upon which it is located.

General Provisions

1. An A-frame sign must be placed along a building facade with a customer entrance to a ground-floor tenant space
2. An A-frame sign must be placed no more than 12 feet from the building facade.
3. An A-frame sign must be located at least 25 feet from any other A-frame sign.
4. An A-frame sign must be removed and placed indoors when the tenant space is not open.
5. An A-frame signs must not obstruct vehicular, bicycle or pedestrian traffic and must comply with ADA clearance and accessibility.
6. An A-frame sign must not be illuminated.

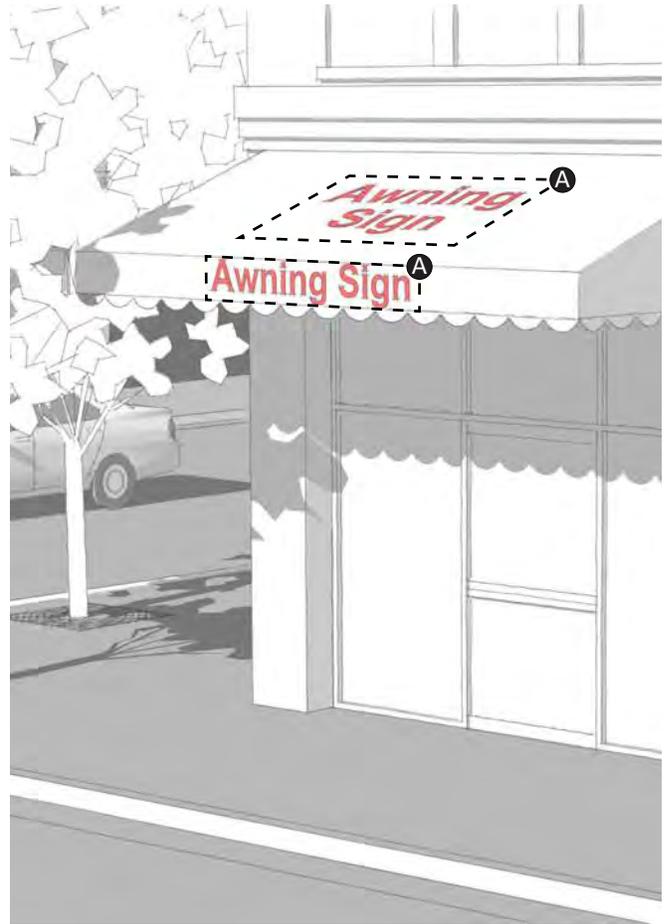
Total Sign Area Allocation

One A-frame sign is allowed per ground floor tenant space.

Dimensions

A	Area of individual sign (max)	6 SF
B	Height (max)	3'
C	Width (max)	2'

SEC. 7.4.6. AWNING SIGN



Description

A sign where graphics or symbols are painted, sewn, or otherwise adhered to the material of an awning as an integrated part of the awning itself.

General Provisions

1. Only awnings over ground-story doors or windows may contain awning signs.
2. An awning sign may be placed on the face or the valance of the awning, but must not extend outside the awning.
3. An awning sign must not be illuminated.

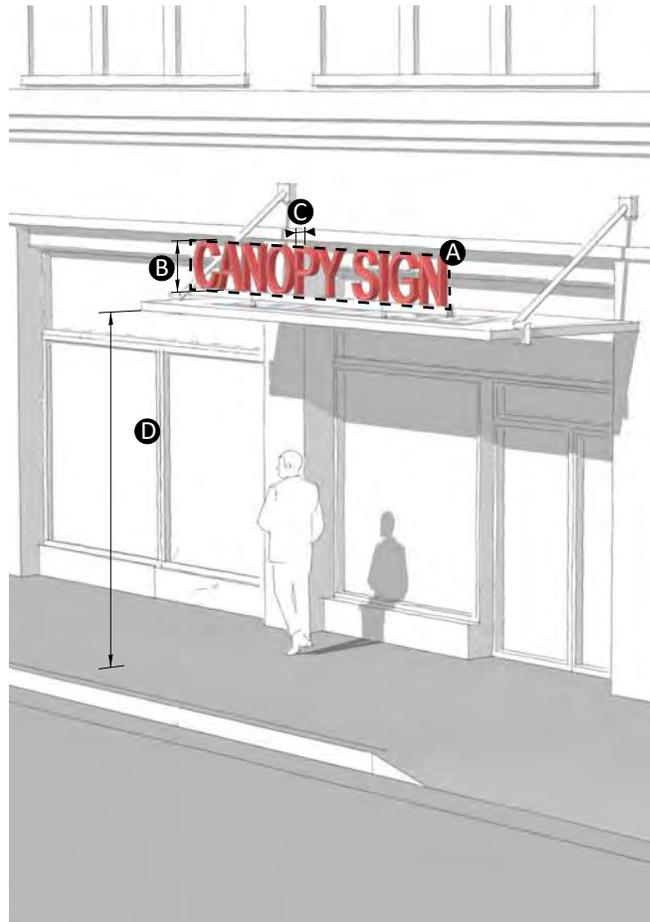
Total Sign Area Allocation

See [Sec. 7.4.4.](#)

Dimensions

A Area of awning sign (max per awning)	12 SF
---	-------

SEC. 7.4.7. CANOPY SIGN



Description

A sign attached to a canopy with a display surface parallel to the plane of the building facade.

General Provisions

1. A canopy sign may extend above or below the canopy; however, it must not extend outside the overall length or width of the canopy.
2. Only a canopy over ground-story doors or windows may contain a canopy sign.
3. A maximum of one sign is allowed per canopy.
4. A canopy sign may be externally and internally illuminated in accordance with [Sec. 7.4.15](#).

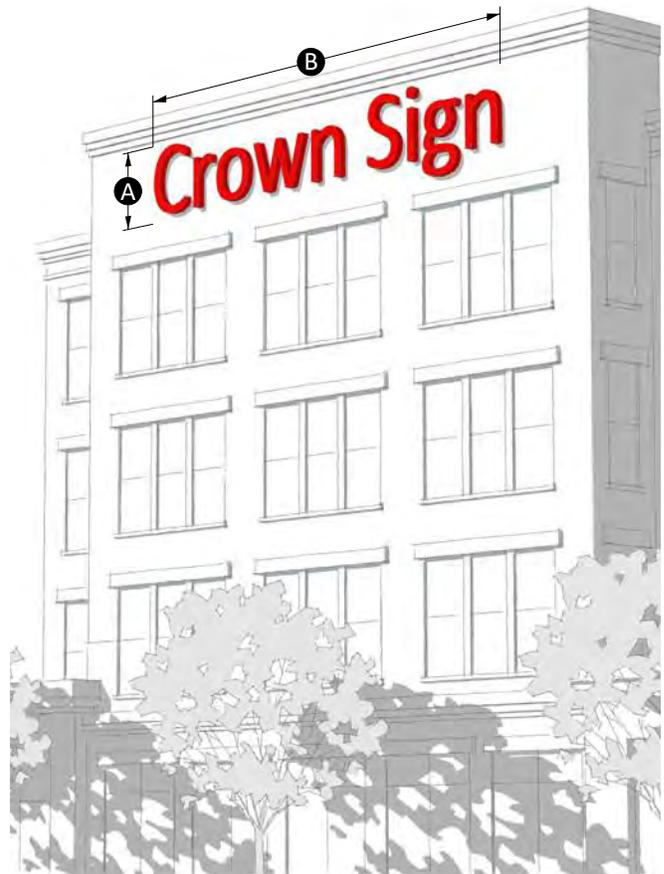
Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	64 SF
B	Height (max)	6'
C	Depth (max)	8"
D	Clear height above sidewalk (min)	9'
D	Clear height above parking area or driveway (min)	14'

SEC. 7.4.8. CROWN SIGN



Description

A sign attached to the wall of a building or structure at least 4 stories in height, the display surface of which does not project more than 2 feet from the outside wall of the building or structure.

General Provisions

1. A crown sign is only allowed on building facades at least 4 stories in height.
2. A crown sign must not be placed below the start of the 4th story.
3. A crown sign must not extend above the roof line.
4. A crown sign must not cover windows or architectural details.
5. No more than 2 crown signs are allowed per building and no more than 1 crown sign per building facade is allowed.
6. A crown sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

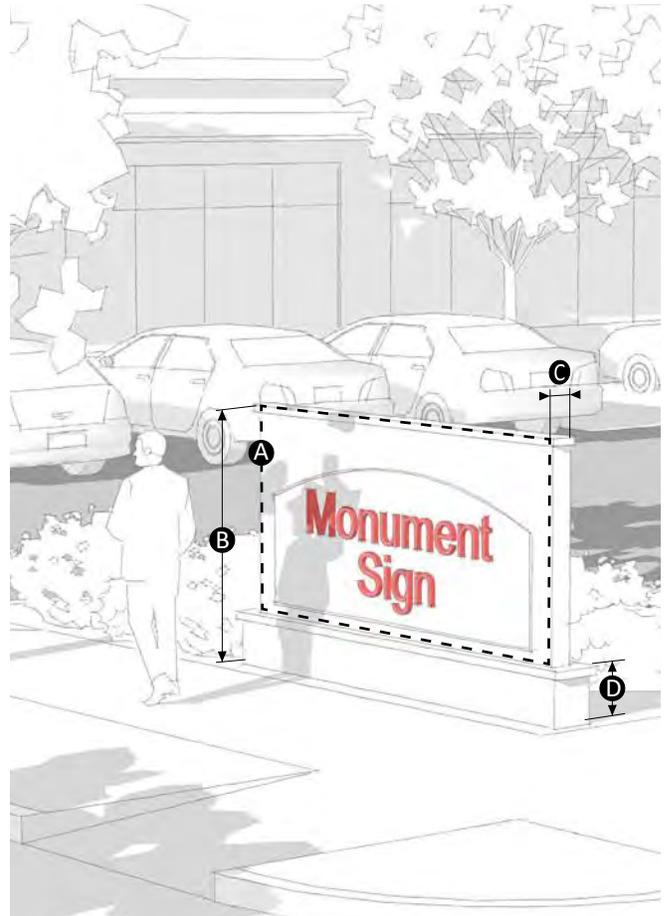
Total Sign Area Allocation

Each allowed sign can be no more than 80 SF in area.

Dimensions

A Height (max)	8'
Projection - measured from building facade (max)	2'
B Width (max % of facade width)	75%

SEC. 7.4.9. MONUMENT SIGN



Description

A permanently affixed sign which is wholly independent of a building for support and attached to the ground along its entire length.

General Provisions

1. A monument sign must be set back at least 5 feet from a front lot line and 10 feet from a common lot line.
2. A monument sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

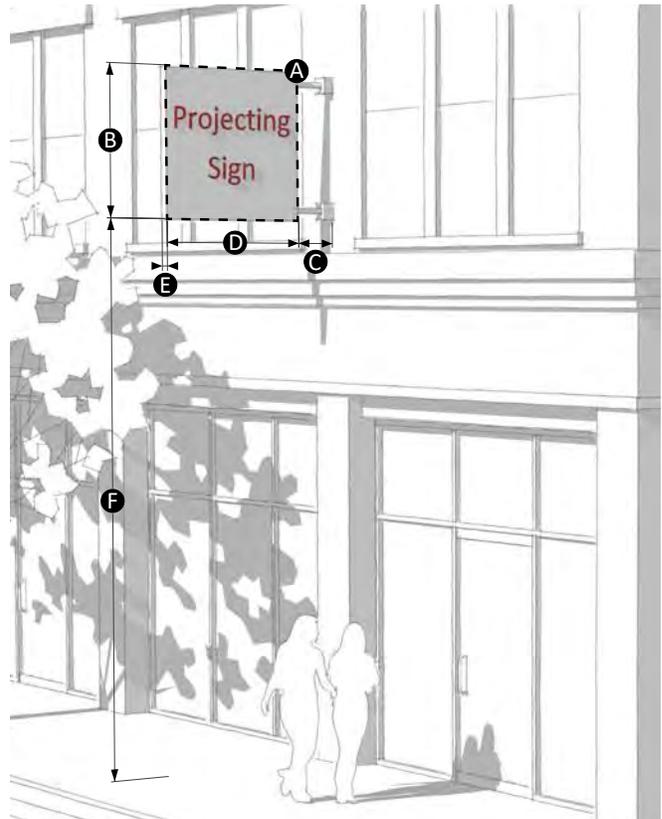
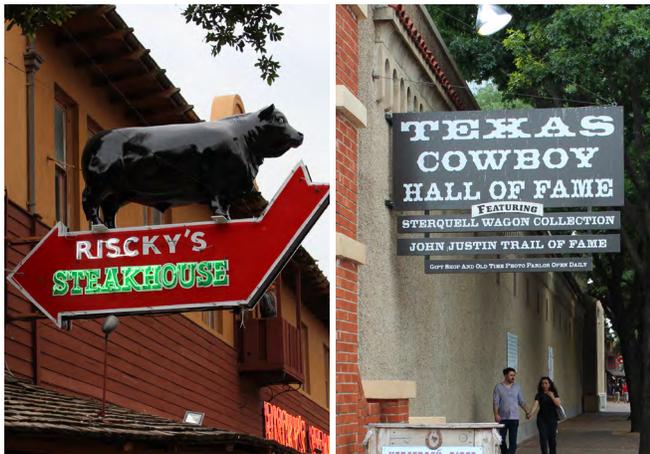
Total Sign Area Allocation

One sign no more than 64 SF in area.

Dimensions

A	Area of individual sign (max)	64 SF
B	Height, including base (max)	6'
C	Depth (max)	2'
D	Sign base height (min/max)	1/4'

SEC. 7.4.10. PROJECTING SIGN



Description

A sign attached to the building facade at a 90-degree angle, extending more than 1 foot from the outside wall of the building or structure.

General Provisions

1. A projecting sign must be at least 25 feet from any other projecting sign.
2. A projecting sign may be erected on a building corner. Allocation of sign area from both streets may be used.
3. A projecting sign must be placed no higher than 24 feet above the sidewalk, measured from the top of the sidewalk to the highest point of the sign.
4. The top of a projecting sign must be no higher than the top of the building, except that on a one-story building, the top of a projecting sign may extend a maximum of 2 feet above the top of the building.
5. A projecting sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

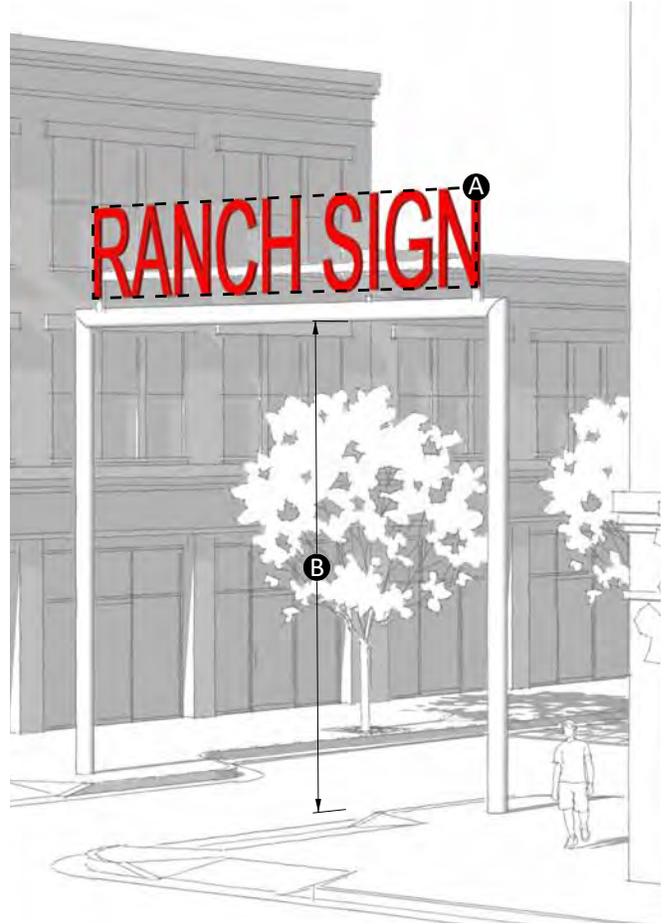
Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	36 SF
B	Height (max)	6'
C	Spacing from building facade (min/max)	1 1/2'
D	Projection width (max)	6'
E	Sign depth (max)	1'
F	Clear height above sidewalk (min)	9'
F	Clear height above parking area or driveway (min)	14'

SEC. 7.4.11. RANCH ENTRANCE SIGN



Description

A sign located on private property over an entrance driveway or other private access.

General Provisions

1. Only one ranch entrance sign per property is allowed.
2. A ranch entrance sign must be located at least 10 feet from any side lot line.
3. The sign structure must be constructed of timber and metal.
4. A ranch entrance sign may only be externally illuminated in accordance with [Sec. 7.4.15](#).

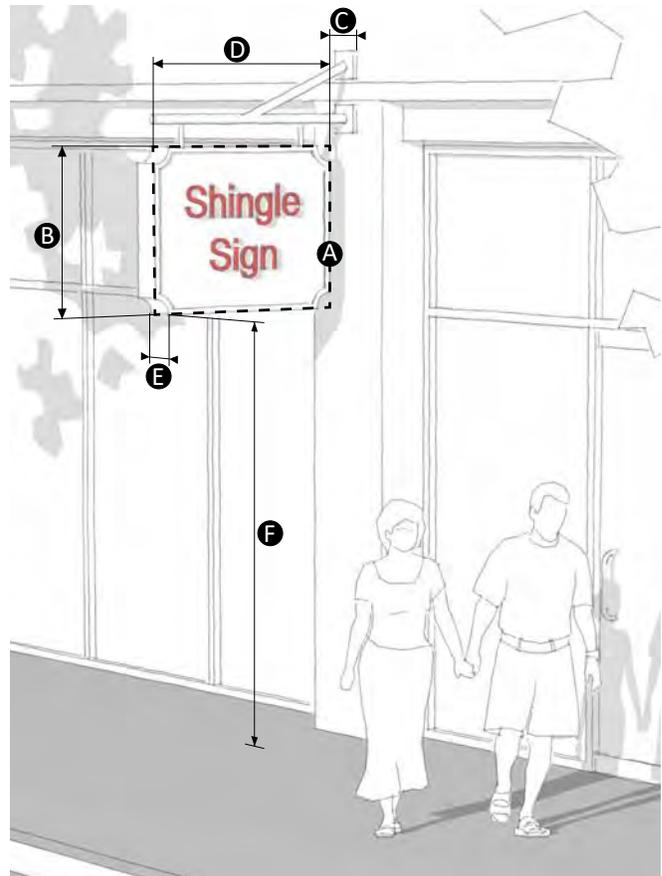
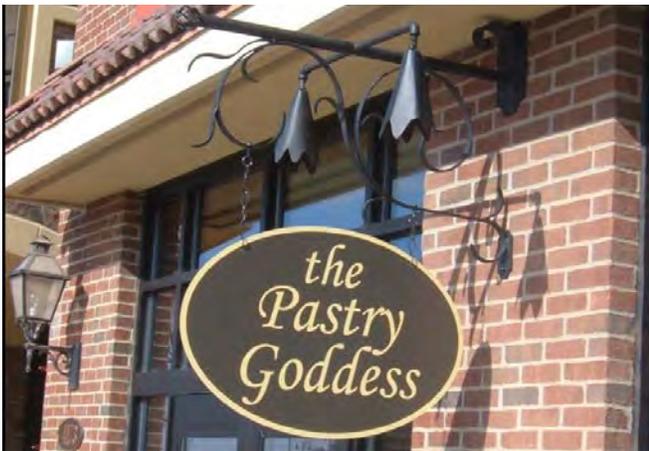
Total Sign Area Allocation

One sign no more than 48 SF in area.

Dimensions

A	Area of individual sign (max)	48 SF
B	Clear height above driveway (min/max)	20'

SEC. 7.4.12. SHINGLE SIGN



Description

A sign attached to the building facade at a 90-degree angle that hangs from a bracket or support extending more than 1 foot from the outside wall of the building or structure.

General Provisions

1. The hanging bracket must be an integral part of the sign design.
2. A shingle sign must be located below the window sills of the 2nd story on a multi-story building or below the roof line on a single-story building.
3. A shingle sign must be located within 5 feet of a ground story tenant entrance.
4. A shingle sign must be located at least 25 feet from any other shingle sign.
5. A shingle sign must not be illuminated.

Total Sign Area Allocation

One shingle sign is allowed per ground story tenant space.

Dimensions

A	Area of individual sign (max)	9 SF
B	Height (max)	3'
C	Spacing from building facade (min/max)	6"/1'
D	Projection width (max)	3'
E	Sign depth (max)	6"
F	Clear height above sidewalk (min)	9'
F	Clear height above parking area or driveway (min)	14'

SEC. 7.4.13. WALL SIGN



Description

A sign attached to the wall or surface of a building or structure, the display surface of which does not project more than 1 foot from the outside wall of the building or structure.

General Provisions

1. A wall sign must be placed no higher than 24 feet above the sidewalk, measured from the top of the sidewalk to the highest point of the sign.
2. A wall sign must not extend above the roof line or above a parapet wall of a building with a flat roof.
3. A wall sign must not cover windows or architectural details.
4. A wall sign may be externally or internally illuminated in accordance with [Sec. 7.4.15](#).

Total Sign Area Allocation

See [Sec. 7.4.4](#).

Dimensions

A	Area of individual sign (max)	No max except total allocation
B	Projection - measured from building facade (max)	

SEC. 7.4.14. WINDOW SIGN



Description

A sign affixed to the inside of a window or door, or a sign placed within a building less than 10 feet from a window or door so as to be plainly visible and legible through a window or door.

General Provisions

1. Window signs are only allowed on transparent ground story windows and doors.
2. Window signs are not transferable, and must be placed on the window or door used to measure the allocation.
3. A window sign must not be illuminated.

Total Sign Area Allocation

20% of each transparent ground story window and door

Dimensions

A	Maximum area of each transparent ground story window or door	20%
---	--	-----

Sec. 7.4.15. Illumination

Illumination of signs must be in accordance with the following requirements.

1. Illumination Permitted by Sign Type

	Internal	External
A-Frame Sign	No	No
Awning Sign	No	No
Canopy Sign	Yes	Yes
Crown Sign	Yes	Yes
Monument Sign	Yes	Yes
Projecting Sign	Yes	Yes
Ranch Sign	No	Yes
Shingle Sign	No	No
Wall Sign	Yes	Yes
Window Sign	No	No

2. Prohibited Light Sources

- a. Blinking, flashing and chasing.
- b. Colored lights used in any manner so as to be confused with or construed as traffic control devices.
- c. Direct reflected light that creates a hazard to operators of motor vehicles.
- d. Lights that outline property lines, sales areas, roof lines, doors, windows or similar areas are prohibited, except for seasonal lighting or very low luminosity lighting displays using multiple lamps.

3. Internal Illumination

- a. For internally illuminated signs on a background, the background must be opaque or a darker color than the message of the sign.
- b. Internally illuminated signs using channel letters may be internally lit or back-lit.



External light sources



Internally lit channel letters



Back lit channel letters



Internally lit signs with darker backgrounds

4. External Illumination

- a. Bare bulb illumination (including neon) is allowed.
- b. Lighting directed toward a sign must be shielded so that it illuminates only the face of the sign and does not shine directly onto public right-of-way or adjacent properties.
- c. Projecting light fixtures used for externally illuminated signs must be simple and unobtrusive in appearance and not obscure the sign.

Div. 7.5. Outdoor Display and Storage

Sec. 7.5.1. Applicability

The requirements of this Division apply where merchandise, material or equipment is stored outside of a completely enclosed building.

Sec. 7.5.2. Outdoor Display

A. Defined

1. The outdoor display of products actively available for sale.
2. The outdoor placement of ice storage bins, soft drink, video rentals or similar vending machines is considered outdoor display and must meet the standards below except for Sec. 7.5.2.B.2.

B. Standards

1. Outdoor display is only allowed with an allowed nonresidential use with ground floor frontage.
2. Outdoor display must be removed and placed inside a fully-enclosed building at the end of each business day.
3. Outdoor display may not encroach upon any right-of-way or sidewalk. Outdoor display may not impair the ability of pedestrians to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.
4. Outdoor display must abut the primary facade with the principal customer entrance, and may not extend more than 6 feet from the facade or occupy more than 25% of the horizontal length of the facade.
5. Outdoor display cannot exceed 6 feet in height.

Sec. 7.5.3. Limited Outdoor Storage

A. Defined

1. The outdoor storage of in crates, on pallets or in shipping containers;
2. Outdoor sale areas for sheds, building supplies and garden supplies;
3. The outdoor storage of contractors' equipment; and
4. The outdoor storage of vehicles, boats, recreational vehicles, trailers or other similar vehicles.

B. Standards

Limited outdoor storage may not be more than 12 feet in height and must be fully screened from view from the public right-of-way by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.

Sec. 7.5.4. General Outdoor Storage

A. Defined

1. The overnight outdoor storage of vehicles awaiting repair; and
2. The outdoor storage of soil, mulch, stone, lumber, pipe, steel, salvage or recycled materials, and other similar merchandise, material or equipment.

B. Standards

General outdoor storage is not permitted.

ARTICLE 8. STREET STANDARDS

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Div. 8.1. General Provisions

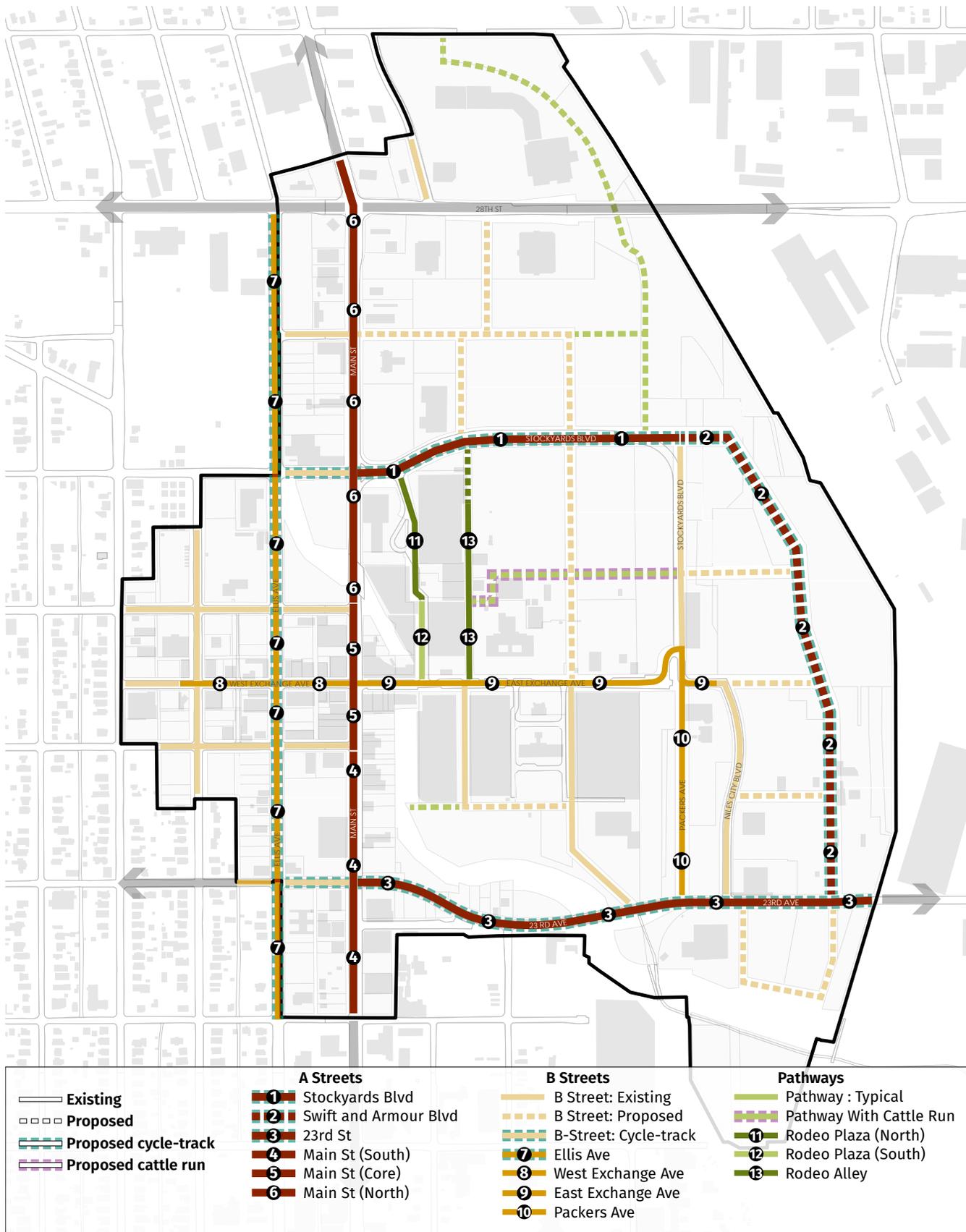
Sec. 8.1.1. Applicability

- A. Streets and pathways must be constructed in accordance with the Future Street and Pathway Map in [Div. 8.2](#).
- B. The Director of Transportation and Public Works may modify a future street or pathway alignment as shown on the Future Streets and Pathways Map subject to the following:
 - 1. The requested modification does not increase congestion or compromise public safety;
 - 2. The requested modification does not decrease the number of connections to the overall street network;
 - 3. The requested modification does not create any lots without direct street frontage;
 - 4. The requested modification does not create a block perimeter that exceeds 1,600 feet; and
 - 5. The requested modification does not create a block length that exceeds 500 feet.
- C. Pathways designated on the Future Streets and Pathways Map can be used to meet the maximum block perimeter and length standards.
- D. A block may be bounded by a natural or man-made obstruction such as a creek or rail line.

Sec. 8.1.2. Dimensional Standards

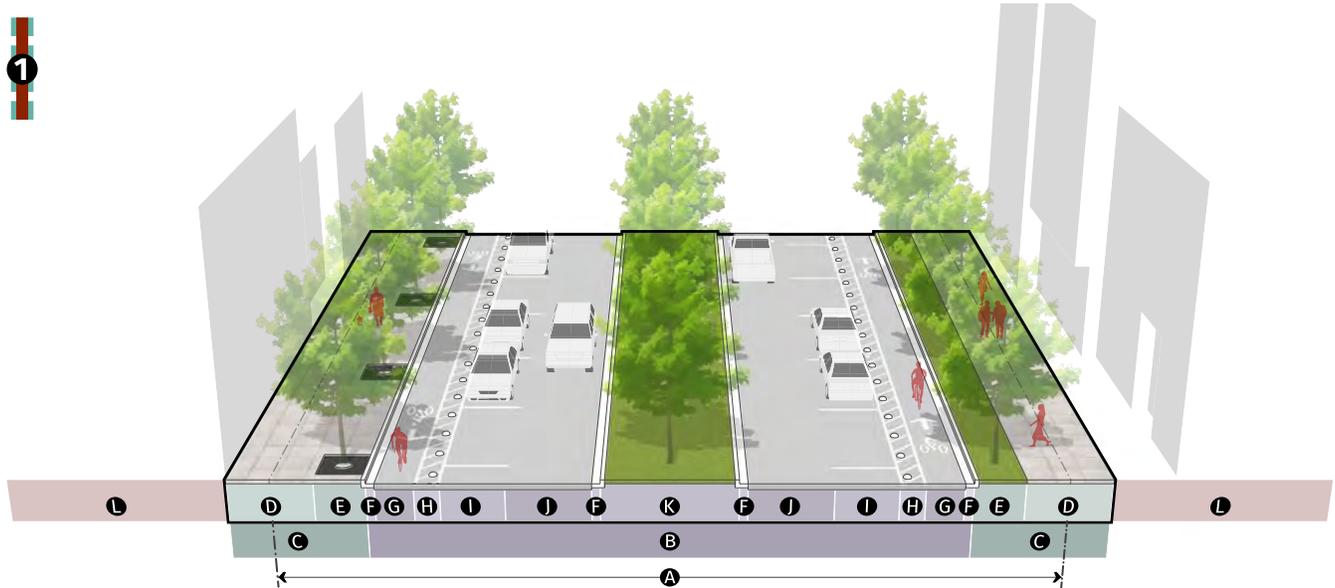
- A. The required dimensional standards for the streets and pathways identified on the Future Streets and Pathways Map are shown in [Div. 8.3](#).
- B. All streets and pathways must be constructed with sidewalks, street trees, bike facilities, medians, travel lanes and on-street parking as shown for each street or pathway type, unless an alternative is approved by the Director of Transportation and Public Works.
- C. Modifications to the street and pathway dimensional standards may be allowed by the Transportation and Public Works Director where necessary to address specific conditions. The modifications must be the minimum necessary to address specific conditions, while preserving the integrity of the street and minimizing impacts on the pedestrian or cyclist experience.

Div. 8.2. Future Streets and Pathways Map



Div. 8.3. Street and Pathway Types

SEC. 8.3.1. A STREET: STOCKYARDS BOULEVARD



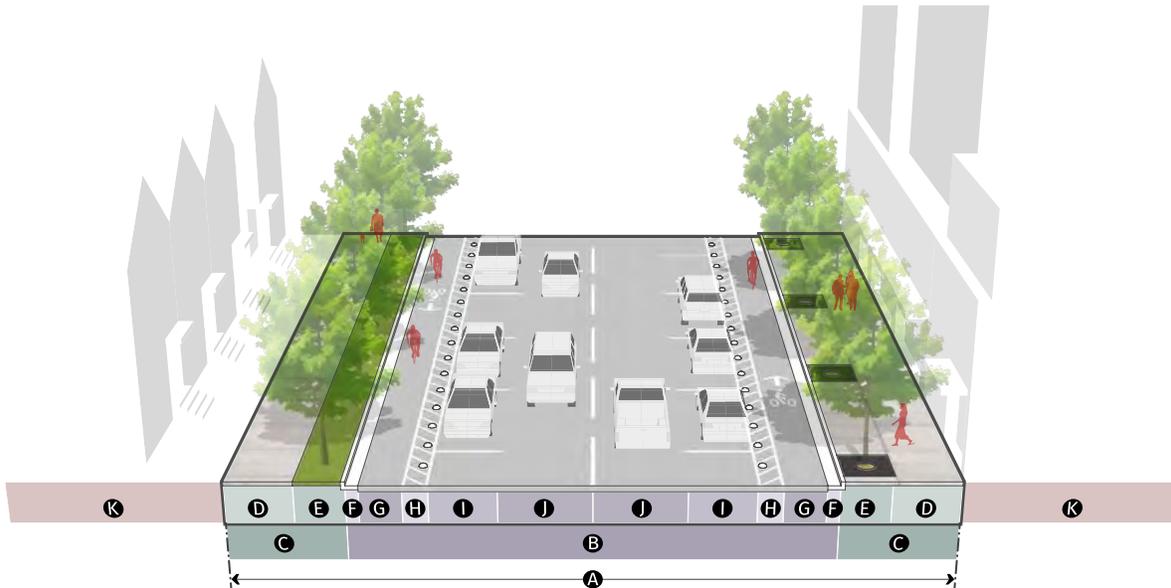
Public Realm	
A Right-of-way	97' min
B Curb-to-curb	65' min
C Streetscape	16' min

Streetscape	
D Paved pedestrian zone	10' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1' min
G Bicycle lane	4'6" min
H Bicycle buffer	3' min
I Parking lane	7'6" min (parallel)
J Travel lane	10' min / 11' max
K Median	11' min / 16' max
Large canopy trees required in median spaced 35' on-center avg.	

Frontage	
L See applicable sub-district	

SEC. 8.3.2. A STREET: SWIFT & ARMOUR BOULEVARD



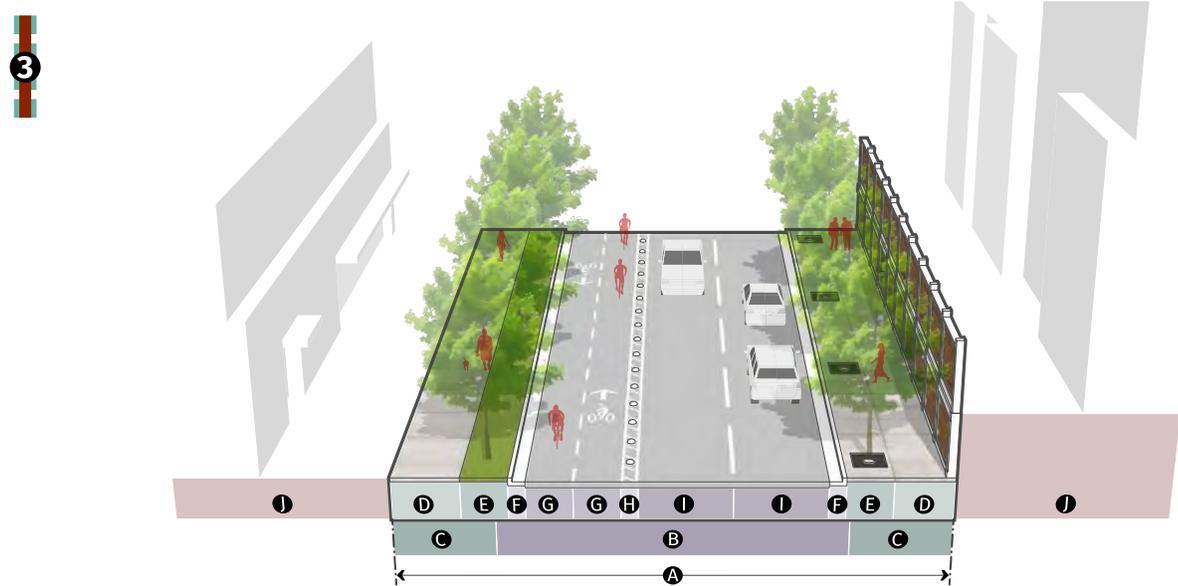
Public Realm	
A Right-of-way	80' min
B Curb-to-curb	54' min
C Streetscape	13' min

Streetscape	
D Paved pedestrian zone	8' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1' 6" min
G Bicycle lane	4' 6" min
H Bicycle buffer	3' min
I Parking lane	8' min (parallel)
J Travel lane	10' min / 11' max

Frontage	
K See applicable sub-district	

SEC. 8.3.3. A STREET: 23 STREET



Public Realm	
A Right-of-way	65' min
B Curb-to-curb	37' min
C Streetscape	14' min

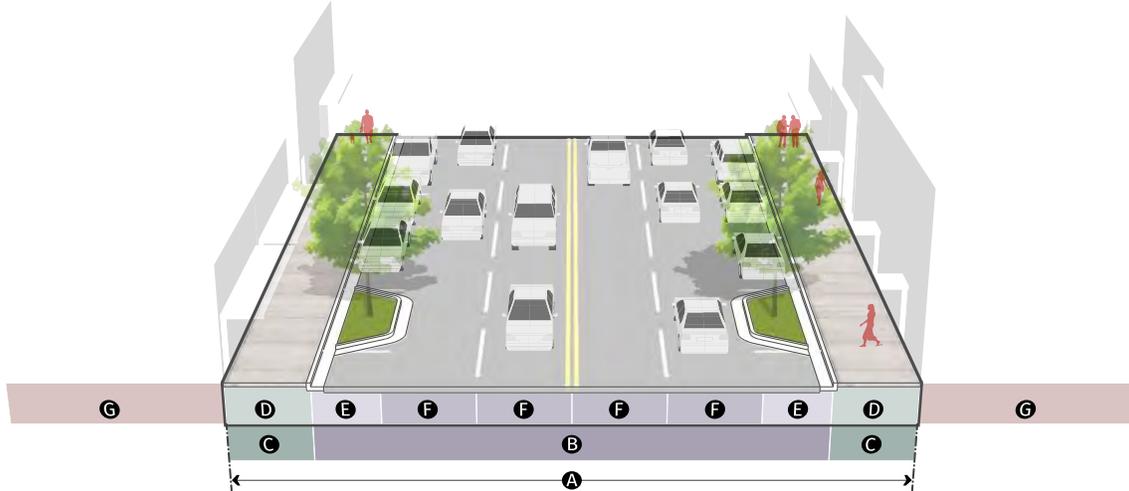
Streetscape	
D Paved pedestrian zone	8' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Travel lane	10' min / 11' max

Frontage	
J See applicable sub-district	

SEC. 8.3.4. A STREET: MAIN STREET (SOUTH)

4



Public Realm	
A Right-of-way	80' min
B Curb-to-curb	60' min
C Streetscape	10' min

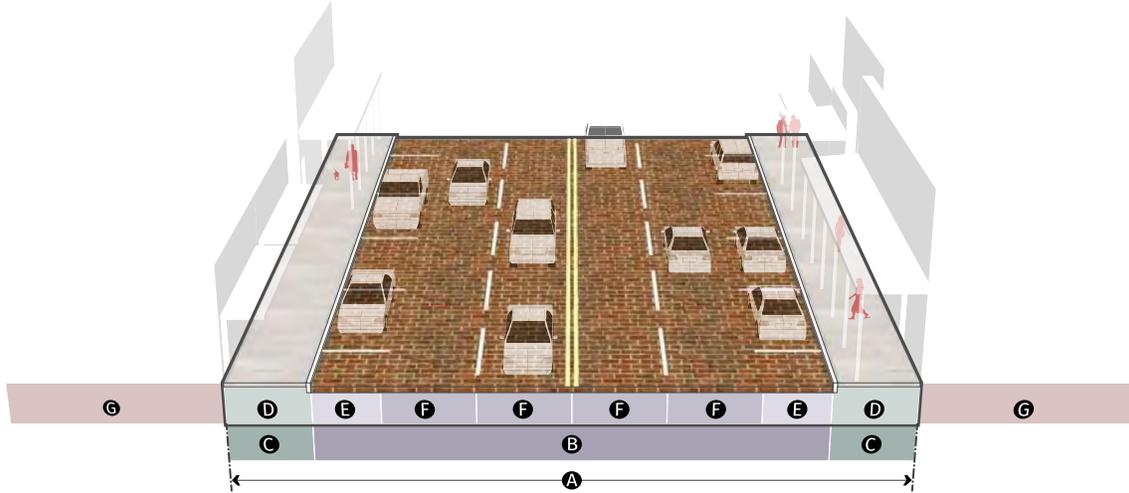
Streetscape	
D Paved pedestrian zone	10' min
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
E Parking lane (includes gutter)	8' min (parallel)
Street tree planting	Bulb-out planter
Tree spacing	
Large canopy	100' on-center avg.
F Travel lane	10' min / 11' max

Frontage	
G See applicable sub-district	

SEC. 8.3.5. A STREET: MAIN STREET (CORE)

5



Public Realm	
A	Right-of-way 80' min
B	Curb-to-curb 60' min
C	Streetscape 10' min

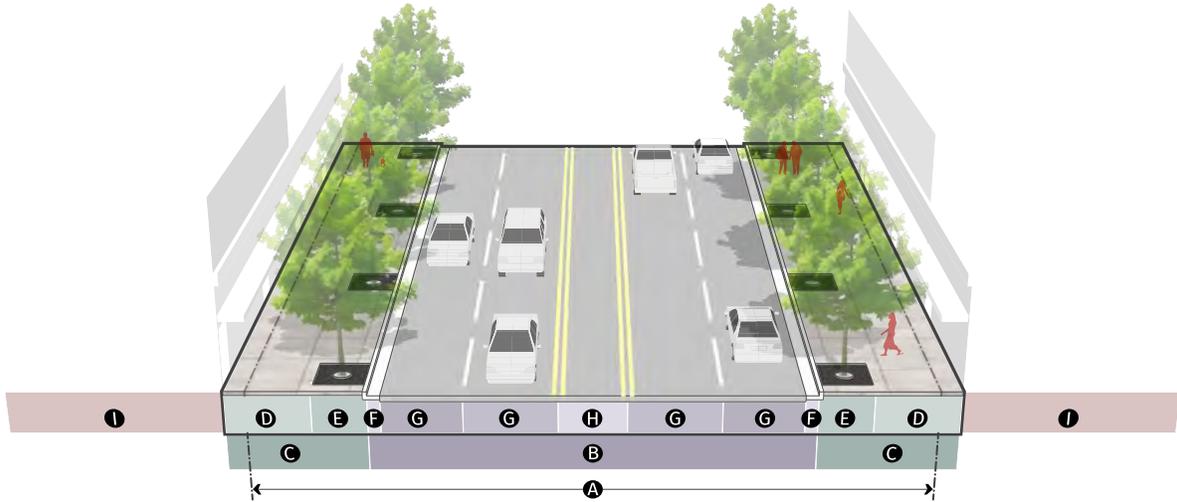
Streetscape	
D	Paved pedestrian zone 10' min
	Street tree planting Not allowed
	Roadway & pedestrian lighting Required: installed per TPW specifications

Curb-to-Curb	
E	Parking lane, brick paver 8' min (parallel)
F	Travel lane, brick paver 10' min / 11' max

Frontage	
G	See applicable sub-district

SEC. 8.3.6. A STREET: MAIN STREET (NORTH)

6



Public Realm

A Right-of-way	Varies
B Curb-to-curb	Varies
C Streetscape	16' min

Streetscape

D Paved pedestrian zone	10' min
E Parkway depth	6' min
Street tree planting type	Grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

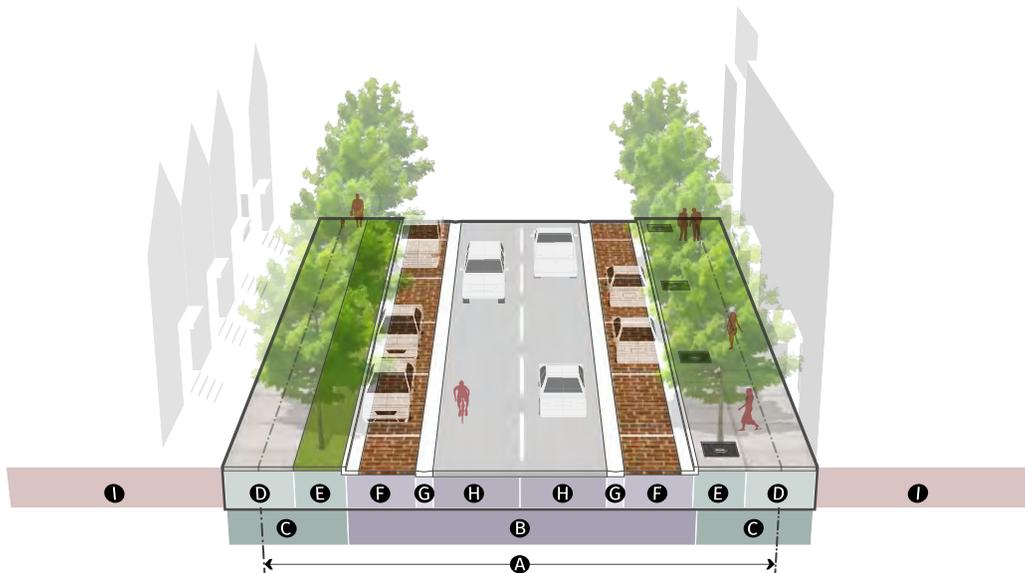
Curb-to-Curb

F Gutter	1'6" min
G Travel lane	10' min / 11' max
H Median / turn lane	Varies

Frontage

I See applicable sub-district

SEC. 8.3.7. B STREET: EXISTING



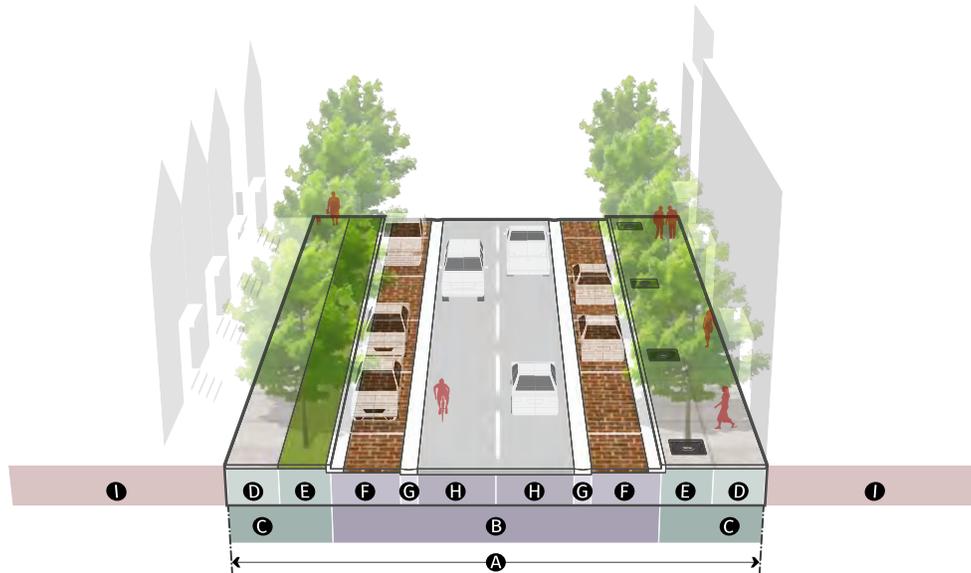
Public Realm	
A Right-of-way	60' min
B Curb-to-curb	40' min
C Streetscape	14' min

Streetscape	
D Paved pedestrian zone	8' min
E Parkway depth	6' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Parking lane, brick paver (includes gutter)	8' min (parallel)
G Valley gutter	2' min
H Travel lane	10' min / 11' max
Bicycle facilities	Shared travel lane

Frontage	
I See applicable sub-district	

SEC. 8.3.8. B STREET: PROPOSED



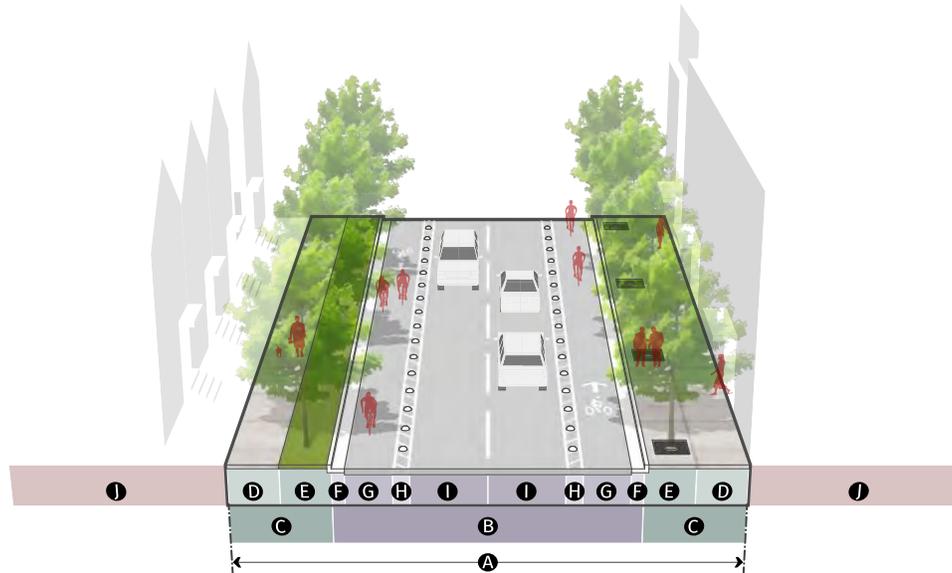
Public Realm	
A Right-of-way	60' min
B Curb-to-curb	38' min
C Streetscape	11' min

Streetscape	
D Paved pedestrian zone	6' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Parking lane, brick paver (includes gutter)	7' min (parallel)
G Valley gutter	2' min
H Travel lane	10' min / 11' max
Bicycle facilities	Shared travel lane

Frontage	
I See applicable sub-district	

SEC. 8.3.9. B STREET: CYCLE-TRACK



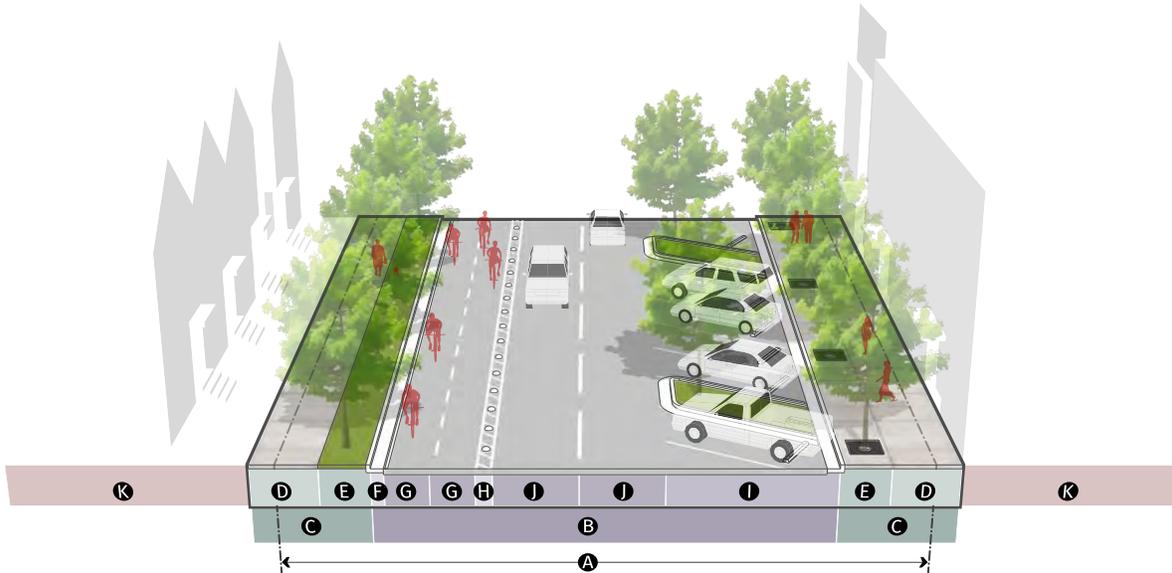
Public Realm	
A Right-of-way	60' min
B Curb-to-curb	37' min
C Streetscape	11'6" min

Streetscape	
D Paved pedestrian zone	6' min
E Parkway depth	5'6" min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Travel lane	10' min / 11' max

Frontage	
J See applicable sub-district	

SEC. 8.3.10. B STREET: ELLIS AVENUE



Public Realm	
A Right-of-way	76' min
B Curb-to-curb	53'6" min
C Streetscape	13' min

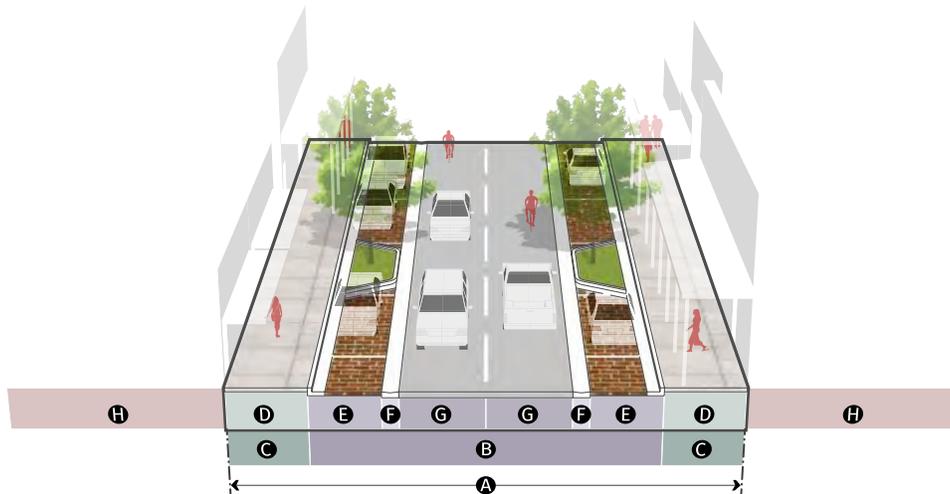
Streetscape	
D Paved pedestrian zone	8' min
E Parkway depth	5' min
Street tree planting type	Landscape/pavers/grates
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F Gutter	1'6" min
G Bicycle lane	5' min
H Bicycle buffer	2' min
I Parking lane (including gutter)	20' min (angled)
J Travel lane	10' min / 11' max

Frontage	
K See applicable sub-district	

SEC. 8.3.11. B STREET: WEST EXCHANGE AVENUE

8



Public Realm	
A	Right-of-way 60' min
B	Curb-to-curb 40' min
C	Streetscape 10' min

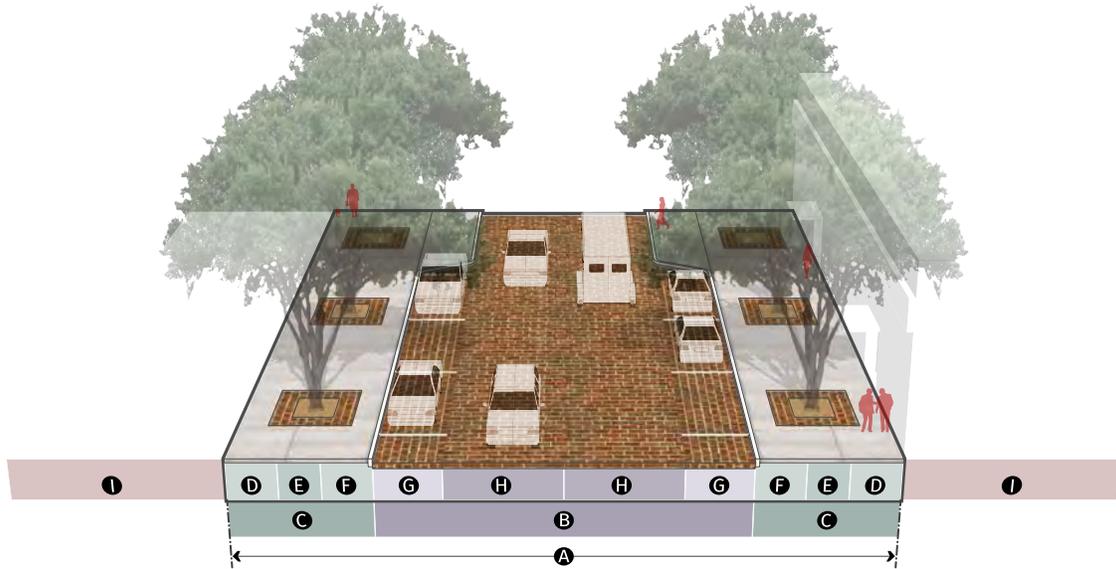
Streetscape	
D	Paved pedestrian zone 10' min
	Roadway & pedestrian lighting Required: installed per TPW specifications

Curb-to-Curb	
E	Parking lane, brick paver (includes gutter) 8' min (parallel)
	Street tree planting type Bulb-out planter
	Tree spacing: large canopy 100' on-center avg.
F	Valley gutter 2' min
G	Travel lane 10' min / 11' max

Frontage	
H	See applicable sub-district

SEC. 8.3.12. B STREET: EAST EXCHANGE AVENUE

9



Public Realm	
A	Right-of-way 78' min
B	Curb-to-curb 44' min
C	Streetscape 17' min

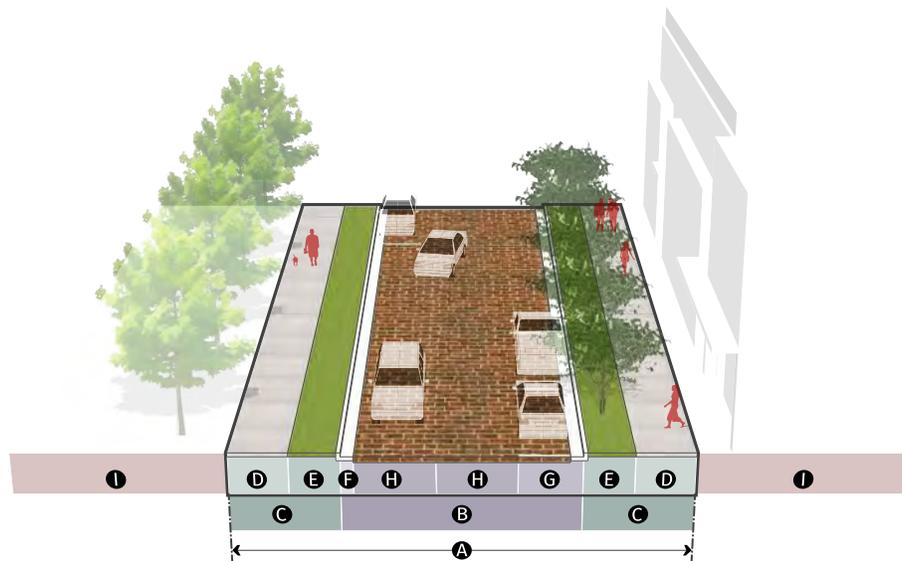
Streetscape	
D	Paved pedestrian zone 6' min
E	Parkway depth 5' min
	Street tree planting type Tree well
	Tree spacing: large canopy 35' on-center avg.
F	Paved pedestrian zone 6' min
	Roadway & pedestrian lighting Required: installed per TPW specifications

Curb-to-Curb	
G	Parking lane, brick paver 8' min (parallel)
H	Travel lane, brick paver 12' min / 14' max
	Bicycle facilities Shared travel lane

Frontage	
I	See applicable sub-district

SEC. 8.3.13. B STREET: PACKERS AVENUE

10



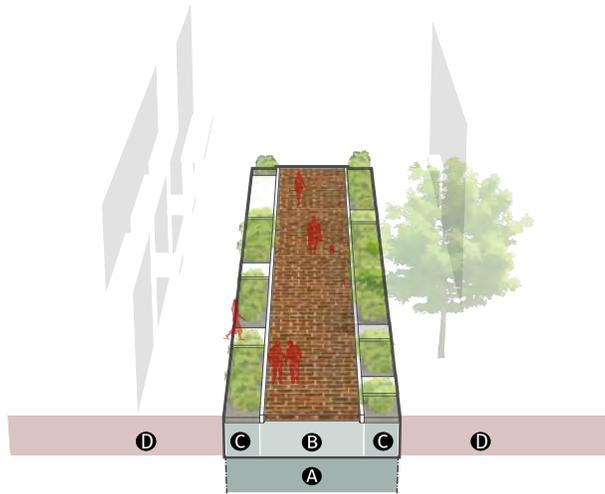
Public Realm	
A	Right-of-way 54' min
B	Curb-to-curb 28' min
C	Streetscape 13' min

Streetscape	
D	Paved pedestrian zone 7' min
E	Parkway depth 6' min
Street tree planting type Landscape/pavers/grates	
Tree spacing	
Small canopy	15' on-center avg.
Medium canopy	25' on-center avg.
Large canopy	35' on-center avg.
Roadway & pedestrian lighting	Required: installed per TPW specifications

Curb-to-Curb	
F	Gutter 1'6" min
G	Parking lane, brick paver (includes gutter) lane 8' min (parallel alternating sides)
H	Travel lane, brick paver 9' min / 10' max
Bicycle facilities Shared travel lane	

Frontage	
I	See applicable sub-district

SEC. 8.3.14. PATHWAY: TYPICAL



Public Realm

A Easement 20' min

Easement

B Paved pedestrian zone, brick pavers 10' min

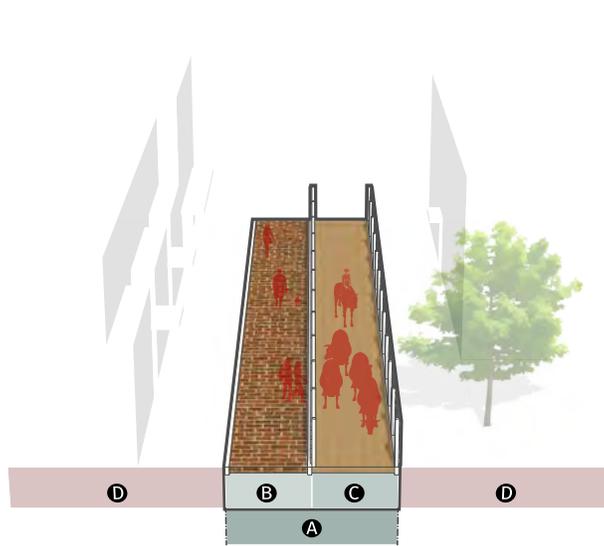
C Remainder of easement 10' min total
 Remainder of easement Landscape/
 material pavers/grates

Pedestrian lighting Required:
 installed per TPW
 specifications

Frontage

D See applicable sub-district

SEC. 8.3.15. PATHWAY: WITH CATTLE RUN



Public Realm

A Easement 20' min

Easement

B Paved pedestrian zone, brick pavers 10' min

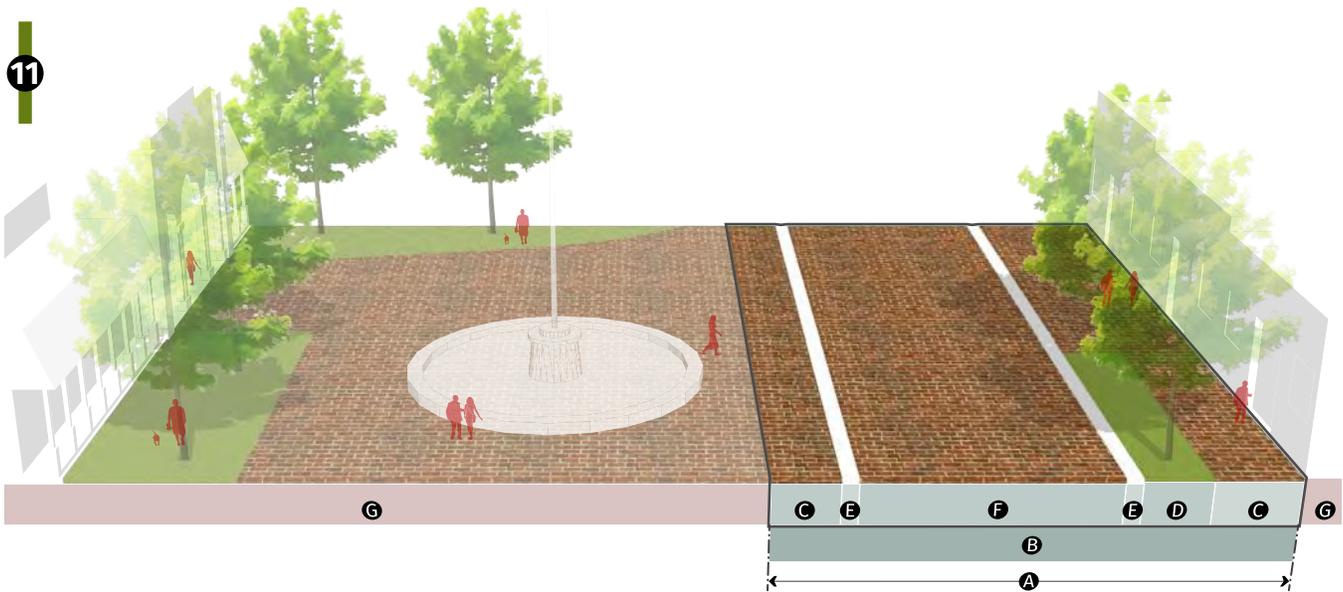
C Livestock-run 10' min

Pedestrian lighting Required: installed per TPW specifications

Frontage

D See applicable sub-district

SEC. 8.3.16. PATHWAY: RODEO PLAZA (NORTH)



Public Realm

A Right-of-way 60' min

Right-of-Way

B Shared space, pavers 60' min

C Paved pedestrian zone 10' min

D Parkway depth 6' min

E Valley gutter 2' min

Street tree planting type Landscape/pavers/grates

Tree spacing: large canopy 35' on-center avg.

F Shared travel way 30' min

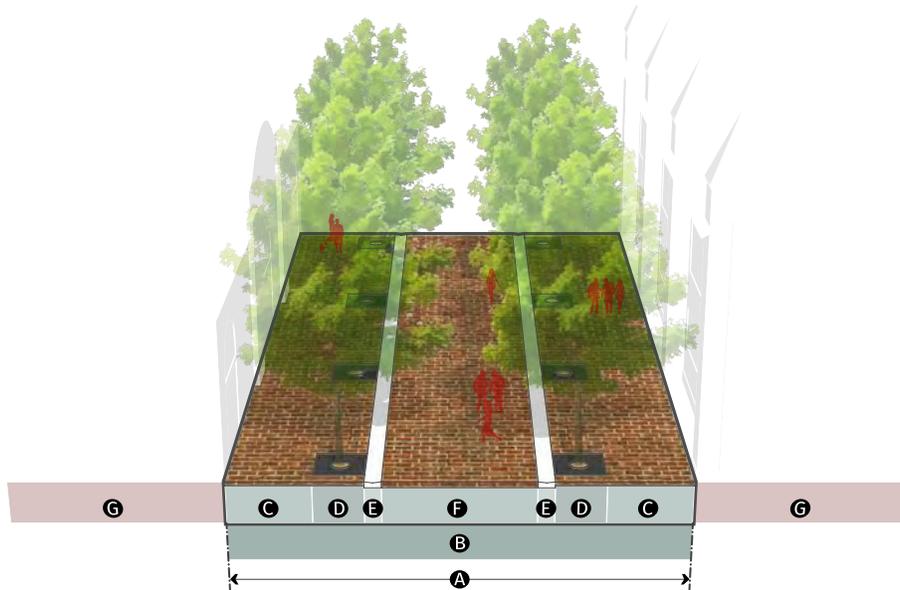
Roadway & pedestrian lighting Required: installed per TPW specifications

Frontage

G See applicable sub-district

SEC. 8.3.17. PATHWAY: RODEO PLAZA (SOUTH)

12



Public Realm

A Right-of-way 54' min

Right-of-Way

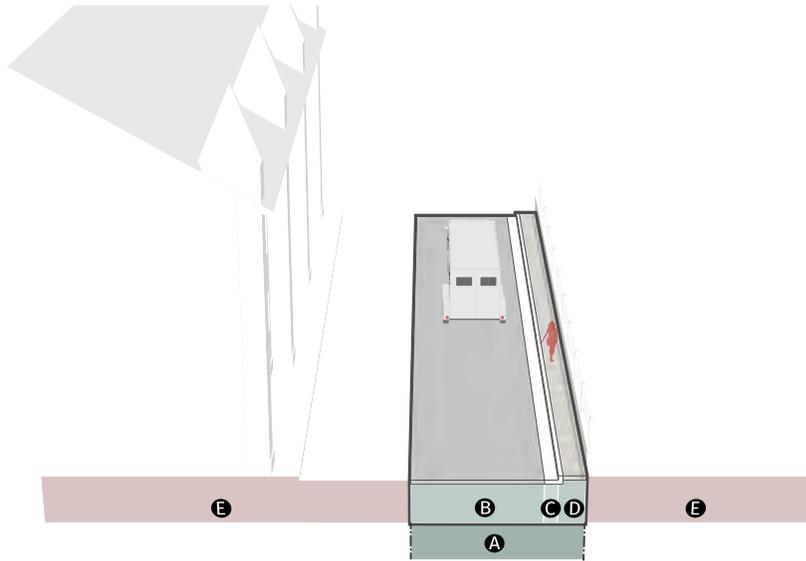
B Shared space, pavers	54' min
C Paved pedestrian zone	10' min
D Parkway depth	6' min
Street tree planting type	Grates
Tree spacing: large canopy	35' on-center avg.
E Valley gutter	2' min
F Shared travel way	18' min
Roadway & pedestrian lighting	If installed must be per TPW specifications

Frontage

G See applicable sub-district

SEC. 8.3.18. PATHWAY: RODEO ALLEY

13



Public Realm

A Right-of-way 19' min

Right-of-Way

B Shared travel lane 15' min

C Gutter 1'6" min

D Paved pedestrian zone 2'6" min

Roadway & pedestrian lighting If installed must be per TPW specifications

Frontage

E See applicable sub-district

ARTICLE 9. ADMINISTRATION

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Div. 9.1. Code Administration

Sec. 9.1.1. Authority

The Administrator of the Stockyards Form District is the FBC Administrator. The FBC Administrator is responsible for the day-to-day administration of this Code.

Sec. 9.1.2. Delegation of Authority

The FBC Administrator may designate any staff member to represent the FBC Administrator in any function assigned by this Code. The FBC Administrator remains responsible for any final action.

Div. 9.2. Historic Districts

Applications for development approval in the Historic Districts will be reviewed in accordance with § 4.401, Historic Preservation Overlay District, of the Code of Ordinances.

Div. 9.3. Transition and Edge Districts

Sec. 9.3.1. Applicability

All private construction projects in the Transition and Edge Districts, with the exception of interior construction or exterior in-kind replacement work, are subject to review by the FBC Administrator or the Urban Design Commission. All buildings, streets, and public spaces by public entities are also subject to review.

Sec. 9.3.2. Administrative vs. UDC Review

Projects that conform to all standards of this Code may be approved administratively by the FBC Administrator without review by the Urban Design Commission. The Urban Design Commission will review applications that require major modifications.

Sec. 9.3.3. Certificates of Appropriateness

The FBC Administrator or Urban Design Commission will issue a Certificate of Appropriateness for approved projects.

Sec. 9.3.4. Review Process

A. Step 1: Project Consultation

1. Before submitting an application for review, an applicant must schedule a meeting with the FBC Administrator to discuss the review procedures and applicable standards for approval. This meeting is not intended as an approval meeting, but to provide the applicant with an overview of the application requirements and to identify issues or opportunities relating to compliance with the requirements of this Code.
2. The FBC Administrator will inform the applicant of requirements as they apply to the proposed project, provide a preliminary list of issues that will likely be of concern during formal application review, suggest possible modifications to the project, and identify any technical studies that may be necessary for the review process when a formal application is submitted.
3. The FBC Administrator will provide the applicant with a list of required application materials/information in order to submit a complete application for review.

B. Step 2: Application Submittal

Applications must be submitted to the FBC Administrator on forms and in such numbers as required by the Planning and Development Department.

1. All applications must be sufficient for processing before the FBC Administrator is required to review the application. The FBC Administrator will notify

the applicant whether or not the application is complete or whether additional information is required.

2. An application is sufficient for processing when it contains all of the information necessary to decide whether or not the development as proposed will comply with all of the requirements of this Code.

C. Step 3: Application Review

Upon determination of a complete application, the FBC Administrator will promptly distribute the application for review by City departments and external agencies.

1. The FBC Administrator will determine whether the application conforms to all applicable requirements of the Code.
2. Final action on an application will be based solely on findings as to compliance with all applicable provisions of this Code and other applicable technical requirements.
3. Where an application is denied, the reasons for denial must be stated in writing, specifying the provisions of the Code or other applicable technical requirements that are not in compliance. A revised application may be submitted for further consideration.
4. The FBC Administrator may send any administrative cases to the Urban Design Commission when they feel it needs additional oversight.

Sec. 9.3.5. Code Modifications

A. Purpose

1. Specific site features (steep slopes, flood plain, drainage, lot shape, physical barriers or easements) may create conditions that make compliance with a specific Code standard impractical or undesirable. It is also recognized that alternative

design solutions may achieve the principles stated above but may not comply with a specific standard.

2. This section establishes the procedures for considering requests for a modification to the standards. These are divided into minor modifications approved by the FBC Administrator (see [Sec. 9.3.5.C](#)) and major modifications approved by the Urban Design Commission (see [Sec. 9.3.5.D](#)).
3. It is the responsibility of the applicant to meet the burden of clearly demonstrating the reason for the requested code modification and to provide sufficient documentation to illustrate how the modification is related to a site constraint and/or how the modification would equal or exceed the existing standard in terms of achieving the following guiding principles.

B. Guiding Principles

The standards established in this Code are intended to achieve the following principles:

1. Implement [Sec. 1.1.4](#), Intent;
2. Maintain a safe, walkable and attractive urban environment along the street;
3. Encourage creativity, architectural diversity, and exceptional design;
4. Maximize opportunities for redevelopment and investment;
5. Require excellence in the design of the public realm (building on Fort Worth's history of civic art) and of buildings that front public spaces.
6. Promote the preservation and creation of distinctive neighborhoods that provide diverse urban housing options;
7. Promote development that will support transit and commercial services the community desires;

- 8. Protect integrity of established and significant historic/civic landmarks;
- 9. Increase the tree canopy;
- 10. Maximize connectivity and access; and
- 11. Support adopted plan policies and recommendations.

C. Minor Code Modifications

During the review process, the FBC Administrator is authorized to approve the following minor code modifications at the request of an applicant.

1. Building Setbacks

- a. Increase of up to 5 feet of a required maximum primary or side street setback.
- b. Decrease of up to 2 feet of a required minimum primary or side street setback.
- c. Decrease of up to 2 feet of a required common lot line or alley setback.

2. Build-to

Decrease of up to 10% of a primary or side street build-to requirement.

3. Parking Setbacks

- a. Decrease of up to 5 feet of a required primary or side street parking setback.
- b. Decrease of up to 2 feet of a required common lot line or alley setback.

4. Building Height

Increase of up to 2 feet of the maximum building height.

5. Building Mass

Increase of up to 10 feet of the maximum length of a street-facing building facade.

6. Transparency

- a. Decrease of up to 5% of the minimum percentage of windows and doors that must cover a street-facing building facade.
- b. Increase of up to 5 feet of a maximum allowed blank wall area on a street-facing building facade.

7. Story Height

- a. Decrease of up to 1 foot of a required minimum ground floor elevation or up to 18 inches for accessibility needs.
- b. Increase of up to 2 feet of a required maximum ground floor elevation.
- c. Increase of up to 5 feet of a required maximum ground floor elevation if there is a slope of 10% or greater (as measured parallel to the street).
- d. Decrease of up to 1 foot of a required minimum ground story floor height.

8. Pedestrian Access

Increase of up to 10 feet of the maximum required distance between street-facing entrances.

9. Landscaping

Where conflicts arise, perimeter plantings or other required landscaping abutting a street edge may be substituted for streetscape planting within the public right-of-way.

10. Streetscape

Staff may administratively approve any modifications to streetscape requirements caused by utility conflicts, fire hydrants, shallow underground utilities, curb cuts or any other obvious impediment.

11. Signs

Increase of up to 20% of the maximum size of a permitted sign type.

D. Major Modifications

1. The Urban Design Commission is responsible for reviewing major modification requests that do not qualify as minor modifications, and to review appeals of staff decisions/interpretations.
2. When reviewing requests for major modifications, the Urban Design Commission must consider the guiding principles stated in Sec. 9.3.5.B.
3. When reviewing requests for major modifications, the Urban Design Commission must consider the design guidelines for the applicable district (Div. 3.4 for a Transition District or Div. 4.4 for an Edge District).
4. The Urban Design Commission's decision to approve or deny a request for a major modification is based on the following considerations:
 - a. The physical conditions of the property, such as steep slopes, flood plain, drainage, lot shape, physical barriers or easements, make compliance to the specific standard physically impossible, and this hardship is not created by the applicant; or
 - b. The applicant meets the burden of presenting an alternative means of compliance that clearly demonstrates how the code exception would equal or exceed the existing standard in terms of achieving the guiding principles stated in Sec. 9.3.5.B; and

- c. Conformance with the applicable design guidelines (Div. 3.4 for a Transition District or Div. 4.4 for an Edge District); and
- d. The modification will not significantly impact adjacent property owners, the character of the area, traffic conditions, parking, public infrastructure, storm water management, and other matters affecting the public health, safety and general welfare; and
- e. The modification will not result in a substantial departure from the basic urban principle that new development should add value to the animation and pedestrian walkability of the street edge.

Sec. 9.3.6. Urban Design Commission Recommendation to City Council

The UDC recommends that in support of ongoing heritage tourism at the Fort Worth Stockyards, the City of Fort Worth should work cooperatively with the Economic Development Department and Events Facilities Department to pursue potential opportunities for permanent parking for vehicles of audiences attending events at the Colesium, and for transport of livestock, including trucks and trailers, to be located along the storm water easement area, as related to specific requirements for utility easements and existing infrastructure located there.

Also, the UDC recommends that City should explore all potential options to preserve and enhance opportunities for museums and other cultural facilities to maintain their presence at desirable locations within the Stockyards, through coordination with the Economic Development Department and other relevant institutions, and to identify potential incentives and programs that can promote their ongoing economic viability, so that they can continue to operate in a manner that enhances heritage tourism within the Fort Worth Stockyards.

ARTICLE 10. DEFINITIONS

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Div. 10.1. General Provisions

Sec. 10.1.1. General Meaning of Words & Terms

- A. All words and terms used have their commonly accepted and ordinary meaning unless they are specifically defined in this Code or the context in which they are used clearly indicates to the contrary.
- B. When vagueness or ambiguity is found to exist as to the meaning of any word or term used, any appropriate canon, maxim, principle or other technical rule of interpretations or construction used by the courts of this state may be employed to resolve vagueness and ambiguity in language.

Sec. 10.1.2. Abbreviations

n/a: Not applicable

ROW: Right-of-Way

SF: Square Feet

Div. 10.2. Defined Terms

The following terms are defined for the purpose of this Code. Terms not defined below may be defined in Chapter 9 of the City of Fort Worth Zoning Ordinance. In such case, the definition contained in Chapter 9 should be used. If there is a conflict between a definition in Chapter 9 and this Code, the definition in this Code must be used.

Awning (see [Sec. 5.1.4.B](#)).

Balcony (see [Sec. 5.1.4.C](#)).

Building Facade means the face of a building that delineates the edge of conditioned floor space.

Canopy (see [Sec. 5.1.4.B](#)).

FBC Administrator means the person responsible for the day-to-day administration of this Code, or their designee.

Forecourt (see [Sec. 5.1.4.D](#)).

Gallery (see [Sec. 5.1.4.E](#)).

Porch (see [Sec. 5.1.4.F](#)).

Stoop (see [Sec. 5.1.4.G](#)).