



MEETING AGENDA
RESIDENTIAL BOARD OF ADJUSTMENT

April 16, 2025
12:30 p.m.

In Person
City Council Chamber
100 Fort Worth Trail, Fort Worth, TX 76102

Videoconference:

<https://fortworthtexas.webex.com/weblink/register/r55e60dddde6fc9892b09915e159d3284>

Meeting/ Access Code: 2550 915 9432 (Registration Required)

Teleconference

+1-469-210-7159

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99
City of Fort Worth Website Homepage: <http://fortworthtexas.gov/fwvtv>

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:
<http://fortworthtexas.gov/boards/>

To view this meeting's docket, visit: <https://www.fortworthtexas.gov/calendar/boards-commission>

The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting. Members of the Residential Board of Adjustment may be attending remotely in compliance with the Texas Open Meetings Act.

There are two ways that any member of the public may address the Board of Adjustment regarding an item listed on this agenda.

1. **Virtual – Videoconference or teleconference must sign up to speak no later than 5:00 P.M. on April 14, 2025 using the following link:**
<https://fortworthtexas.webex.com/weblink/register/r55e60dddde6fc9892b09915e159d3284h>
2. **In Person – Prior to the start of the meeting, sign-up at the desk located at the entrance to the Council Chambers.**

****Any member of the public who wishes to address the Board using videoconference or teleconference regarding an item on the listed agenda must sign up to speak no later than 5:00PM on April 14, 2025.**

For questions or assistance with registration, please contact Karen Moreno at Karen.Moreno@fortworthtexas.gov or 817-392-8026.

Please note the City of Fort Worth is using a third-party vendor to assist with City meetings. If there are service interruptions, including call-in number changes, we will provide alternative call-in numbers on our website whenever possible.

BOARD MEMBERS:

Adrienne Holland	_____	Myra Mills	_____
Sergio Garza	_____	Whit Wolman	_____
Kenneth Jones, Vice Chair Residential Board	_____	Lucretia Powell	_____
Joey Dixon, Chair Residential Board	_____	Jennifer Glass Renta	_____
Debra Brown Sturns	_____	Janna Herrera	_____
		Juan Manuel Acosta	_____

I. PUBLIC HEARING 12:30 P.M.

A. Approval of the Minutes of March 19, 2025, Meeting

B. ANY CASES NOT HEARD WILL BE MOVED TO May 21, 2025

C. Translation Cases

1. BAR-25-024 Address: 3908 Collin Street
 Owner: Leobardo Munoz
 Zoning: "C" – Medium Density Multifamily District

- a. Variance:** To permit construction of a non-habitable accessory structure (pool house), to exceed the maximum height permitted.

Maximum height permitted: 10 feet
Requested height: 13 feet 6 inches

D. Continued Cases

1. BAR-25-010 Address: 510 Paradise Street
 Owner: Felix Wong on behalf of Trinity Phoenix LLC
 Zoning: "A-5" – One-Family District

- b. Variance:** To permit the construction of a one-family dwelling on a lot that is less than the minimum size required.

Minimum lot size required: 5,000 square feet
Requested lot size: 4,750 square feet

2. BAR-25-015 Address: 1201 Belle Place
 Owner: Richard Sykup
 Zoning: "A-5" – One-Family District

- a. **Special Exception:** To permit the construction of a non-habitable accessory structure (carport) in the front yard.

Minimum required projected front yard setback: 20 feet
Proposed projected front yard setback: 2 feet

3. BAR-25-016 Address: 3556 Hedrick Street
 Owner: Jodie Robnett
 Zoning: "B" – Two-Family District

- a. **Special Exception:** To permit an existing non-habitable accessory structure (carport) be located in the front yard.

E. New Cases

1. BAR-25-013 Address: 5136 Lovell Avenue
 Owner: Michiel Williams
 Zoning: "A-5" – One-Family District

- a. **Variance:** To permit an existing non-habitable accessory structure (covered porch) encroach into the projected front yard setback.

Minimum projected front yard setback: 8 feet
Requested setback: Zero feet

- b. **Variance:** To permit less parking spaces than required for a one-family dwelling with 2 bedrooms.

Minimum parking spaces required: 2 spaces
Proposed number of parking spaces: 1 space

2. BAR-25-022 Address: 713 Ridgewater Trl
 Owner: Ruben Rodriguez on behalf of Andre Purifoy
 Zoning: "A-5" – One-Family District

- a. **Variance:** To permit the construction of a non-habitable accessory structure (swimming pool), to be in front of the rear wall of the primary structure and located less than 75-feet from the front property line.

Required distance from property line: 75 feet
Requested distance from property line: Approximately 55 feet

3. BAR-25-025 Address: 5104 Curzon Ave
 Owner: Jose Cruz on behalf of TX Reign Homes LLC
 Zoning: "A-5" – One-Family District

- a. **Variance:** To permit the construction of a one-family dwelling on a lot with less than the minimum required width at the building line.

Minimum required width at build line: 50 feet
Requested width at build line: 44 feet

4. BAR-25-027

Address: 5319 Quail Run St
Owner: Nancy Grogan on behalf of James and Eden Delaune
Zoning: "A-5" – One-Family District

- a. **Variance:** To permit an existing non-habitable accessory structure (open air-pavilion) to be converted to a habitable accessory structure that would encroach into the required front yard setback.

Minimum required front-yard setback : 21 feet
Requested front-yard setback: 10 feet

- b. **Variance:** To permit an existing non-habitable accessory structure (open air-pavilion) to be converted to a habitable accessory structure that would be in front of the rear wall of the primary structure and located less than 75-feet from the front property line.

Required distance from front property line: 75 feet
Requested distance from front property line: 10 feet

III. ADJOURNMENT:

ASSISTANCE AT THE PUBLIC MEETINGS:


Fort Worth City Hall is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. Even if the City does not receive notification at least 48 hours prior to the meeting, the City will still make a reasonable attempt to provide the necessary accommodations.

El Edificio Municipal de la Ciudad de Fort Worth, o City Hall, tiene acceso para silla de ruedas. Se solicita a las personas que planean asistir a esta reunión y que necesitan ayudas auxiliares o servicios de intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552; o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión para que se puedan hacer los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar los servicios auxiliares necesarios.

Executive Session:

A closed Executive Session may be held with respect to any posted agenda item to enable the Board of Adjustment to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the City of Fort Worth official bulletin board, places convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time **Friday, April 11, 2025 at 11:15 a.m.** and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.


City Secretary for the City of Fort Worth, Texas



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

BAR-25-024

Address: 3908 Collin Street
Owner: Leobardo Munoz
Zoning: "C" – Medium Density Multifamily District

- a. **Variance:** To permit construction of a non-habitable accessory structure, "pool house", to exceed the maximum height permitted.

Maximum height permitted: 10 feet
Requested height: 13 feet 6 inches

GENERAL INFORMATION

REGULATION:

3.403 Board of Adjustment Action

In taking action on an application for a variance, the board of adjustment shall grant the application only when the board determines that:

- (a) Literal enforcement of the regulations in this zoning ordinance will create an unnecessary hardship or practical difficulty in the development of the affected property;
- (b) The situation causing the hardship or difficulty is unique to the affected property;
- (c) The situation or hardship is not self-imposed;
- (d) The relief sought will not injure the existing or permitted use of adjacent conforming property; and
- (e) The granting of a variance will be in harmony with the spirit and purposes of this zoning ordinance.

5.301 Accessory Uses on Residential Lots

(b) *Non-habitable accessory structures.*

- (1) *All accessory structures except private garages, private carports or private porte cocheres.*

d. Non-habitable accessory structures shall be limited to a height of ten feet. The height of the accessory structure may be increased to a maximum height of 12 feet, provided that, for each additional foot in height over ten feet, the accessory building is set back an additional two feet (2:1) from the rear and side setback requirements of the district applicable to the residential use.

LOT HISTORY:

PB16-04401 – Residential New Building Permit, Finaled, 02/16/2017
PB24-04673 – Residential Accessory New Permit for an inground pool, Issued 04/29/2024
PB24-04250 – Residential Accessory New Permit for a detached garage, Finaled, 09/10/2024
BAR-24-090 – Residential Board of Adjustment, special exception for a fence located in the front yard, variance for height of fence, Approved, 02/19/2025



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

PB25-02069, Residential Accessory New Permit for pool house, Awaiting Client Reply, 02/25/2025
PB25-02863, Residential Accessory New Permit for fence, Plan Review, 03/03/2025

**COMPREHENSIVE
PLAN DESIGNATION:**

Single-Family Residential

**REGISTERED
NEIGHBORHOOD
NOTIFICATION:**

Glen Park NA, Village Creek NA, Fairhaven NA, Eastland NA, Echo Heights NA, Echo Heights Stop Six Environmental Coalition, East Fort Worth Inc., Streams and Valleys Inc., Trinity Habitat for Humanity, Southeast Fort Worth Inc., Fort Worth ISD

**EXISTING
CONDITIONS:**

The subject property is a rectangular shaped lot, located in a redeveloping neighborhood. The primary structure was constructed in 2016 and is approximately 2,724 square feet in size. The property is approximately 30,587 square feet in size and has an approximate 1% downward slope that gradually slopes from the northwest corner of the property and ends at the southeast corner of the property. The property does not contain FEMA regulated floodplain but the Potential High-Water layer of the Stormwater GIS database shows inundation in the 5-year and 100-year design storm events for this lot. The potential high water follows the low point located in the middle of the lot and flows from west to east. The width of the potential high water in the 100-year design storm is approximately 78 feet wide and varies across the lot. The potential high-water advisory is not regulatory, and the engineer of record will be required to ensure that Texas Water Code items are met for lot-to-lot drainage and that the proposed structure is not impacted by surface runoff.

Although the property is zoned "C" – Medium Density Multifamily District, because the property use is a one-family dwelling, the property was developed according to the One-Family "A-5" District standards.

The applicant is requesting a variance to permit construction of a detached, non-habitable accessory structure that would be used as a pool house. The plans indicate that the proposed structure would be 400 square feet in area and contain an outdoor kitchen area, a storage closet, and a bathroom. The site plan indicates that the proposed location is 7 feet from the side property. The "A-5" zoning standards require that the accessory structure be located a minimum of 5 feet from the side property line. At the proposed location, 11 feet is the maximum building height allowed by right.

According to the zoning ordinance section 6.100, the height for a gable roof shall be the vertical distance from the curb level to the mean height level



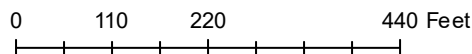
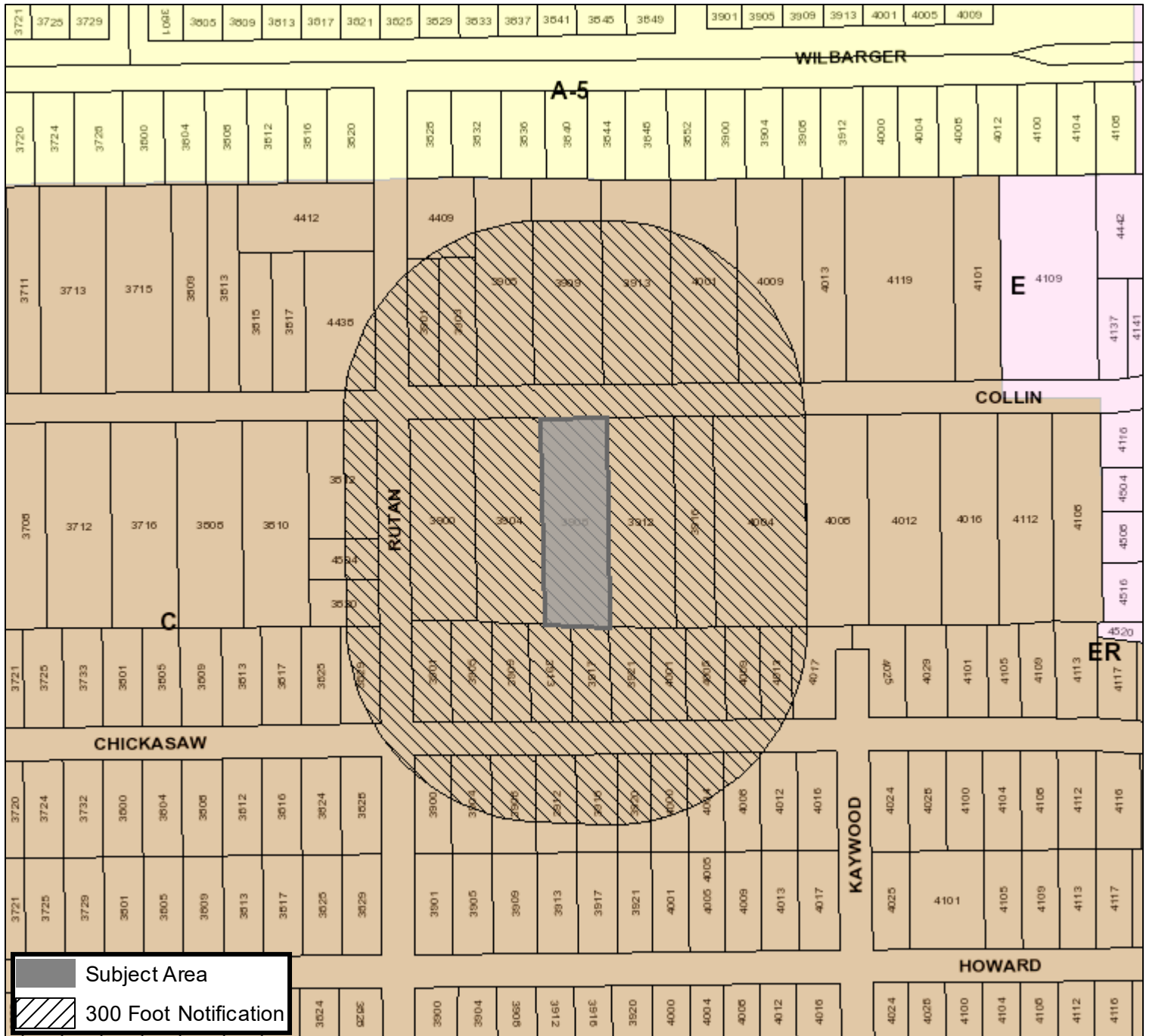
BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

between eaves and ridge. As a result, the proposed height of the accessory structure is 13 feet 6 inches. The proposed structure meets all other zoning development standards.

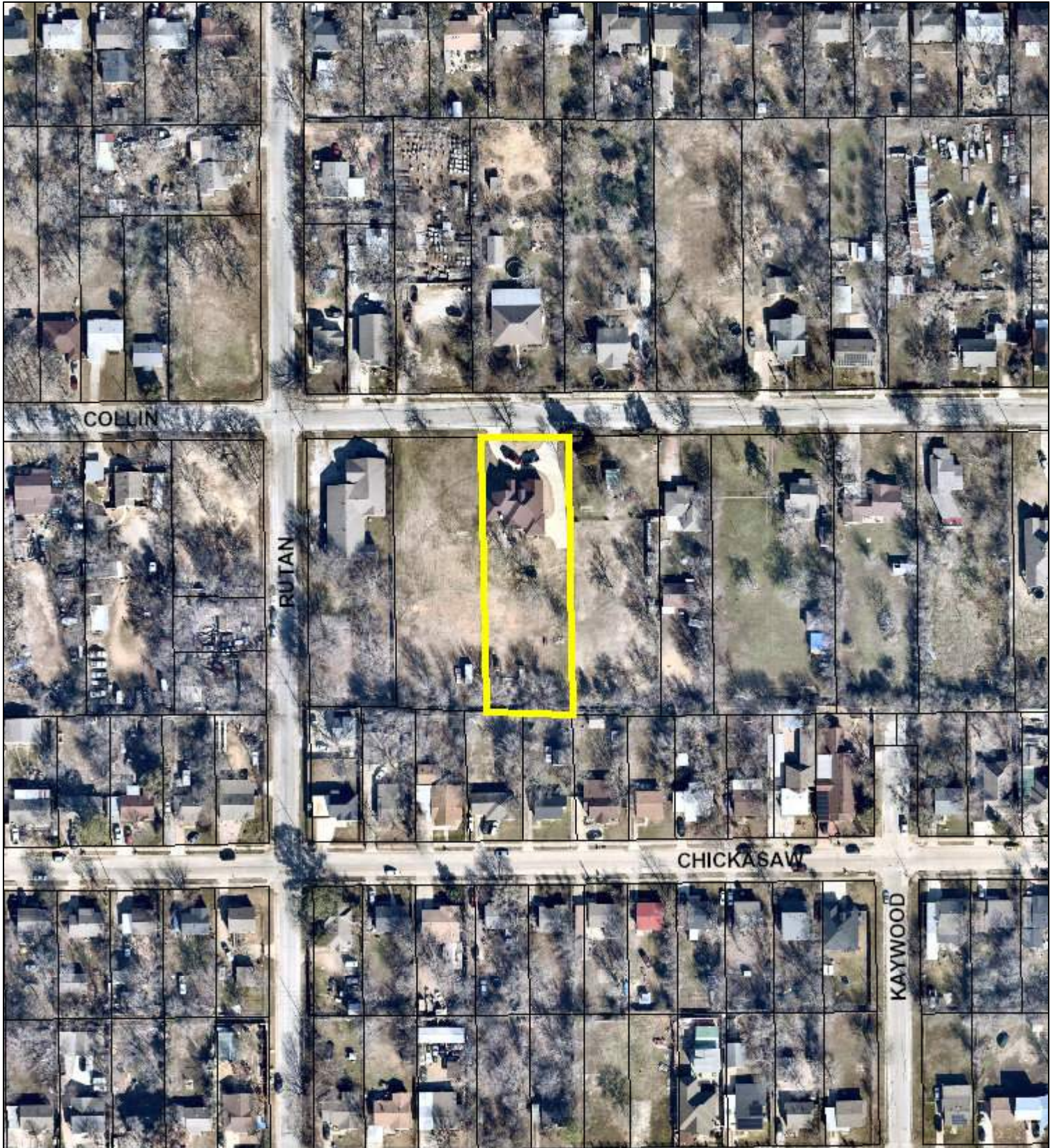


Area Zoning Map

Applicant: Leonardo Munoz & Elizabeth Garcia
Mapsko: 92D
Commission Date: 4/16/2025



Aerial Photo Map



0 95 190 380 Feet



BAR-25-024
3908 Collin St



BAR-25-024
3908 Collin St



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 3908 Collin St Fort Worth TX 76119
 Lot/Tract: _____ Block/Abstract: _____ Lot Size: _____
 Legal Description: Addition/Survey: _____

Owner's Name: Leah Kade Monica
 Address: 3908 Collin St
 City: Fort Worth State: TX Zip: 76119
 Tele: () 817 899-1805 E-Mail: leahmonica@concrete.com

Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Tele: () _____ E-Mail: _____

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
pool house 8' x 16' x 11'
also for a structure 9' ft from the property line

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date 2-19-2025 Case Number(s) BAR-24-090

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____
 Owner Occupied Variance (One and Two Family Homes) for Section _____
 Special Exception for Section _____
 Variance for: _____
 Interpretation of the Regulation \$400

DATE RECEIVED:	FEE AMOUNT PAID :	# OF REQUESTS:	RECEIVED BY:	CASE NO.
03/12/25	562.50	1	SJ	BAR-25-024

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. no

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property.
no

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.
si

4. The variance will not adversely affect the health, safety, or welfare of the public.
no

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.
no

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Signature: Lee Karde Munoz

Date 3-4-2025

BOA - SUPPORT PETITION

1. Required for a front yard fence Special Exception; optional for all other projects.

For front yard fences or gates write height to the highest point and material. For other projects write materials and distances to the property lines.

Pool House

ORIGINAL SIGNATURES

DO NOT SIGN THIS SUPPORT PETITION IF THE SECTION ABOVE HAS BEEN LEFT BLANK.

2. Obtain the signatures of support from next door property owners and the one across the street.

I have been informed of the Special Exception/Variance requested and I have NO objection...

Owner's Name	Signature	Address
¹ Sandoval Antonio	Sandoval Antonio	3900 collin st #100
² Jimmy Olvera	Jimmy Olvera	3913 Collin St #740 North TX 76119
³ Gracie Guevara	Gracie Guevara	3916 Collin St 76119
⁴ Florencia Castillo	F-C	4009 collin st 76119
⁵ Juan Navarro	Juan Navarro	3909 collin st 76119
⁶ Raye Ann Toluse	Raye Ann Toluse	4004 collin st 76119



HOMEOWNER & CONTRACTOR:
SHALL VERIFY ALL DIMENSIONS,
STRUCTURAL DETAILS,
APPLICABLE BUILDING CODES
AND GRADE REQUIREMENTS

CONTRACTOR SHALL
VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE
AND NOTIFY CITY CODE HOME DESIGNS
OF ANY DIMENSIONAL ERRORS, OMISSIONS OR
DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY
WORK.

FOR ADDITIONS OR REMODELS
HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS
TO REMOVE OR RELOCATE ITEMS OF VALUE
TO BE REUSED AND/ OR SAVED,
OR IN ANY DANGER OF BEING DAMAGED
DUE TO CONSTRUCTION PROCESS.



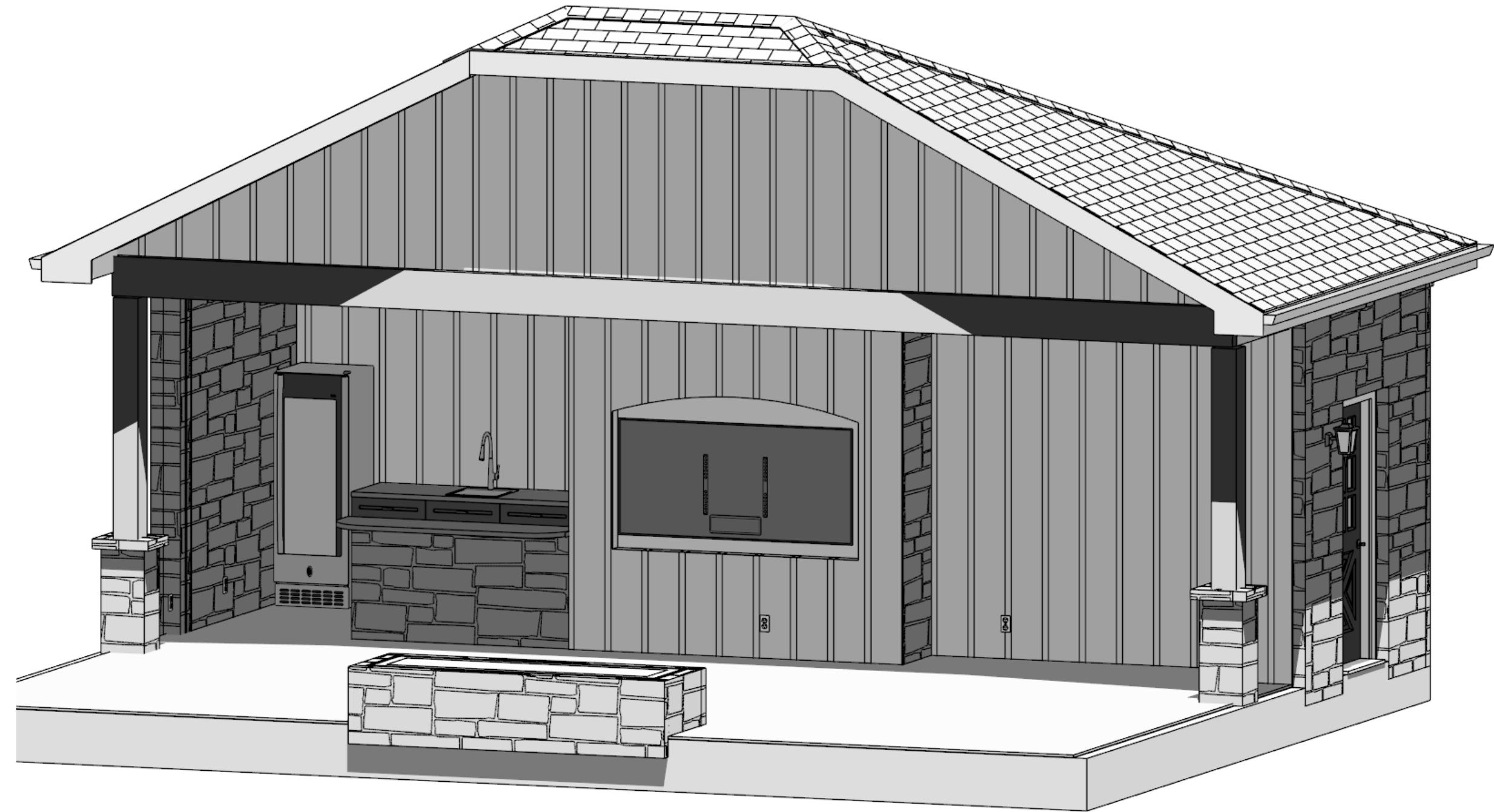
This plans are specifically
designed to comply with City of Fort
Worth adopted
Building Codes
2021 IRC/IPC/IMC
2023 NEC / 2015 IECC and adopted
Amendments

To the best of my knowledge these plans are drawn
to comply with owner's and/ or builder's
specifications and any changes made on them after
prints are made will be done at the owner's and / or
builder's expense and responsibility. The contractor
shall verify all dimensions and enclosed drawing.
CITY CODE HOME DESIGNS is not liable for
errors once construction has begun. While every
effort has been made in the preparation of this plan
to avoid mistakes, the maker can not guarantee
against human error. The contractor of the job must
check all dimensions and other details prior to
construction and be solely responsible thereafter.

PROJECT DESCRIPTION:

Single Family Residence: POOL HOUSE

Square Feet Details:
TOTAL = 400 sq ft



Important:

1. Energy Compliance Report must be combined with onsite construction materials to comply with APPLICABLE IECC.
2. (If Applicable) Contractor must purchase with at least one week in advance STHD10 straps for Portal Framing @ garage door so that they are available and ready to install per P8 Details 3,4,5 at the time of foundation pour.
3. Any Additional changes to this plan set or Energy Compliance Report after plans are finalized and printed are subject to additional service fees by City Code Home Designs. Corrections or changes to this plan set after finalization and final prints are made may require a minimum of 10 business work days after day of notice to City Code Home Designs.

GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL AMENDMENTS. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Plan Title

RESIDENTIAL PLANS

TITLE	INDEX OF DRAWINGS	SHEET
PROJECT SUMMARY		1
SITE PLAN		2
MAIN FLOOR PLAN		3
FRAMING SPAN TABLES		4
FOUNDATION PLAN		5
		6

PRESENTATION VIEWS
FOR ILLUSTRATION ONLY. NO SCALE



817-905-4072

Drawn By:
Omar Ruelas

DATE: 2/3/2025

This plans have been specifically
design for a one time use at the
specified address shown in the address bar.
Additional use of this plans
set for other locations is prohibited
without the written consents of C.C.H.D

Project Address:
3908 Collin St
Fort Worth Tx



CCODEHD@GMAIL.COM

SHEET NUMBER

P-1

2701 SUNSET RIDGE DRIVE, STE. 303
ROCKWALL, TEXAS 75032

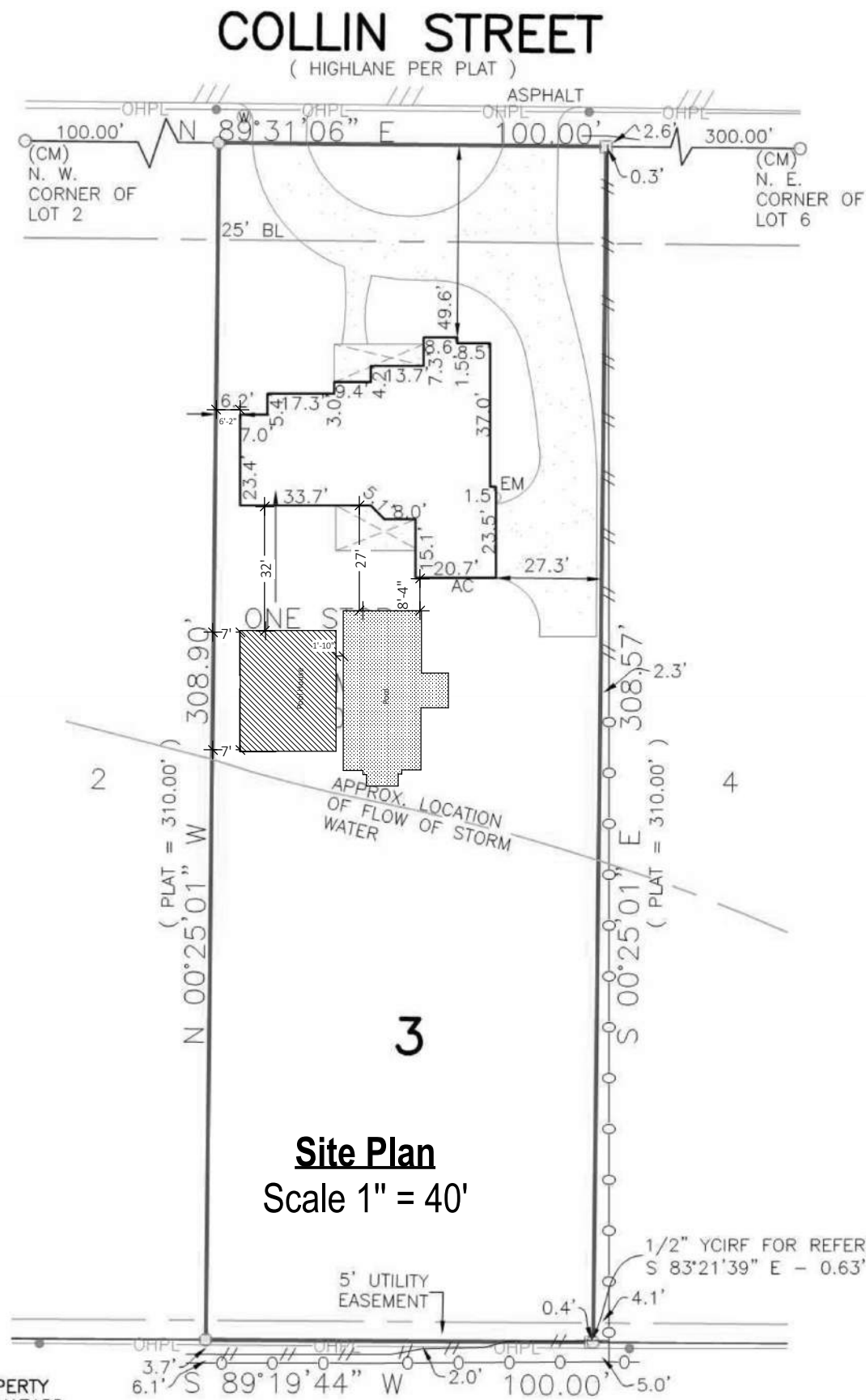
FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 3908 COLLIN STREET, in the City of FORT WORTH Texas.

Being lot 3, Block 10, of HOMEWOOD, an Addition to City of Fort worth, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-A, Page 126, of the Plat Records of Tarrant County, Texas.

SURVEY PLAT



Site Plan
Scale 1" = 40'

THE ABOVE DESCRIBED PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48439CD310L

Bearings shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone (4202), and are based upon the North American Datum of 1983 (NAD 83), 2011 Adjustment, Epoch 2010.

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS Volume 4248, Page 285

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY TEXAS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 50' USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.

Date: 01/18/2024 THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR TEXAS TITLE

G. F. No.: 2319483-140

Job no.: 202400581

Drawn by: JSR

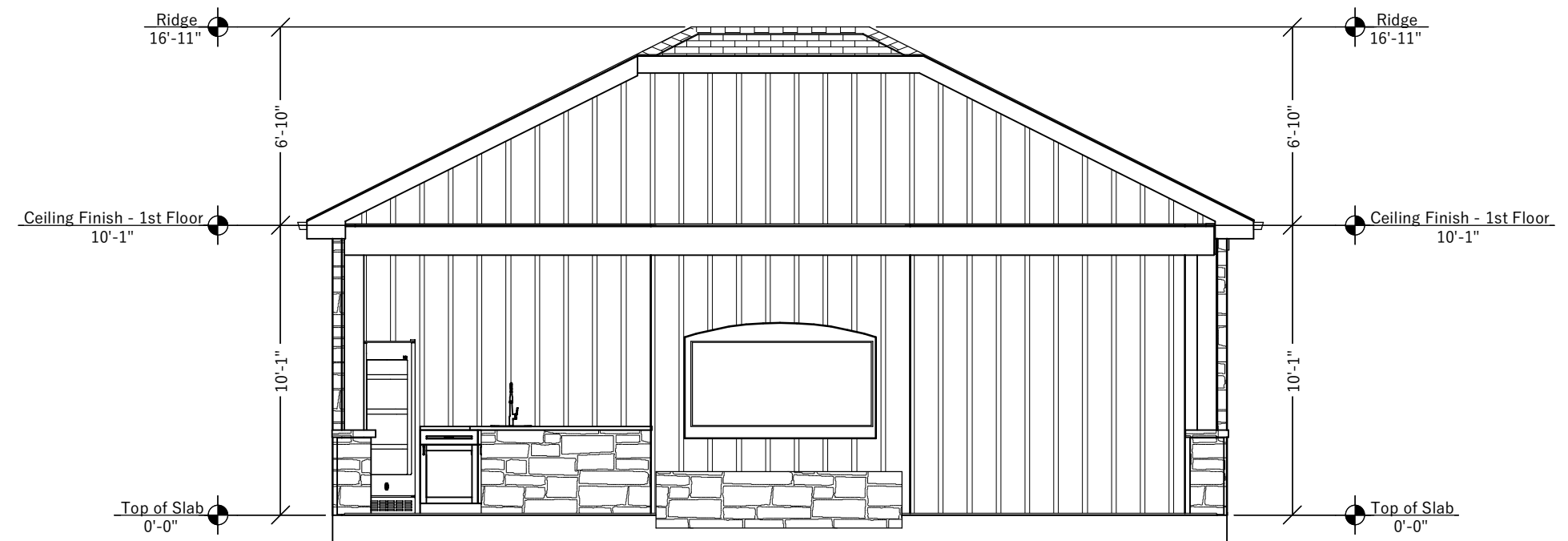
LEGEND

WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
EASEMENT SETBACK	
CM - CONTROLLING MONUMENT	
MRD - MONUMENTS OF RECORD DIGNITY	
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
1/2" YELLOW-CAPPED IRON ROD FOUND	
3/8" IRON ROD FOUND	
3/8" IRON ROD FOUND 'X'	
5/8" IRON ROD FOUND	
PK NAIL FOUND	EM - ELECTRIC METER
C - CABLE	E - ELECTRIC
CO - CLEAN OUT	PE - POOL EQUIP
G - GAS METER	P - POWER POLE
PH - FIRE HYDRANT	T - TELEPHONE
L - LIGHT POLE	W - WATER METER
M - MANHOLE	WV - WATER VALVE
	(UNLESS OTHERWISE NOTED)

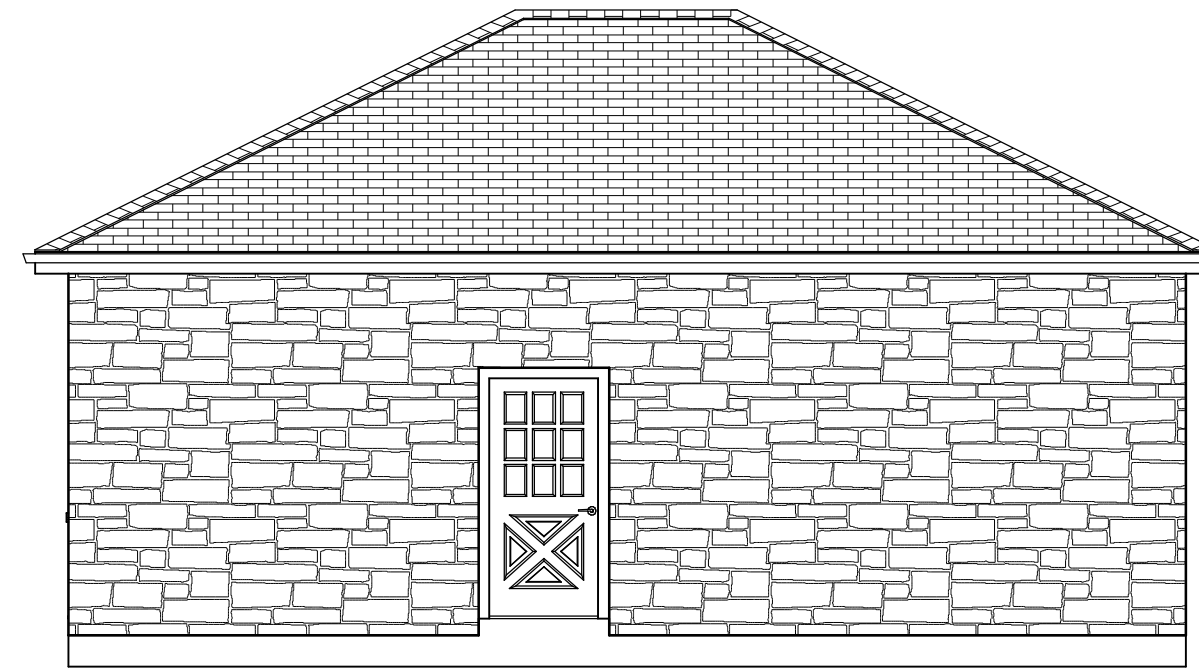
TEXAS TITLE



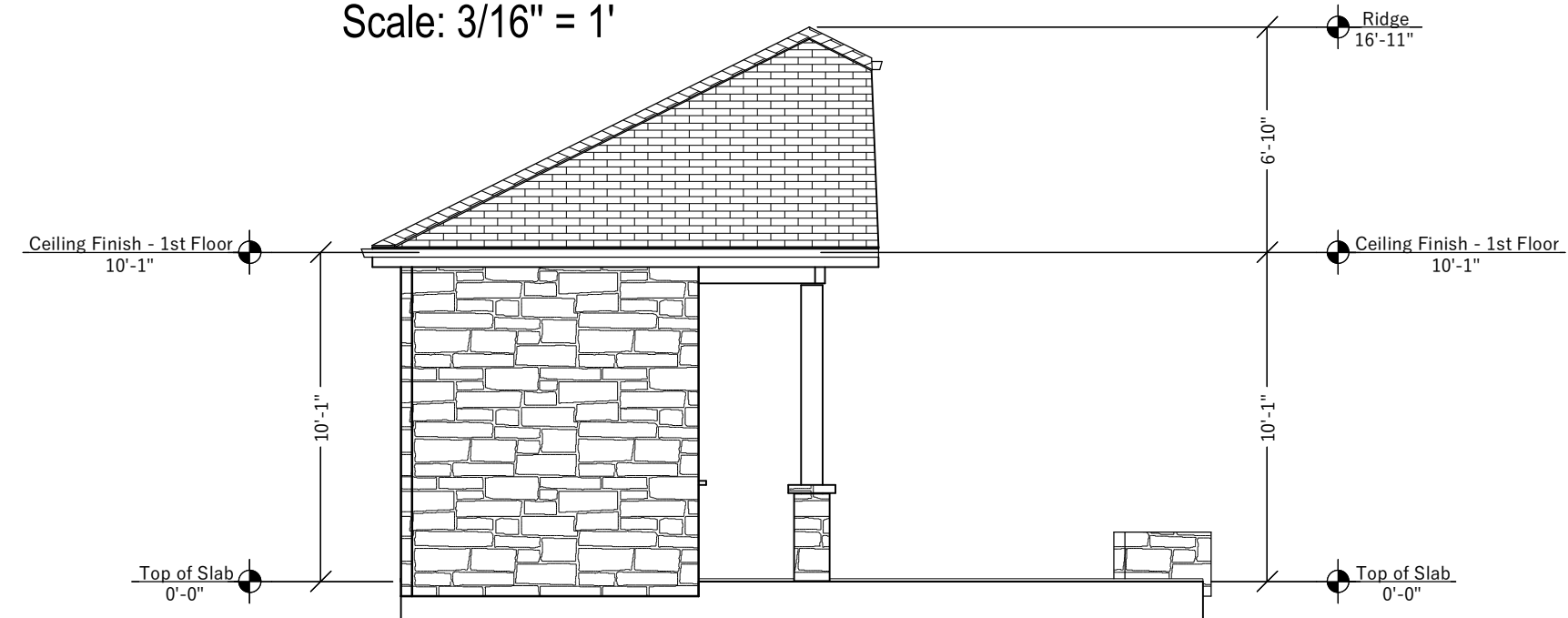
[Signature]



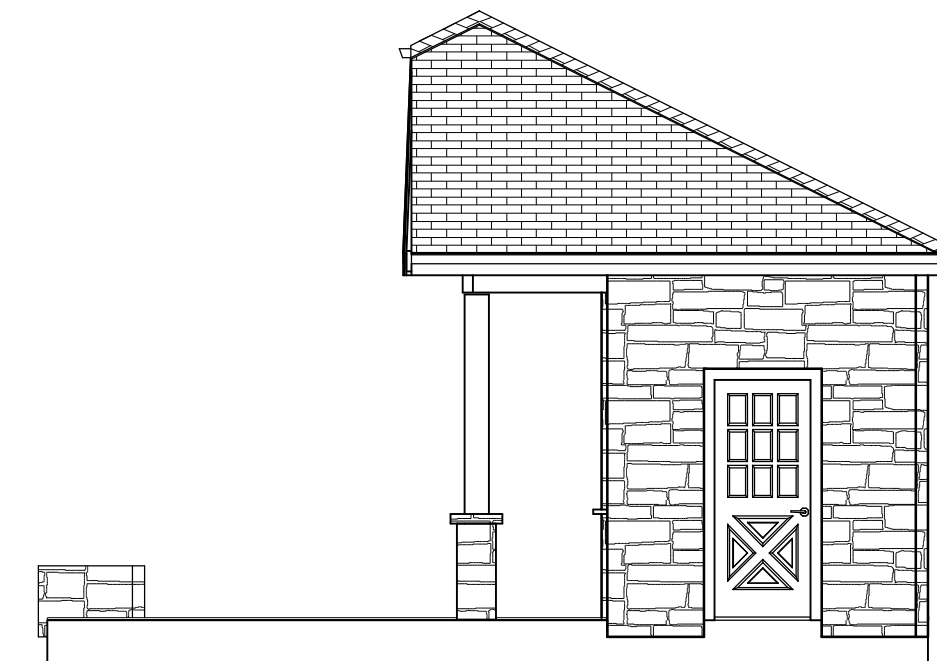
Front Elevation
Scale: 3/16" = 1'



Back Elevation
Scale: 3/16" = 1'



Left Elevation
Scale: 3/16" = 1'



Right Elevation
Scale: 3/16" = 1'



City-Code
Home Designs

817-905-4072

Drawn By:
Omar Ruelas

DATE: 2/3/2025

This plans have been specifically design for a one time use at the specified address shown in the address bar. Additional use of this plans set for other locations is prohibited without the written consents of C.C.H.D

Project Address:
3908 Collin St
Fort Worth Tx



SHEET NUMBER
P-2



City-Code
Home Designs

817-905-4072

Drawn By:
Omar Ruelas

DATE: 2/3/2025

This plans have been specifically design for a one time use at the specified address shown in the address bar. Additional use of this plans set for other locations is prohibited without the written consents of C.C.H.D

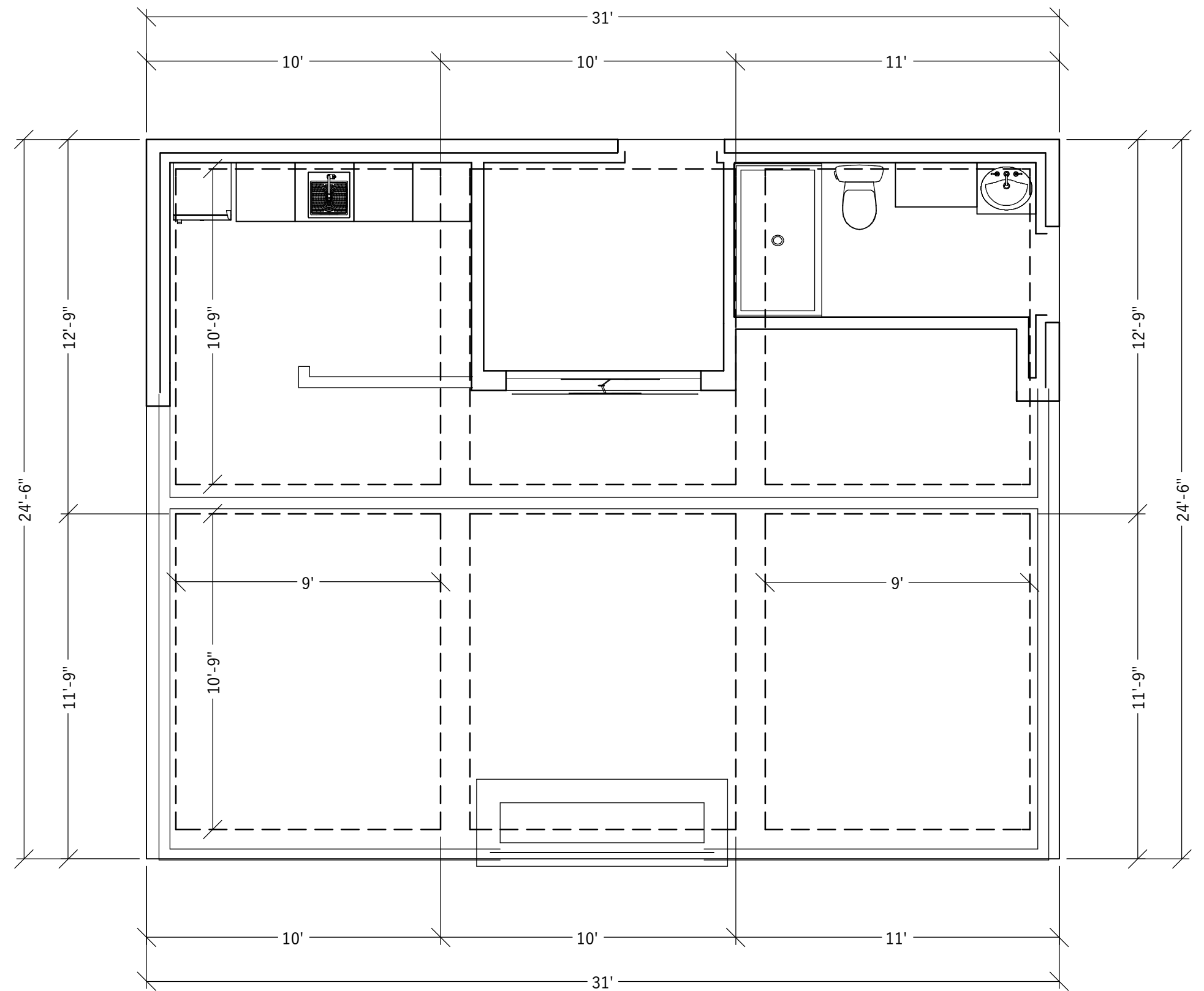
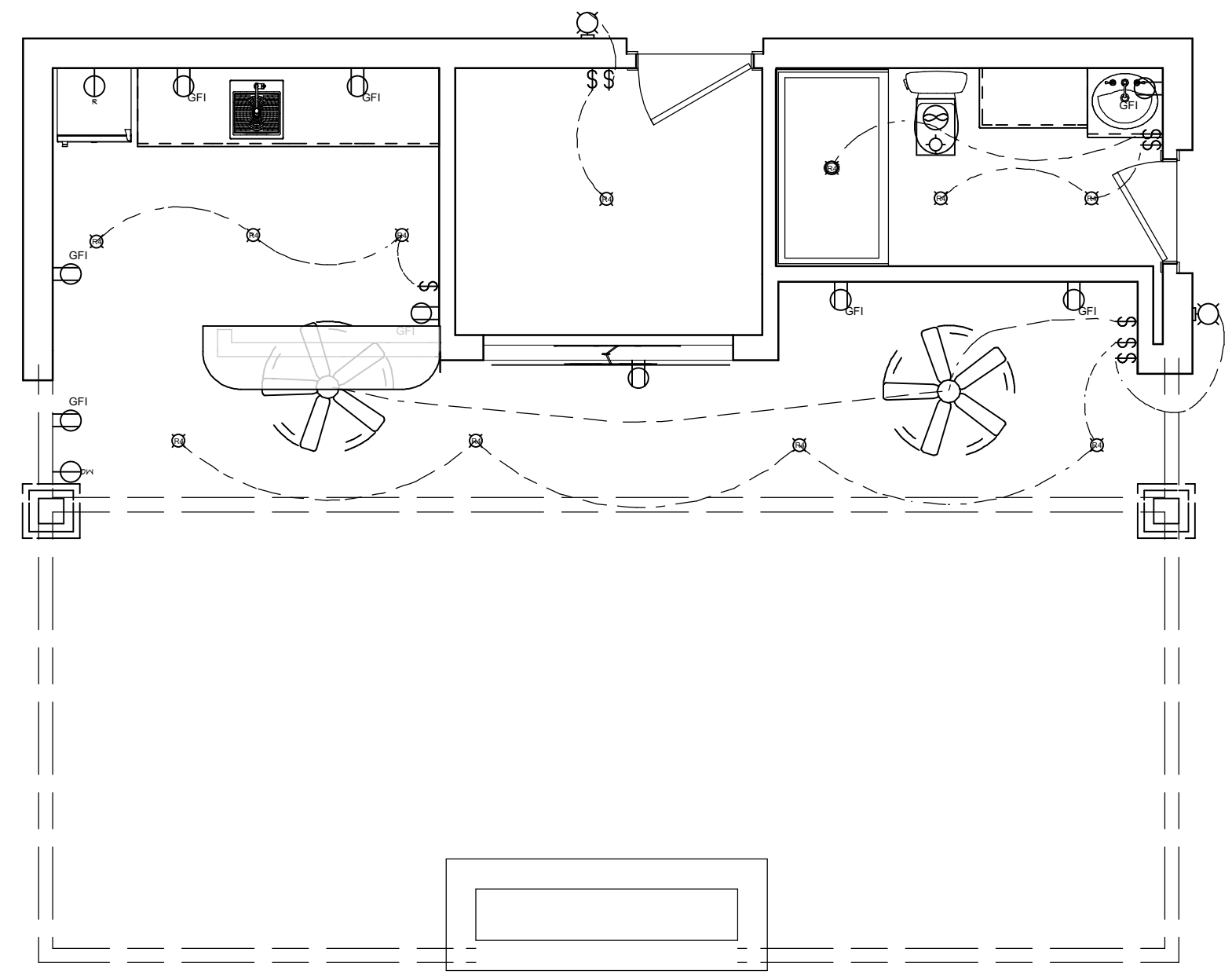
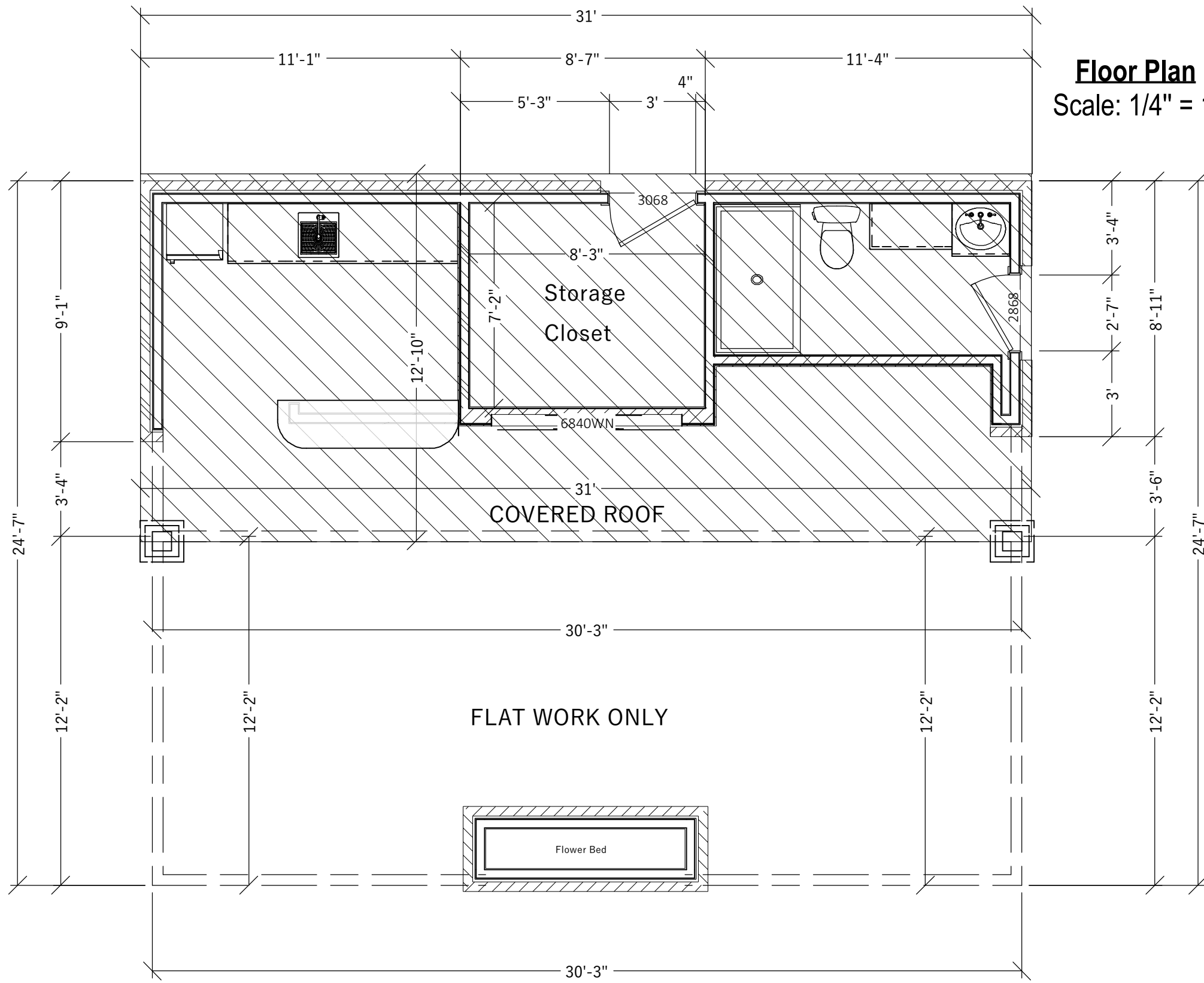
Project Address:
3908 Collin St
Fort Worth Tx



SHEET NUMBER
P-3

Floor Plan

Scale: 1/4" = 1'





BOARD OF ADJUSTMENT - RESIDENTIAL

BAR-25-010

Address: 510 Paradise St
Owner: Felix Wong on behalf of Trinity Phoenix LLC
Zoning: "A-5" – One Family Residential District

b. Variance: To permit the construction of a one-family dwelling on a lot that is less than the minimum size required.

Minimum lot square footage: 5,000 square feet
Requested lot square footage: 4,750 square feet

GENERAL INFORMATION

REGULATION: 3.403 Board of Adjustment Action

In taking action on an application for a variance, the board of adjustment shall grant the application only when the board determines that:

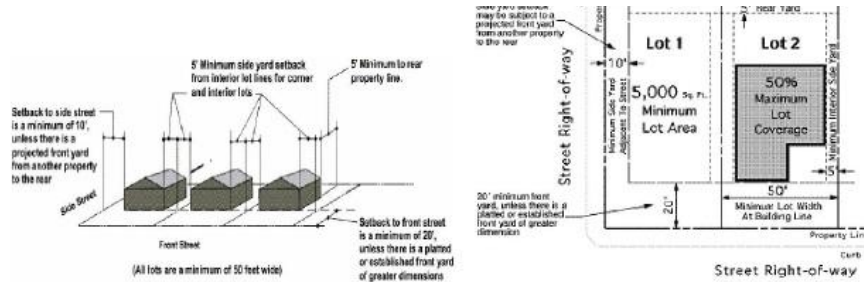
- (a) Literal enforcement of the regulations in this zoning ordinance will create an unnecessary hardship or practical difficulty in the development of the affected property;
- (b) The situation causing the hardship or difficulty is unique to the affected property;
- (c) The situation or hardship is not self- imposed;
- (d) The relief sought will not injure the existing or permitted use of adjacent conforming property; and
- (e) The granting of a variance will be in harmony with the spirit and purposes of this zoning ordinance.

4.705 One-Family ("A-5") District.

(c) *Property development standards.*

- (1) In the one-family ("A-5") district, the minimum dimension of lots and yards and the height of buildings shall be as shown in the accompanying table.

One-Family ("A-5") District	
Lot area	5,000 square feet minimum
Lot width	50 feet minimum at building line



Picture 4.9

LOT HISTORY: BAR-25-010 – Variance for lot width less than required. Approved, 03/19/2025.

COMPREHENSIVE PLAN DESIGNATION: Single-Family Residential

REGISTERED NEIGHBORHOOD NOTIFICATION: Riverside Alliance, Vintage Riverside NA, United Riverside NA, Tarrant Regional Water District, Friends of Riverside Park, East Fort Worth, Inc., Streams And Valleys Inc, Trinity Habitat for Humanity, Oakhurst Alliance of Neighbors, United Riverside Rebuilding Corporation, Inc., East Fort Worth Business Association, Fort Worth ISD

EXISTING CONDITIONS: The subject property is a vacant lot without alley access in an established residential neighborhood. The lot is flat, rectangular in shape, and located outside of the FEMA floodplain. Sanborn insurance maps indicate that the subject property was vacant in 1911 and 1926. Historical aerial photographs indicate a structure on the property from 1952 through 1979, but that the property has been vacant since at least 2001.

The subject property has not been platted. The applicant has acknowledged and is aware that the subject property must be platted to obtain necessary permits.

The applicant has applied for two variances that would allow the construction of a one- or two-story single-family home. The first variance for a deficiency in lot width was approved by the Board of Adjustment on March 19, 2025. However, due to an omission in the legal notice, the second request for a variance for a deficiency of total lot square footage is being presented at the April hearing.

The current (“A-5” One Family) zoning requires the lot to be a minimum of 5,000 square feet in total area. The lot area is 4,750 square feet and is therefore deficient by 250 square feet. The applicant is requesting a variance to construct a one-family home on a lot which is less than the minimum size required.



The proposed building footprint meets side, rear, and front yard required setbacks. The proposed two-car garage meets the parking requirements for a single-family home with three bedrooms or less.

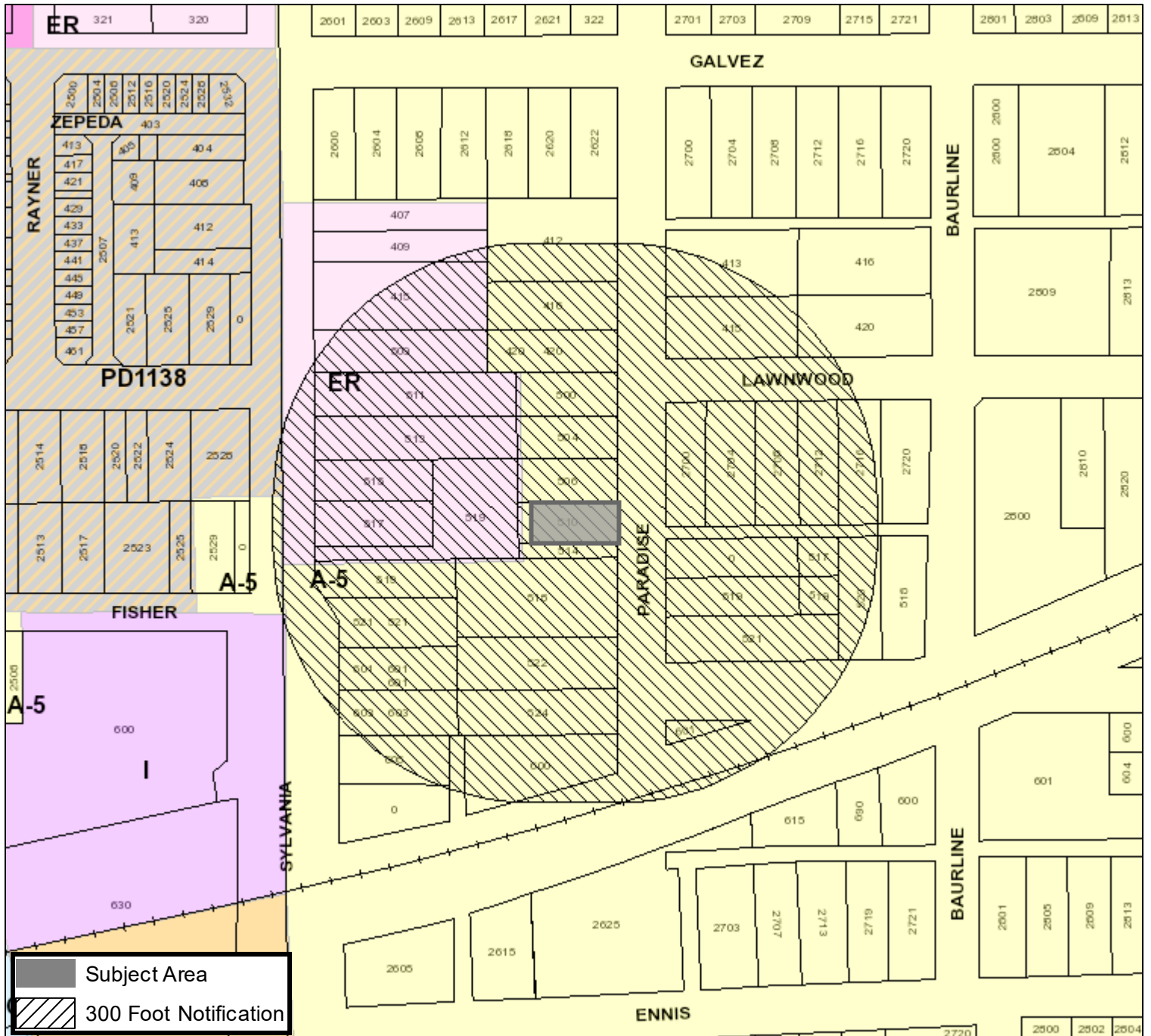
The proposal is required to meet all other development regulations.







Area Zoning Map


Applicant: Trinity Phoenix LLC by Felix Wong
Mapsko: 63Y
Commission Date: 3/19/2025



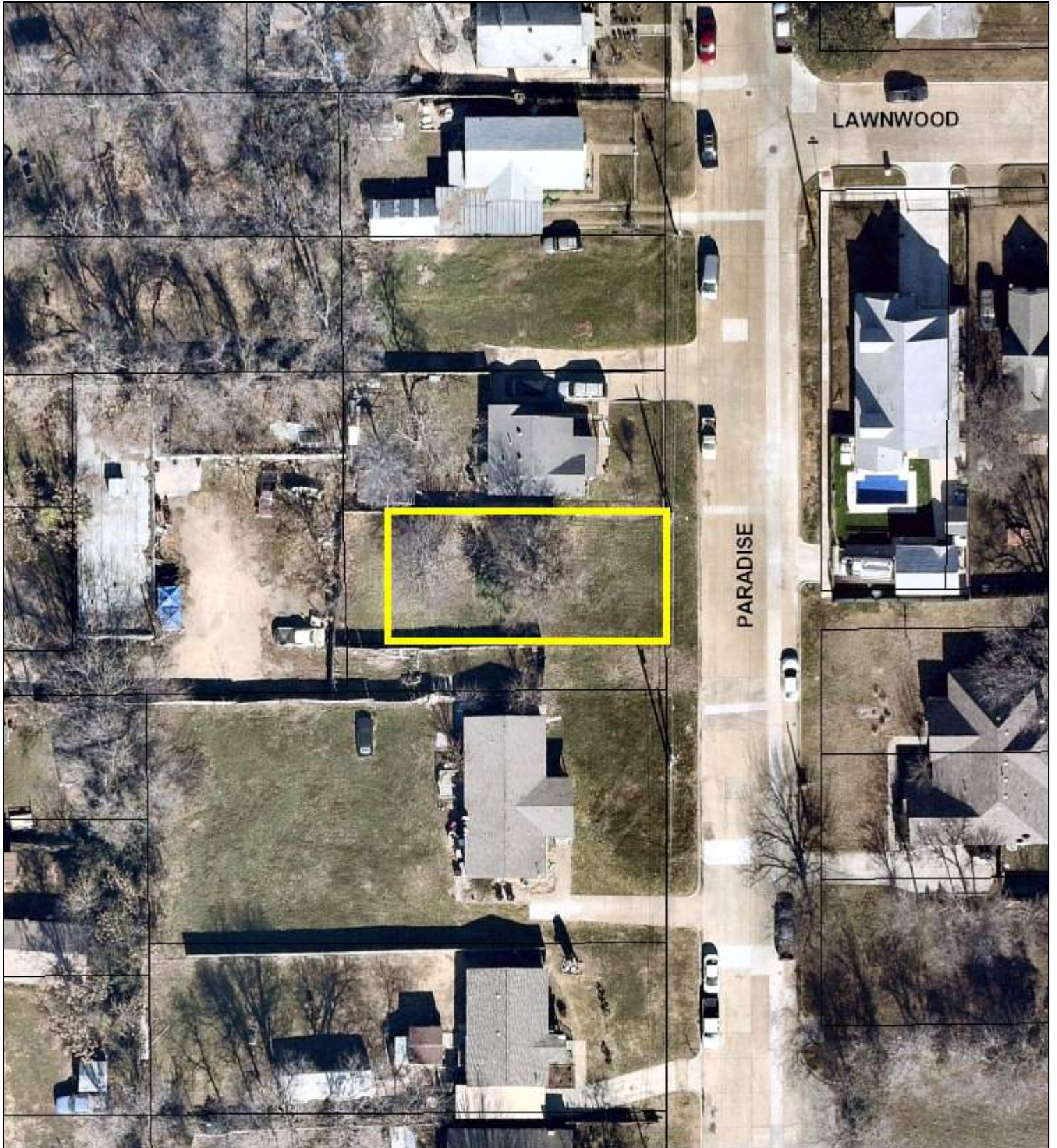
 Subject Area

 300 Foot Notification

0 80 160 320 Feet



Aerial Photo Map



0 30 60 120 Feet



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 510 Paradise St

Lot/Tract: 3E2A Block/Abstract: 1659 Lot Size: 4750

Legal Description: Addition/Survey: Benjamin E Waller Survey

Owner's Name: Trinity Phoenix LLC

Address: 309 E Broad St

City: Mansfield State: TX Zip: 76063

Tele: () 214-455-8834 E-Mail chiptabortx@gmail.com

Applicant's Name: Felix Wong

Address: 2604 Aberdeen Dr

City: Arlington State: TX Zip: 76015

Tele: () 817-800-9976 E-Mail felix.wong.11@gmail.com

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
Construct one single-family house of approximately 1200-1400 sq ft, one- or two- story in height TBD with exterior sidings

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed

Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No

Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

Owner Occupied Variance (One and Two Family Homes) for Section _____

Special Exception for Section _____

Variance for: _____

Interpretation of the Regulation \$400

DATE RECEIVED:	FEE AMOUNT PAID :	# OF REQUESTS:	RECEIVED BY:	CASE NO.
1/23/25	1293.75	2	MP	BAR-25-010

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. _____

The variance request is based on existing condition resulted from previous subdivision and development of surrounding properties by others. It is not a self-created hardship by the current owner.

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property.

The 4,750 sq ft area of this property is created by previous subdivision of properties within this block and it is not a circumstance created by the current new owner for financial or convenience reasons. The property is abutted on front, side and rear by existing developments, houses and other structures - a condition that will not allow the owner to expand the property to the 5,000 sq ft minimum lot area required by the A-5 zoning.

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.

The variance for the 5,000 sq ft minimum lot area of A-5 will be in harmony with the city's plan, specially the 2023 Fort Worth Neighborhood Conservation Plan & Housing Affordability Strategy to provide more housing and to encourage development of market rate housing. The proposed use is a single family house in compliance all other requirement of the A-5 zoning (except for the min. lot area).

4. The variance will not adversely affect the health, safety, or welfare of the public.

The variance for the 5,000 sq ft minimum lot area of A-5 will not adversely affect the health, safety or welfare of the public. The small 250 sq ft reduction in lot area will have no negative impact on neighbors or the general public.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.

The variance for the minimum lot area of A-5 will not substantially injure the appropriate use of adjacent properties. The proposed use is in an already developed area, surrounded by existing houses and the railroad.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

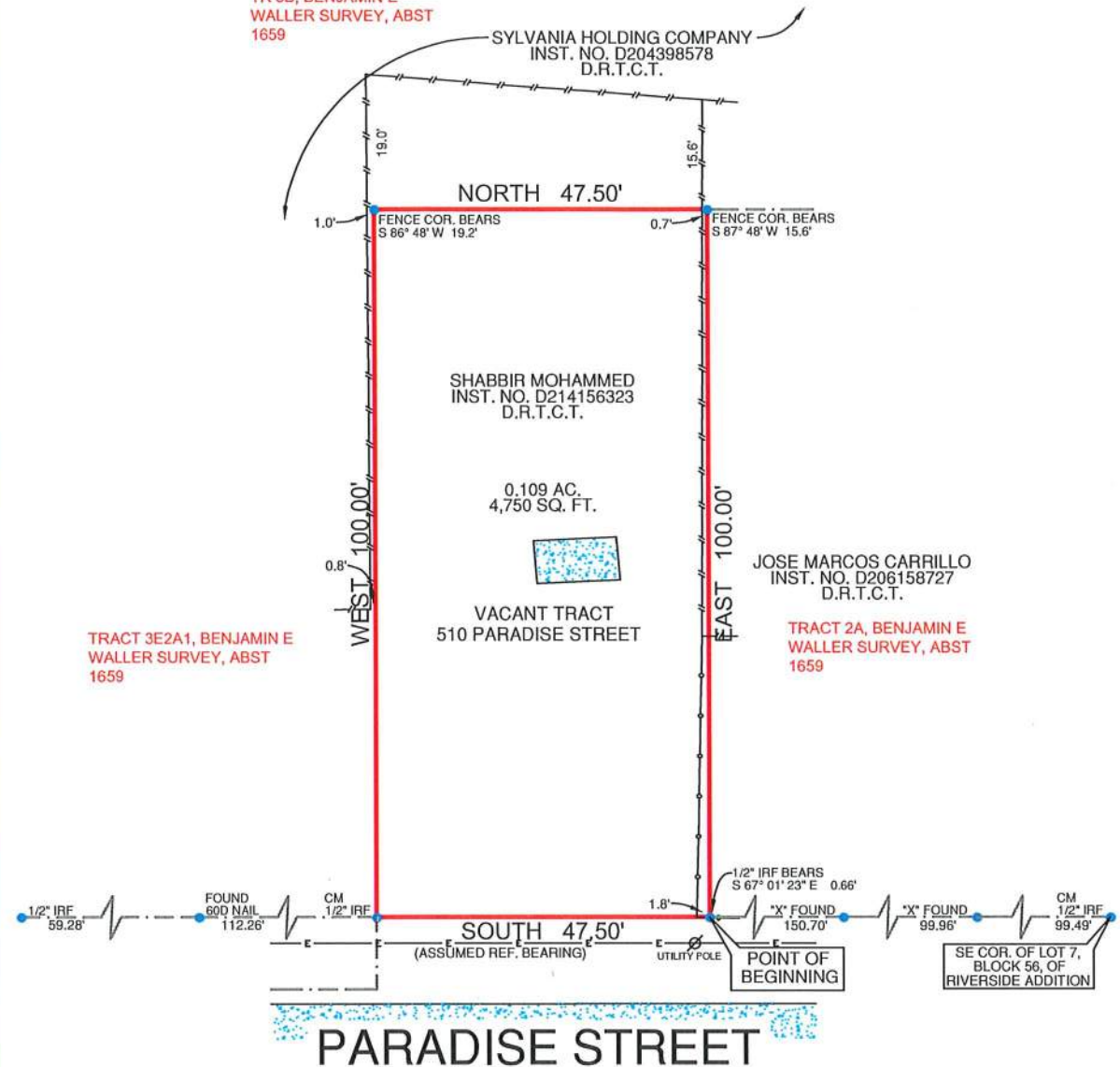
Signed by the Owner Applicant or Agent (Circle appropriate entity)

Signature: **Felix Wong** Digitally signed by Felix Wong
Date: 2025.01.22 16:20:19 -06'00'

Date 1/22/2025

TR 3B, BENJAMIN E
WALLER SURVEY, ABST
1659

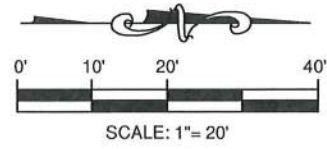
SYLVANIA HOLDING COMPANY
INST. NO. D204398578
D.R.T.C.T.



LEGEND:

—*—*— WIRE FENCE	ASPHALT
—o—o— CHAINLINK FENCE	CONCRETE
—o—o— WROUGHT IRON FENCE	GRAVEL
—#—#— WOOD FENCE	TILE
—v—v— VINYL FENCE	WOOD
—E—E— ELECTRIC LINE	BRICK
CM = GAS METER	STONE
EM = ELECTRIC METER	(WOOD) RAILROAD TIE
IPF = IRON PIPE FOUND	
IRF = IRON ROD SET	
CM = CONTROLLING MONUMENT	

NOTES:
BEARINGS ARE ASSUMED.



LEGAL DESCRIPTION:
BEING A 0.109 ACRE TRACT OF LAND SITUATED IN THE B. E. WALLER SURVEY, ABSTRACT NO. 1659, TARRANT COUNTY, TEXAS, BEING ALL THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO SHABBIR MOHAMMED, AS RECORDED IN INSTRUMENT NO. D214156323, DEED RECORDS, TARRANT COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS DESCRIPTION ATTACHED HERETO AND MADE A PART THEREOF ON PAGE 2.

SURVEYOR'S CERTIFICATION:
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GF. NO.	117002382
BORROWER	FOURTH & SYLVANIA, INC.
TECH	MSP
FIELD	SM

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48439C0195 K, DATED SEPTEMBER 25, 2009.

DATE: 05/11/16 JOB NO.: 16-03068
FIELD: 05/09/16

510 PARADISE STREET, FORT WORTH, TX 76111
0.109 AC., B. E. WALLER SURVEY, ABSTRACT NO. 1659

Robert T. Paul, Jr.
Registered Professional Land Surveyor

PROVIDENCE
TITLE

DATE: _____
ACCEPTED BY: _____

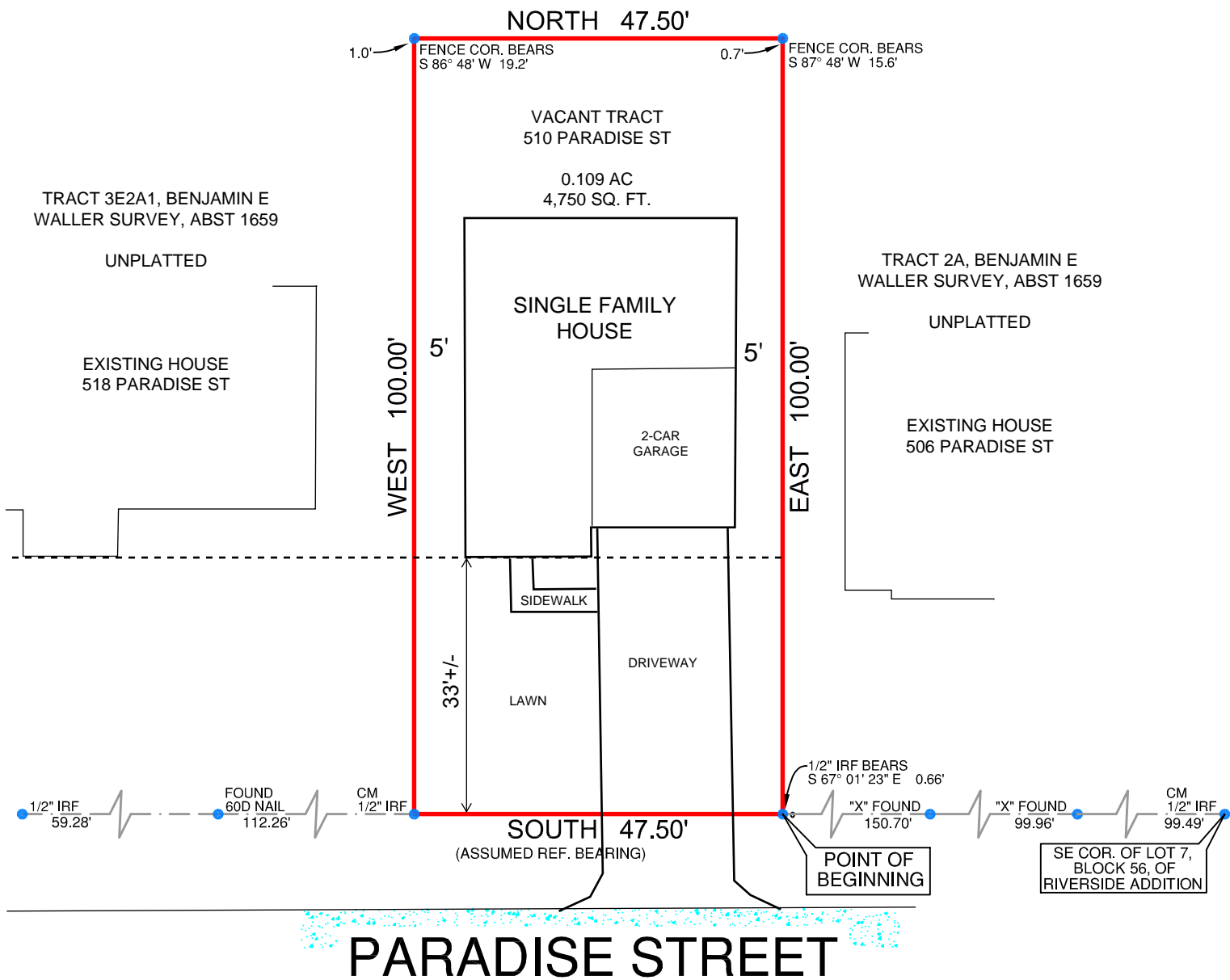
Premier
Surveying LLC

5700 W. Plano Parkway
Suite 2700
Plano, Texas 75093
Office: 972-612-3601
Fax: 972-964-7021
Firm Registration No. 10146200

Revised

02/24/2025

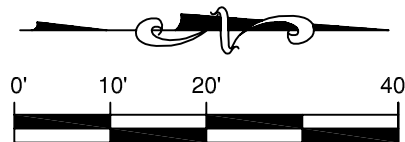
TR 3B, BENJAMIN E WALLER SURVEY, ABST 1659
519 S SYLVANIA AVE



LEGEND:

—x—x— WIRE FENCE	ASPHALT	
—o—o— CHAINLINK FENCE	CONCRETE	
—□—□— WROUGHT IRON FENCE	GRAVEL	
—//—//— WOOD FENCE	TILE	
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FIELD	SM

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Robert T. Paul, Jr.
Registered Professional Land Surveyor

PROVIDENCE
TITLE

DATE: _____
ACCEPTED BY: _____

Premier
Surveying LLC
5700 W. Plano Parkway
Suite 2700
Plano, Texas 75093
Office: 972-612-3601
Fax: 972-964-7021
Firm Registration No. 10146200

Paradise St

Paradise St

Paradise St

Paradise St

506

5'

SINGLE FAMILY HOUSE



510

DRIVEWAY

33'+/-

5'

514

518



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

BAR-25-015

Address: 1201 Belle Place
Owner: Steve Blackwell on behalf of Richard Sukup
Zoning: "A-5" Single Family Residential

a. Special Exception: To permit a carport in the front yard.

Minimum required projected front yard setback: 20 feet

Proposed projected front yard setback: 2 feet

GENERAL INFORMATION

REGULATION:

3.303 Board of Adjustment Action

(a) In taking action on an application for special exception, the board of adjustment shall grant the application only when the board determines that:

- (a) The use is specifically permitted under this ordinance;
- (b) The location of proposed activities and improvements is clearly defined on the site plan by the applicant;
- (c) The exception will be wholly compatible with the existing use and permitted development of adjacent properties either as filed, or subject to such requirements as the board finds necessary to protect and maintain the stability of adjacent properties.

(b) The burden of proof regarding all conditions is on the applicant. Any site or floor plan will become part of the approval of the special exception.

5.301 Accessory Uses on Residential Lots

(2) *Private garages, private carports or private porte cocheres*

3. Private carports and private porte cocheres in front yard setbacks.

No private carport or porte cochere shall be permitted within the minimum required front yard, platted front yard or projected front yard of residential dwellings except by special exception granted by the board of adjustment in accordance with the use tables in Chapter 4, Article 6. In reviewing a request for a private carport or porte cochere within the minimum required front yard, platted front yard or projected front yard, the board of adjustment shall consider the following:

- i. The presence and/or absence of a functional garage on the residential lot, parcel or tract;
- ii. The viability of access to the side and rear yard;
- iii. The size, height, and design of the carport or porte cochere and its impact on adjacent properties; and



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

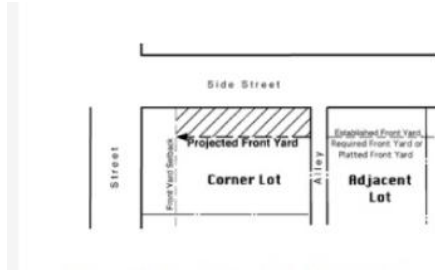
- iv. The incidence of other carports or porte cocheres on the block face.

6.101 Yards.

(f) *Projected front yard setbacks.*

(1) *Corner lot.*

- a. Where a corner lot abuts on the side of a lot facing the other intersecting street, there shall be a side yard on the corner lot equal to the front yard required on the lot adjacent to the rear of the corner lot or separated only by an alley.



LOT HISTORY:

BAR-07-150, Residential Board of Adjustment – To request a special exception and variance to permit a 6 ft stucco wall in the front yard, Approved, 10/05/2007 PB06-09963, New Single Family Residence, Finaled, 07/18/2006

**COMPREHENSIVE
PLAN DESIGNATION:**

Single-Family Residential

**REGISTERED
NEIGHBORHOOD
NOTIFICATION:**

West Side Alliance, North Hi Mount NA, Arlington Heights NA, Monticello NA, Crestline Area NA, Cultural District Alliance, Camp Bowie District, Inc., Streams and Valleys Inc., Fort Worth ISD, Trinity Habitat for Humanity

**EXISTING
CONDITIONS:**

The subject property is located on a corner lot in an established neighborhood, containing several mature trees, and no presence of floodplain. The property was replatted in 2006 and does not contain alley access. The property is approximately 5,425 square feet in area and is relatively flat. The primary structure was constructed in 2006 and faces onto Belle Place, with driveway and garage access located off of Clarke Ave.

The applicant is requesting a special exception to construct a carport measuring 18.8 ft wide x 18 ft long x 10 feet high, that would be located within the projected front yard. The property located to the east, addressed as 3901 Clarke Avenue (constructed 2007), fronts onto Clarke Avenue, which creates a projected front yard for the subject property along the northern property boundary. The subject property site plan indicates that the build line is 20 feet along the northern property boundary. The proposed location of the carport is



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

intended to provide cover of the existing concrete drive leading to the driveway. The applicant originally proposed to enclose the carport with a wrought iron fence, but has since withdrawn that portion of the project from consideration. The existing concrete drive measures 18.8 ft wide x 20 ft long and extends to the property line from the garage.

There is an attached porte cochere located at 1113 Clarke Avenue, however there are no others on the blockface.

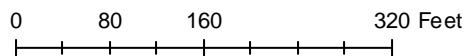
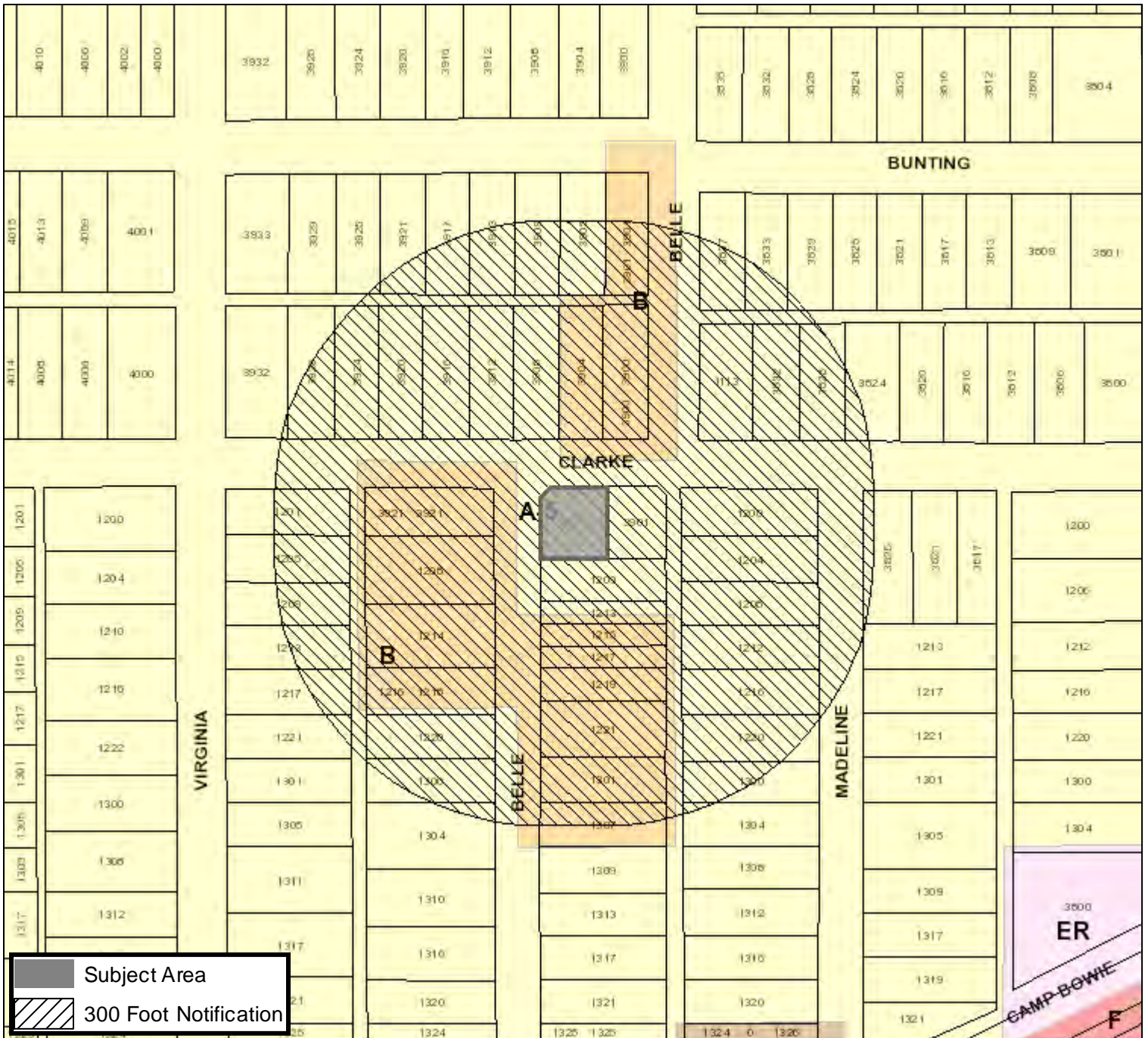
If the special exception and variance requests are approved, the applicant will be required to obtain the proper permits and meet all other development standards.

BAR-25-015 was first heard by the Residential Board of Adjustment on March 19, 2025. A continuance was granted for the hearing to continue at the April 2025 meeting.

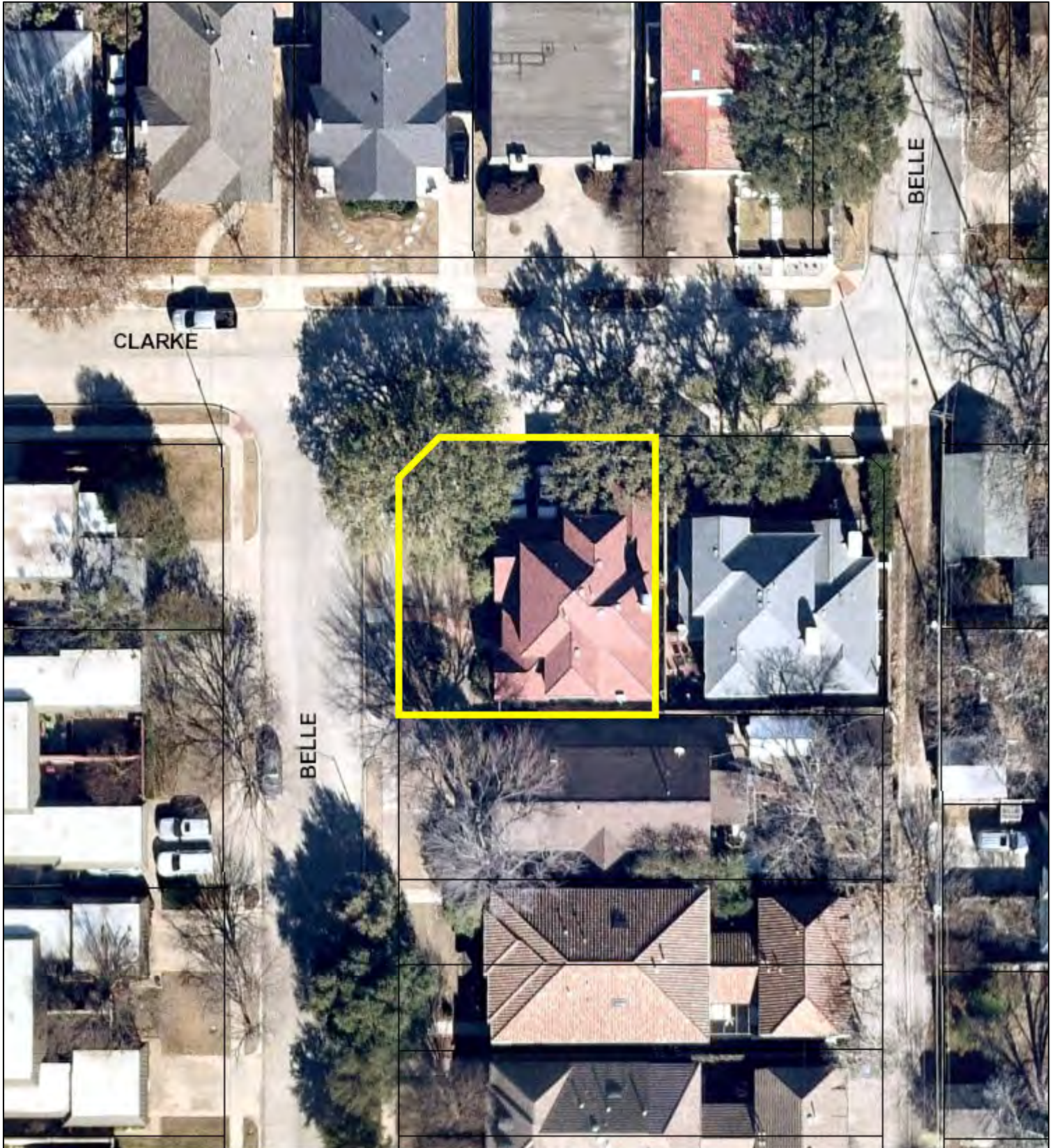


Area Zoning Map

Applicant: Richard & Linda Sukup
Mapsco: 75D
Commission Date: 3/19/2025



Aerial Photo Map



0 25 50 100 Feet



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**



Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 3905 CLARKE AVE (1201 BELLE PLACE)
 Lot/Tract: LOT 1R Block/Abstract: BLOCK 7 Lot Size: 65 FT X 63 FT
 Legal Description: Addition/Survey: LOT 1R, BLOCK 7, BUNTING'S ADDITION TO HI-MOUNT

Owner's Name: RICHARD A. and LINDA M. SUKUP
 Address: 3905 CLARKE AVE (1201 BELLE PLACE) TARRANT COUNTY TX
 City: FORT WORTH State: TEXAS Zip: 76107-3358
 Tele: (817) 271-2577 E-Mail RICHARDASUKUP@gmail.com

Applicant's Name: RICHARD A. and LINDA M. SUKUP
 Address: 3905 CLARKE AVE (1201 BELLE PLACE) TARRANT COUNTY, TX
 City: FORT WORTH State: TEXAS Zip: 76107-3358
 Tele: (817) 271-2577 E-Mail RICHARDASUKUP@gmail.com

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
GARAGE CONCRETE PAD (EXISTING) COVER (I.E. PART-A-CHESE)
WOOD STRUCTURE, COMPOSITION ROOF/TILE TRIM (TO MATCH
EXISTING HOME), CONCRETE COLUMNS AND ARCHES, WITH
ARCHITECTURAL TRIM (TO MATCH EXISTING HOME) STUCCO,
PAINT EAVES. W=20FT. H=10FT SIDE/HIPPED ROOF.

Additional documentation may be supplied to support your case if photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date N/A Case Number(s) N/A

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

Owner Occupied Variance (One and Two Family Homes) for Section _____

Special Exception for Section _____

Variance for: _____

Interpretation of the Regulation \$400

DATE RECEIVED: <u>2/7/25</u>	FEE AMOUNT PAID : 843.75	# OF REQUESTS: 1	RECEIVED BY: <u>KM</u>	CASE NO. <u>BAR-25-05</u>
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Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. WE HAVE HAD UNAUTHORIZED / PERSONS OF UNKNOWN TAMPERING WITH OUR CARS PARKED ON OUR DRIVEWAY.

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property. WE HAVE BEEN AWAKEN IN DEAD OF NIGHT BY OUR GARAGE CAMERA BY UNKNOWN PERSONS ATTEMPTING TO TAMPER WITH OUR CARS.

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance. A PORT-A-CHERE WITH A GATE AND FENCED (WROUGHTIRON) WOULD DETER SUCH MISCHIEF AND POTENTIAL PROPERTY LOSS/DAMAGE

4. The variance will not adversely affect the health, safety, or welfare of the public. THE VARIANCE WILL NOT AFFECT THE HEALTH, SAFETY OR WELFARE OF THE PUBLIC.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district. THE VARIANCE WILL NOT INJURE THE APPROPRIATE USE OF ADJACENT PROPERTIES.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Rahul G. Sanyal

2/6/2025

Signature: _____

Date _____

BAR-25-015
1201 Belle Place



BAR-25-015
1201 Belle Place

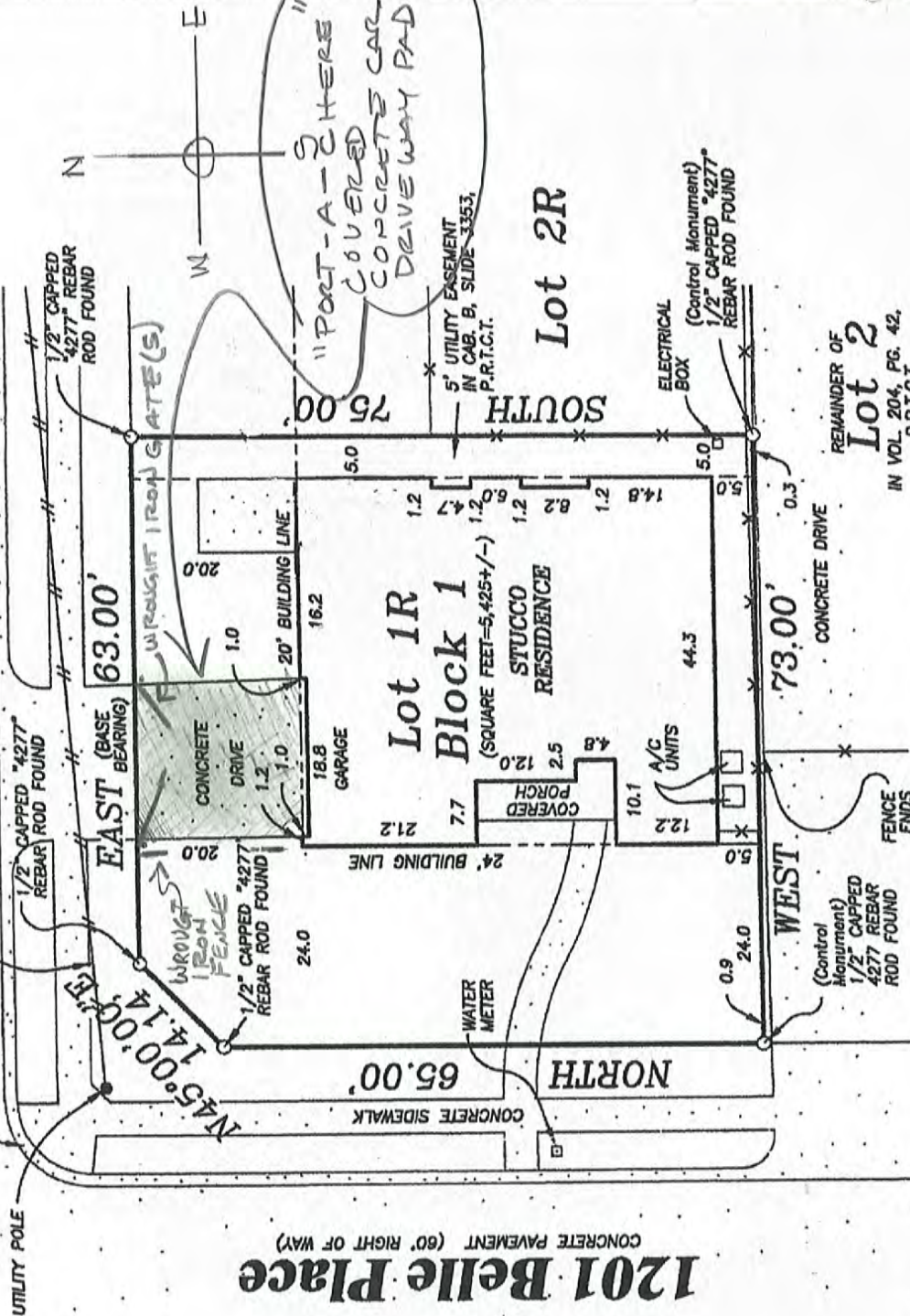


Clarke Avenue

CONCRETE PAVEMENT (60' RIGHT OF WAY)

OVERHEAD UTILITY
DISTRIBUTION LINE
(TYPICAL)

CONCRETE
CURB &
GUTTER



TA
ING
STREET
76020
766
-7767

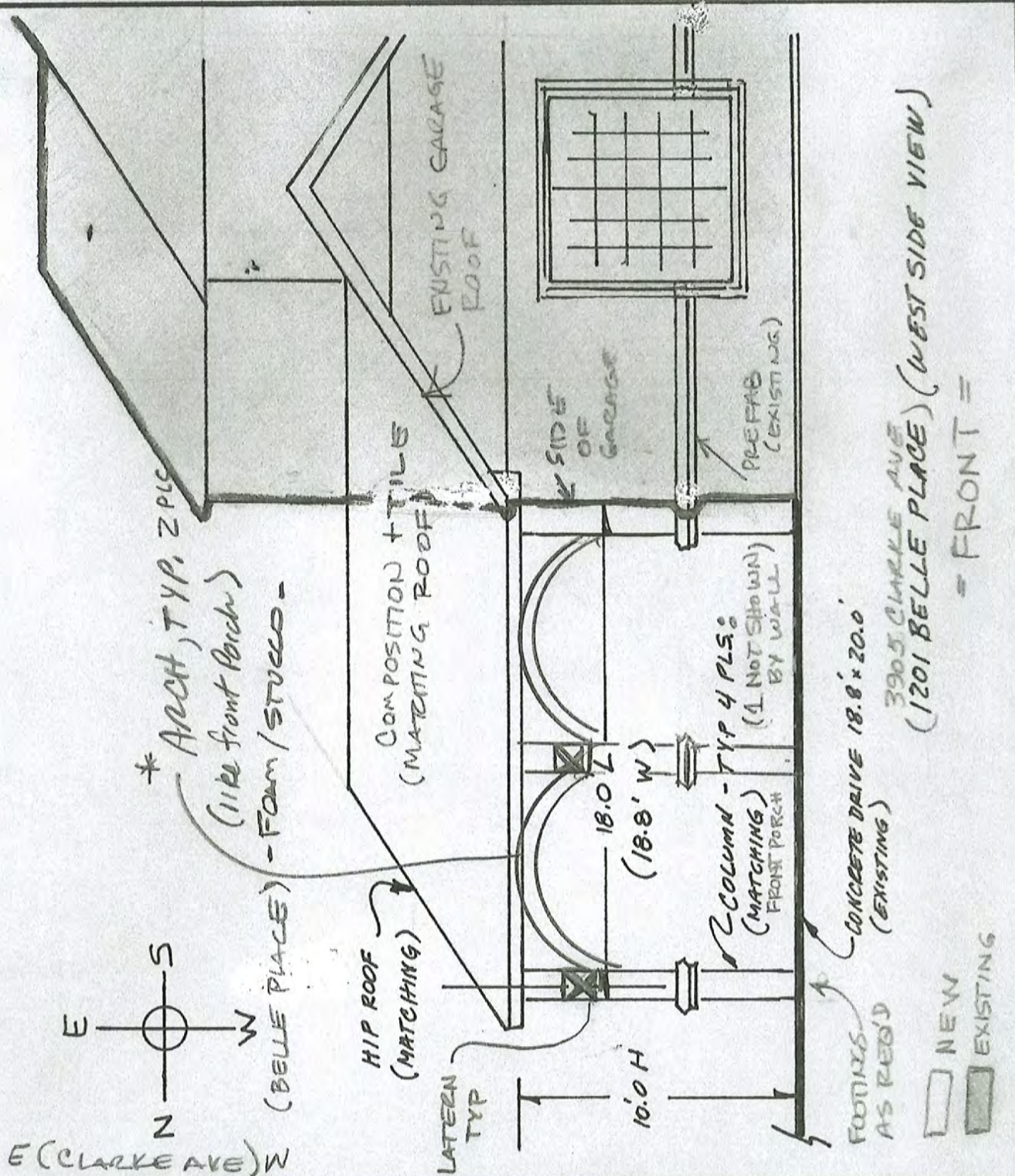
1201 Belle Place

CONCRETE PAVEMENT (60' RIGHT OF WAY)

RICHARD A. & LINDA M. SUKUP
3905 CLARKE AVE, FT. WORTH, TX 76107
PROPERTY OWNERS

SCALE: NTS	APPROVED BY: RICHARD A. SUKUP, P.E., TEXAS LIC. NO. 88078	DRAWN BY: R. A. SUKUP
DATE: JAN. 3, 2025		REVISED: N/A
SITE / PROPOSED PORT-A-CHERE / PLAN (COVERED CAR PORT)		DRAWING NUMBER
CONTRACTOR: BLACKWELL CONSTRUCTION LLC		.010325 PC

6 OF 11



RICHARD A. & LINDA M. SOKUP
 3905 CLARKE AVE FORT WORTH, TX 76107
 PROPERTY OWNERS

SCALE: 3/16" = 1 FT.	APPROVED BY: Richard A. Sokup, P.E. TEXAS LICENSE NO. 88078	DRAWN BY Richard A. Sokup, P.E. REVISED
DATE: JAN. 3, 2025		

PROPOSED PORT-A-CHERE
 (COVERED CAR PORT)

CONTRACTOR: BLACKWELL CONSTRUCTION LLC	DRAWING NUMBER .01.24 PC
--	-----------------------------

EXISTING
PRIVACY
STUCCO WALL

Clarke AV 3900

STOP

ALL
WAY

STOP
SIGN

B.L.

2.) F. GRAMES

CLARKE AVE

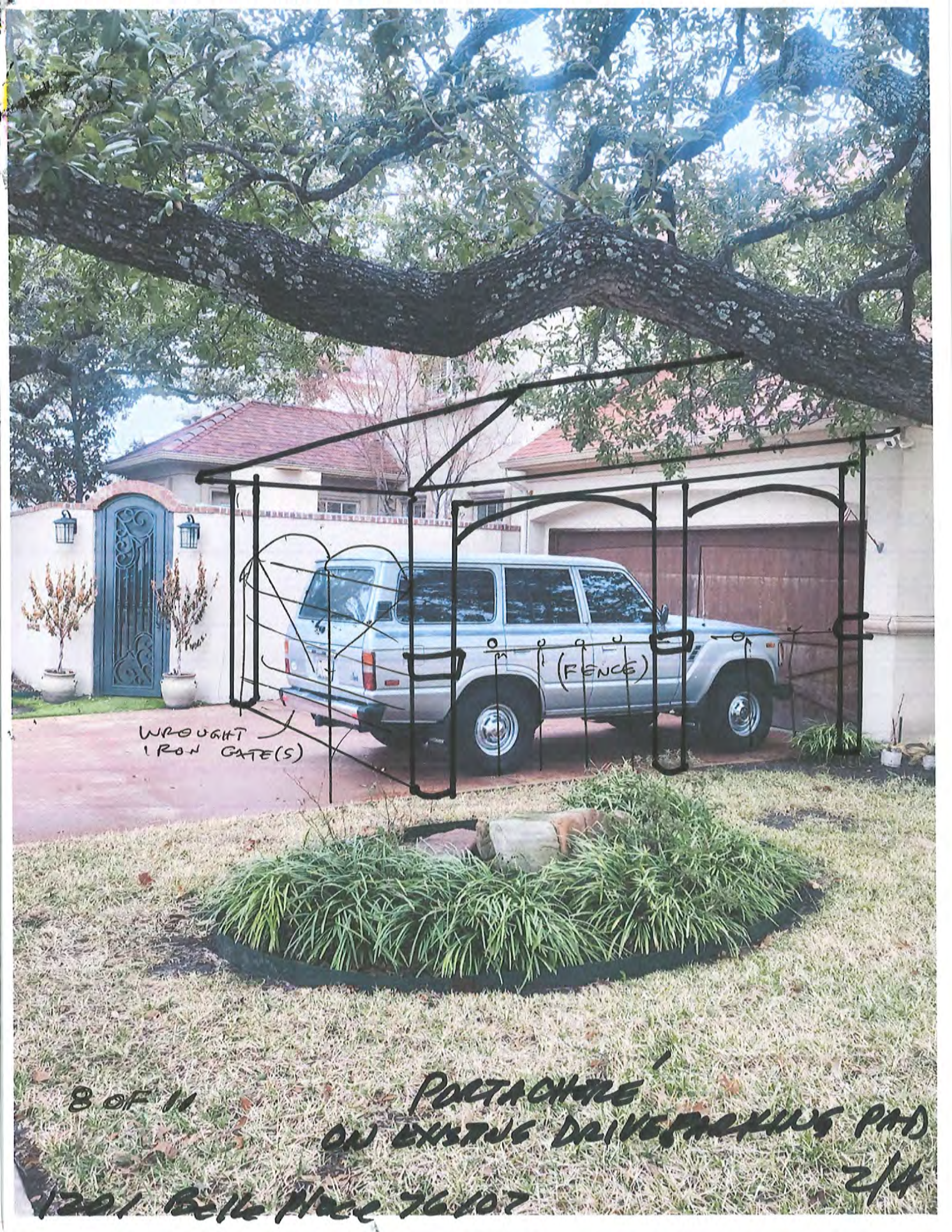
1.) DOUG
CONDIE

20F11

BELLE

4/4

1201 Belle Place 76107



WROUGHT
IRON GATE(S)

(FENCE)

8 OF 11

PORTACHURE
ON EXISTING DRIVEWAY/PAVING PAD

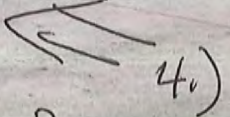
1201 Belle Place 76107

2/4



SUV
3905 CLARKE AVE

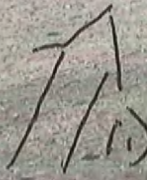
Belle Pl



PATRICK
BROPHY

3918 CLARKE AVE

CLARKE



DOUG CONNIE
3910 CLARKE AVE

10 OF 11

1201 Belle Place 76107

1/4



Clarke
Belle 1201

STOP

Clarke

Belle Place

1201 Belle Place 76107

11 OF 10

3/4

February 6, 2025
City of Fort Worth Texas
Development Department

RE: Follow-up from meeting Feb.4th

Pursuant to a meeting with Development Service Department personnel on February 4, 2025, please find the required Board of Adjustment (BOA) support documentation given to me (Richard A. Sukup) relative property owners appeal for a variance at 3905 Clarke Ave (1201 Belle Place) Fort Worth-Tarrant County-Texas 76107; to construct a Port-A-Chere over our existing garage driveway pad.

Mr. Steve Blackwell (Blackwell Construction LLC) of Tarrant County Texas is our preferred contractor and we have duly authorized him to represent us/file in our behalf the request for this variance; see attachment 'Letter of Authorization'. Mr. Blackwell and I are aware of the February 13, 2025 Application Filing Deadline and the up-coming BOA Hearing Date of March 19,2025.

As an aid BOA Support Petition, please find the following:

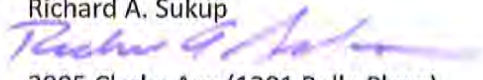
- 1.) Application;pg1 of 11
- 2.) Variance Request proposal; owners Signature. Page 2 of 11
- 3.) Letter of Authorization; owners signature. Pg 3 of 11.
- 4.) BOA-Support Petition; pages 1 of 2, 2of 2. Next Door Property owners. Pages 4,5 of 11
- 5.) Site Plan; pg 7 of 11
- 6.) Photographs pages 8-11.

Not only will this provided the vehicles protection we seek, but further beautify our residence and property.

We are hopeful in getting this permit to proceed with construction ASAP.

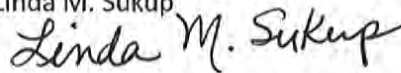
Regards,

Richard A. Sukup



3905 Clarke Ave (1201 Belle Place)
Fort Worth, Texas 76107
(817)271-2577

Linda M. Sukup



Richard A. Sukup, P.E.
Texas P,E. License 88078

Richard A. Sukup, P.E.
1201 Belle Place
Fort Worth, Texas 76107

March 26, 2025

Fort Worth Board of Adjustment cc: A. Tolliver
Residential Board Members S. Blackwell
200 Texas Street
Fort Worth, Texas 76102

RE: BAR-25-015 Residential Permit-Variance

Dear BOA Residential Members:

Thank you in advance for taking your time to review this letter (and attached Diagram) pertinent to the upcoming April 16th BOA-Residential meeting.

As you are aware, we (the property owners) are seeking BOA approval to construct a Port-a-Chere' (carport) at our residence North facing property in front of our garage at 3905 Clarke Avenue.

I attended the March 19, 2025 meeting where I presented relevant information previously submitted to Ms. Tolliver. As there was a lack of BOA member quorum, I was provided the option to return to the April 16, 2025 BOA, and to resume my presentation at that time. I accepted and plan to attend the April 16, 2025 meeting with my candidate contractor Mr. Steve Blackwell-Blackwell Construction LLC who has offered to answer any further construction related questions that may arise.

OUR RESIDENTIAL PROPERTY:

Our residential property is identified as 3905 Clarke Ave, Lot 1R, Block 1, Bunting's Addition to Hi-Mount, City of Fort Worth, Tarrant County, Texas. This is the property address of record for the Tarrant Appraisal Review Board. However, we receive our mail at 1201 Belle Place. This is a corner lot.

Prior to this meeting I had obtained and submitted for the record approvals of four of our immediate neighbors. After the March 19th BOA meeting, my conversations with surrounding neighbors (who were not readily available to me when I was seeking their approvals for this construction), further supported confusion as to the location of the carport.

- I met with Mr. Layton Sanders (3910 Clarke Ave) who had received the above referenced IMPORTANT PUBLIC NOTICE which stated the “carport in the front yard”. No, I explained we would never put a carport in our front yard (1201 Belle Place); carport was to be in front of our garage.
- Likewise I was informed by another neighbor Mr. Douglas Condie (3900 Clarke Ave) that Ms. Neal Archer (3916 Clarke Ave) upon receiving this IMPORTANT PUBLIC NOTICE had queried him (Condie) about the carport. Mr. Condie explained to her the Sukup’s carport was to be in front of their garage.

A dissenting letter by a Mr. Mark Jarecki was recognized at this March 19, 2025 BOA meeting. A BOA member stated as I recall upon reading Mr. Jarecki’s letter, that “clearly he was confused” with his letter’s language objecting “we don’t want a carport in our front yards”.

Additional questions were raised by BOA member Mr. Kenneth Jones.

- Mr. Jones further asked of me just how far from the existing (previously permitted) stucco wall is the proposed carport. I answered 2 ft. He acknowledged in the affirmative. Please see Diagram 5ft. setback.
- Mr. Jones further asked of me if the carport was to be permanently attached to the garage. I stated it was to be permanently attached to the house at the garage. Mr. Jones concurred in the affirmative.

Ms. Ashley Tolliver, present with the City Development Planning Department, was asked if the subject carport was “free-standing”. She stated there was “some confusion” on this.

I stated that the carport was not free-standing and is permanently attached to the home’s garage.

- The drawing (to scale) I had prepared and submitted prior to this meeting showed an “open concept” permanently attached to the garage with a hipped roof.
- A question arose as to “if I had construction drawings?” I stated that Blackwell Construction LLC-had recognized city inspections and the need for such construction drawings.
- A BOA member questioned a proposed gate and fence previously identified. I stated that I was withdrawing a special exception for a gate/fence and had in writing previously notified Ms. Tolliver prior to this meeting.

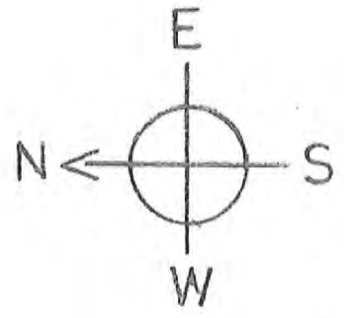
These answers referenced above which I provided during the March 19th meeting, I feel met the needed clarity at that time as no further questions were needed of me at this meeting. However, I am providing this letter and Diagram to further aid the BOA in its decision at the upcoming April 16, 2025 meeting.

I’m hopeful that in light of the above, all clarity has been provided to the BOA as to the intended location and construction of the proposed carport at 3905 Clarke Avenue and not 1201 Belle Place. I look forward to answering any further questions the BOA members might have during the April 16, 2025 meeting.

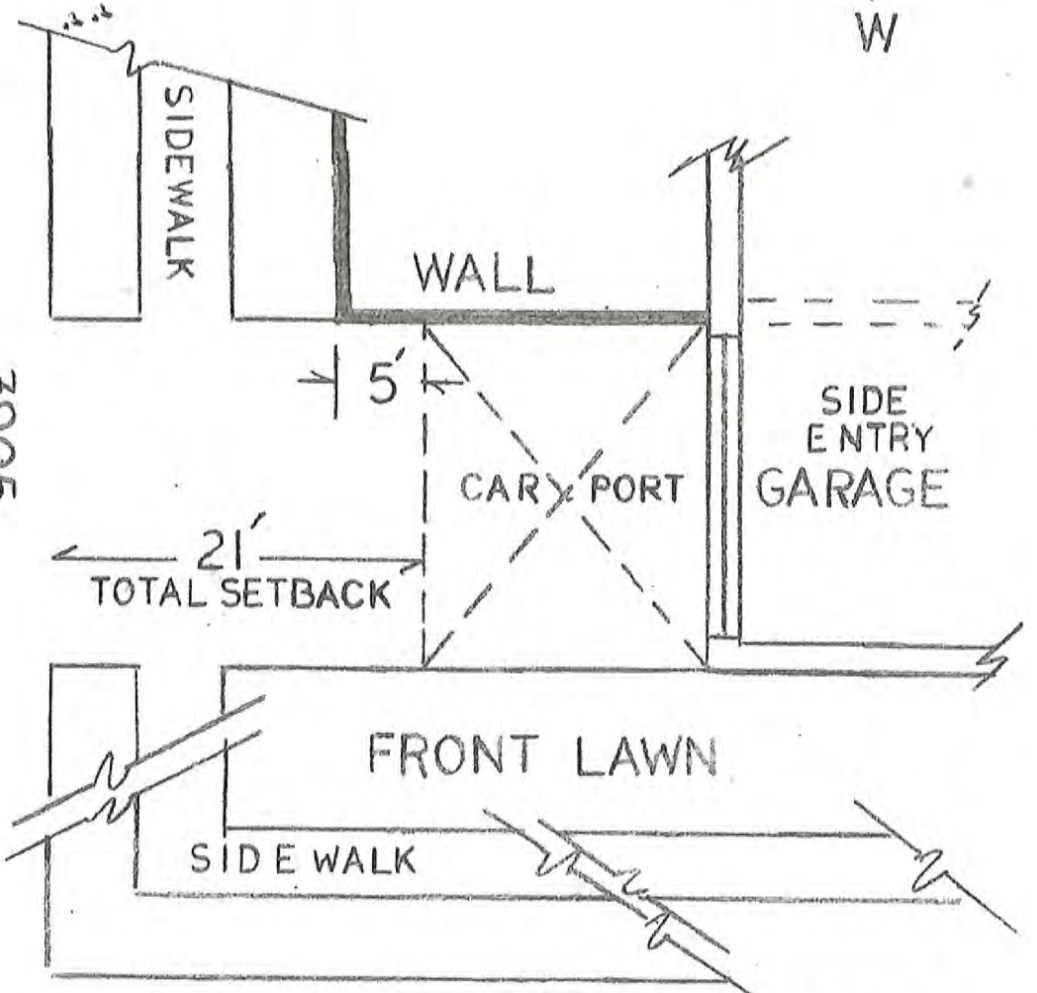
Regards,


Richard A. Sukup, P.E.

Encl: Diagram



CLAIRKE AVE.
3905



BELLE PLACE 1201



PORT-A-CHERE (CAR PORT)		
SCALE: 3/32" = 1'	APPROVED BY: RA SUKUP	DRAWN BY RASUKUP
DATE: 3-25-2025		REVISED
DIAGRAM		
RESIDENCE : RICHARD & LINDA SUKUP		DRAWING NUMBER 1A

BOA - SUPPORT PETITION 1072

1. Required for a front yard fence Special Exception; optional for all other projects.

For front yard fences or gates write height to the highest point and material. For other projects write materials and distances to the property lines.

- CONSTRUCT A PORT-A-CHERE (COVER OVER PARTIAL DRIVEWAY PAD).
- ADD WROUGHT-IRON GATE ENCLOSURE OF PORT-A-CHERE
- ADD (FENCE) WROUGHT-IRON / PORT-A-CHERE SIDE

ORIGINAL SIGNATURES

DO NOT SIGN THIS SUPPORT PETITION IF THE SECTION ABOVE HAS BEEN LEFT BLANK.

2. Obtain the signatures of support from next door property owners and the one across the street.

I have been informed of the Special Exception/Variance requested and I have NO objection...

Owner's Name	Signature	Address
1 Dong Condie	Dong Condie	3900 Clarke Ave 76107
2 Frank Grames	Frank Grames	3901 Clarke Ave 76107
3 Debra Wilson	Debra Wilson	1209 Belle Pl. 76107
4 Patrick Brophrey	Patrick Brophrey	3918 Clarke Ave. 76107
5		
6		

BOA - SUPPORT PETITION 2 OF 2

1. Required for a front yard fence Special Exception; optional for all other projects.

For front yard fences or gates write height to the highest point and material. For other projects write materials and distances to the property lines.

1.) A wrought-iron gate in front of Port-a-Chere'
(see dwg. no. 010325PC

2.) A wrought-iron fence along the side of the Port-a-Chere'

NOTE: The gate and fence to protect property owner's two vehicles parked under Port-a-Chere'.

ORIGINAL SIGNATURES

DO NOT SIGN THIS SUPPORT PETITION IF THE SECTION ABOVE HAS BEEN LEFT BLANK.

2. Obtain the signatures of support from next door property owners and the one across the street.

I have been informed of the Special Exception/Variance requested and I have NO objection...

Owner's Name	Signature	Address
1		
2	NOTE: Provided on BOA-SUPPORT PETITION 1 OF 2	
3		
4		
5		
6		



BOARD OF ADJUSTMENT - RESIDENTIAL

Case Manager: Ashlie Tolliver

BAR-25-016

Address: 3556 Hedrick

Owner: Jodie Robnett

Zoning: "B" Two Family Residential

a. Special Exception: To permit a carport to be located in the front yard.

GENERAL INFORMATION

REGULATION:

3.303 Board of Adjustment Action

(a) In taking action on an application for special exception, the board of adjustment shall grant the application only when the board determines that:

- (a) The use is specifically permitted under this ordinance;
- (b) The location of proposed activities and improvements is clearly defined on the site plan by the applicant;
- (c) The exception will be wholly compatible with the existing use and permitted development of adjacent properties either as filed, or subject to such requirements as the board finds necessary to protect and maintain the stability of adjacent properties.

The burden of proof regarding all conditions is on the applicant. Any site or floor plan will become part of the approval of the special exception.

5.301 Accessory Uses on Residential Lots

(2) *Private garages, private carports or private porte cocheres.*

3. Private carports and private porte cocheres in front yard setbacks.

No private carport or porte cochere shall be permitted within the minimum required front yard, platted front yard or projected front yard of residential dwellings except by special exception granted by the board of adjustment in accordance with the use tables in Chapter 4, Article 6. In reviewing a request for a private carport or porte cochere within the minimum required front yard, platted front yard or projected front yard, the board of adjustment shall consider the following:

- i. The presence and/or absence of a functional garage on the residential lot, parcel or tract;
- ii. The viability of access to the side and rear yard;
- iii. The size, height, and design of the carport or porte cochere and its impact on adjacent properties; and
- iv. The incidence of other carports or porte cocheres on the block face.

LOT HISTORY:

CC25-00170, Code Compliance for carport without a permit, Issued 03/05/2025.

CC24-01282, Code Compliance for carport without permit, Issued, 12/19/2024.



BOARD OF ADJUSTMENT - RESIDENTIAL

Case Manager: Ashlie Tolliver

COMPREHENSIVE

PLAN DESIGNATION: Single-Family Residential

REGISTERED

NEIGHBORHOOD

NOTIFICATION:

Riverside Alliance, Bonnie Brae NA, Oakhurst Alliance of Neighbors, Streams and Valleys Inc., Fort Worth ISD, Trinity Habitat for Humanity, Birdville ISD.

EXISTING

CONDITIONS:

The subject property is an interior lot located in an established residential neighborhood, contains several mature trees and does not contain floodplain and is mostly flat. The property was platted without alley access in 1958. According to Tarrant County Appraisal District records, the primary structure was constructed in 1967. The subject property is approximately 6,678 square feet in area and contains a single-family residential home with a two-car garage.

The applicant is requesting a special exception for the continued use of a metal carport that is attached to the primary structure and is located in front of the two-car garage. The metal carport measures 17 feet wide x 22 feet long. The concrete driveway measures 19.7 feet wide x 27.7 feet long based on the property survey. Based on Google Street View, the carport was constructed sometime between February 2021 and April 2022.

There are carports located in the front yard of the properties located at 3549 Hedrick Street, 3545 Hedrick Street, and 3540 Hedrick Street. Staff was unable to locate any board of adjustment cases or permits for any of those carports. Based on Google Street View, the carports mentioned above have been in existence since at least 2007. There are several carports in existence on surrounding streets and the construction of a carport at the subject property location is compatible with the character of the neighborhood.

If the special exception request is approved, the applicant will be required to meet all other development standards.

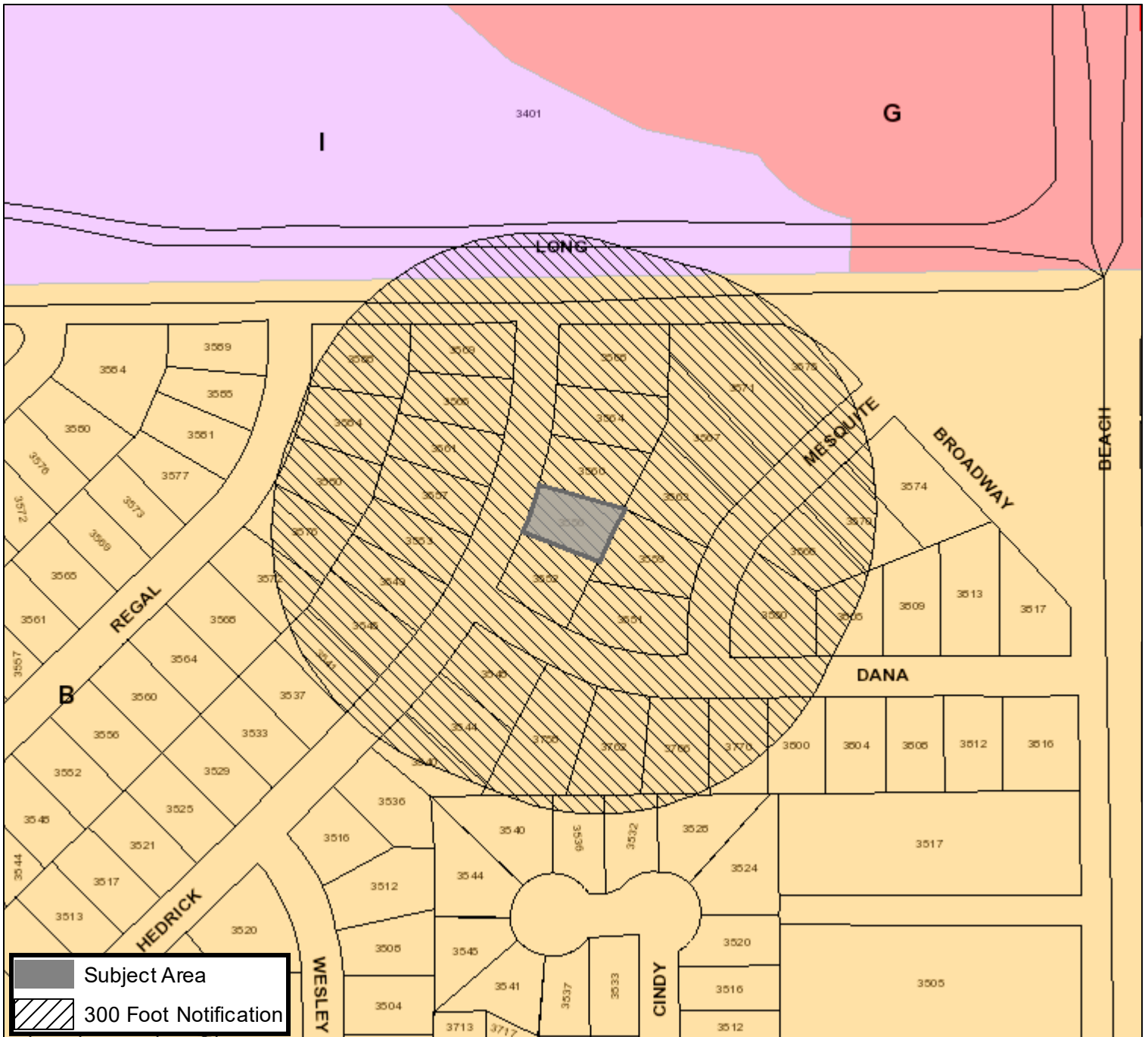
BAR-25-016 was heard at the March 19, 2025 public hearing and was granted a continuance to the April 2025 meeting.



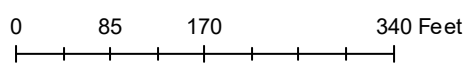
BAR-25-016

Area Zoning Map

Applicant: Jodie Robnett
Mapsc0: 50W
Commission Date: 3/19/2025



	Subject Area
	300 Foot Notification



Aerial Photo Map



0 35 70 140 Feet



BAR-25-016
3556 Hedrick St



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 3556 HEDRICK ST, FTW, TX 76111

Lot/Tract: 2 Block/Abstract: 23 Lot Size: 1.553 ACR

Legal Description: Addition/Survey: NORTH RIVERSIDE ESTATES, SEE PHAT

Owner's Name: JODIE W. ROBNETT

Address: 3556 HEDRICK STREET

City: FT. WORTH, State: TEXAS Zip: 76111-6328

Tele: () 817-917-7822 E-Mail: Jodie.robnett@YAHOO.COM

Applicant's Name: JODIE W. ROBNETT

Address: 3556 HEDRICK STREET

City: FT. WORTH, State: TEXAS Zip: 76111-6328

Tele: () 817-917-7822 E-Mail: Jodie.robnett@YAHOO.COM

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:

FRONT CARPORT MADE WITH HEAVY METAL WITH ATTACHED METAL GUTTER, SEE THE
ROUTED REQUIRED DRAWING FOR DIMENSIONS, AND PHOTOS.

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No

Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or (Neighbors YES) NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

- Owner Occupied Variance (One and Two Family Homes) for Section _____
 Special Exception for Section _____
 Variance for: _____
 Interpretation of the Regulation \$400

DATE RECEIVED: 2/13/25	FEE AMOUNT PAID : 843.75	# OF REQUESTS: 1	RECEIVED BY: KM	CASE NO. BAR-25-016
----------------------------------	-----------------------------	---------------------	--------------------	------------------------

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. TRUE, HARDSHIP CREATED BY DECEASED CONTRACTOR THAT FAILED TO OBTAIN PERMIT BEFORE PROJECT LIKE HE SAID HE DID.

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property.

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.

FRONTAL CARPORT IS HARMONIOUS WITH OTHER FRONT CARPORTS ON STREET AND NEIGHBORHOODS. SEE RELATED PHOTOS OF HOMES ON STREET WITH FRONT CARPORTS. SURROUNDING NEIGHBORS APPROVE FRONT CARPORT FOR GATHERINGS, SEE THEIR SIGNATURES.

4. The variance will not adversely affect the health, safety, or welfare of the public.
NO IT WILL NOT.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.
NO IT WILL NOT.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Signature: Jodie W. Kolmett

Date 2/13/2025

70' 26"

WEST

PATIO

SIDEWALK

HOME

GARAGE

ROOF

OVERHANG 2'

SOUTH

HOSE TO EASEMENT
28' 10"

DRIVEWAY
17' ACROSS

CARPORT
17' ACROSS
22' FRONT TO BACK

1,201

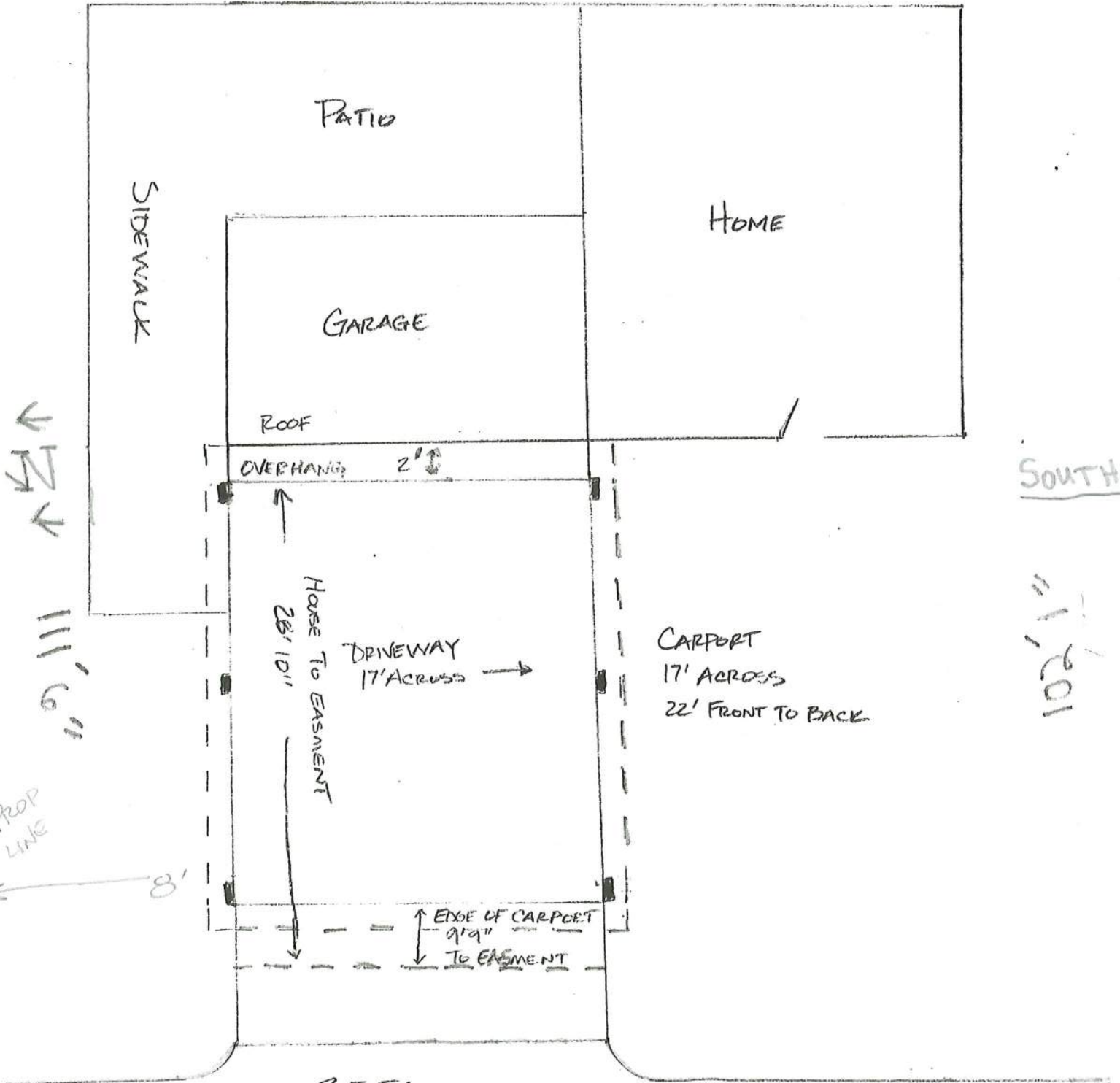
PROP LINE
8'

EDGE OF CARPORT
2' 4"
TO EASEMENT

3556

HEDRICK STREET

60' EAST



BOA - SUPPORT PETITION

1. Required for a front yard fence Special Exception; optional for all other projects.


For front yard fences or gates write height to the highest point and material. For other projects write materials and distances to the property lines.

ORIGINAL SIGNATURES

DO NOT SIGN THIS SUPPORT PETITION IF THE SECTION ABOVE HAS BEEN LEFT BLANK.

2. Obtain the signatures of support from next door property owners and the one across the street.

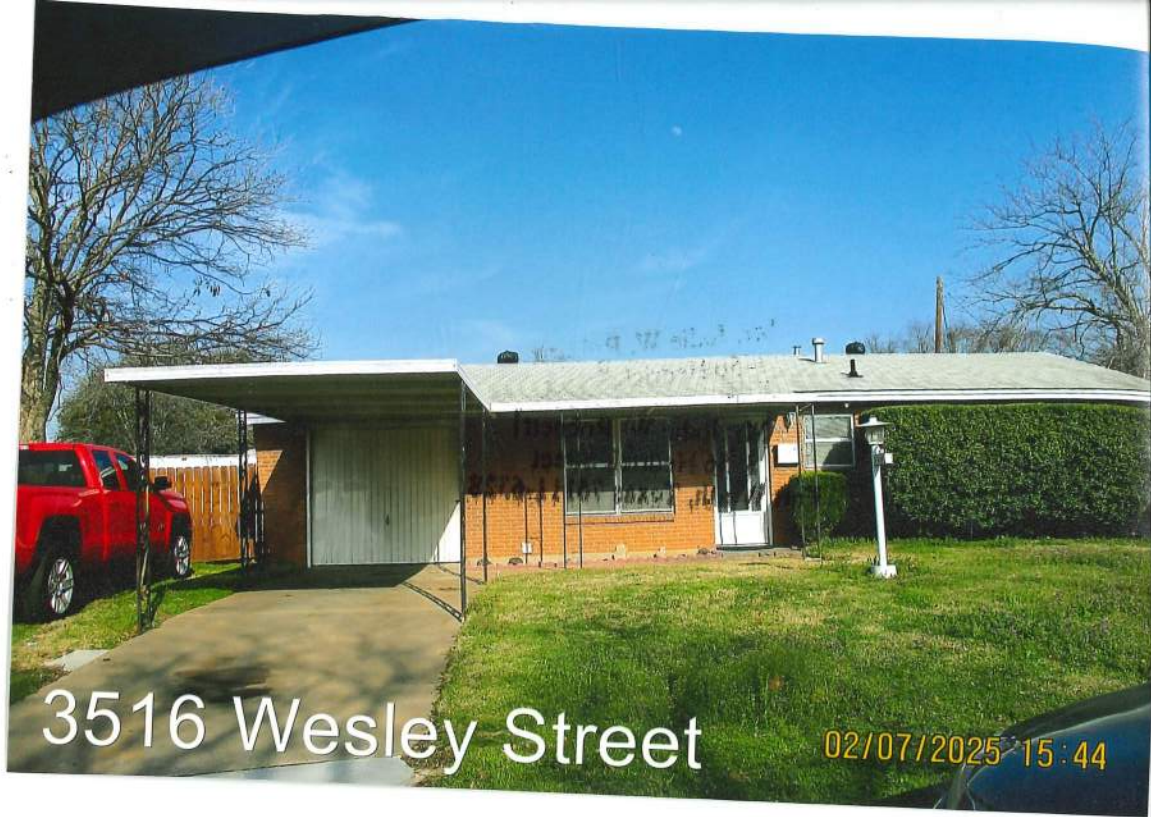
I have been informed of the Special Exception/Variance requested and I have NO objection...

Owner's Name	Signature	Address
1 Jessica Mauricio		3552 Hedrick St. Fort Worth TX 76111
2 KERRY TAYLOR	Kerry Taylor	3557 Hedrick St. 76111
3 Jesus Ojeda	Jesús Ojeda	3553 Hedrick 76111
4 CHERYL HEIDUSEK	Cheryl Heidusek	3549 Hedrick St. ^{Flw, TX} 76111
5 JOSE L BARAJAS	Jose L Barajas	3561 Hedrick St. 76111
6 CERRITO FALCON	Cerrito Falcon	3560 HEDRICK ST. 76111



3308 Hedrick Street

02/07/2025 15:41





3517 Hedrick Street

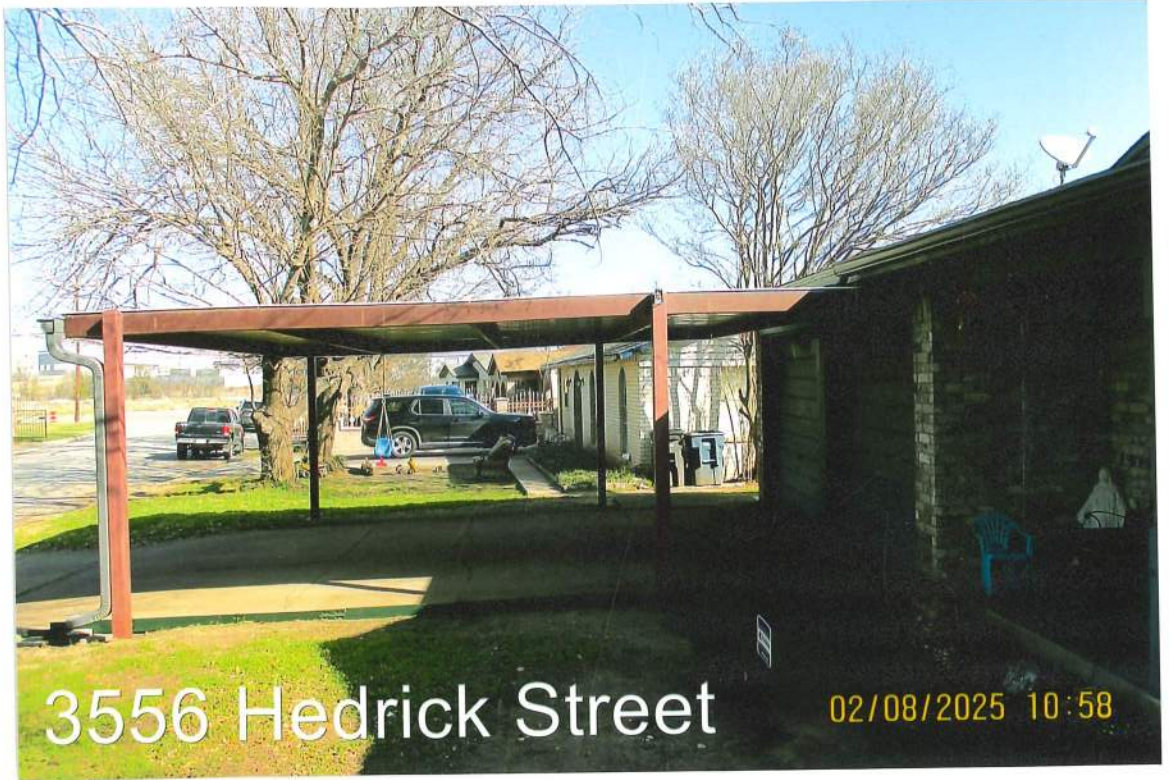
02/07/2025 15:39



3549 Hedrick Street

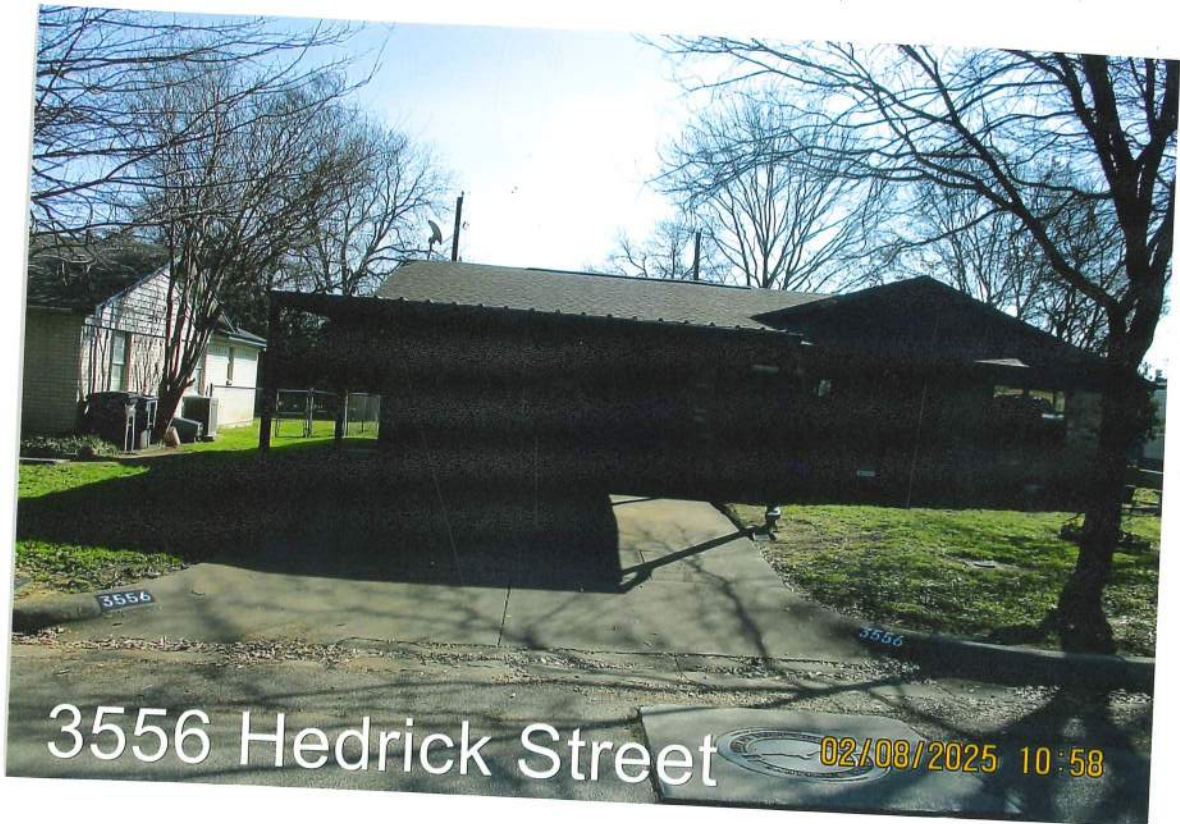
02/07/2025 15:38





3556 Hedrick Street

02/08/2025 10:58

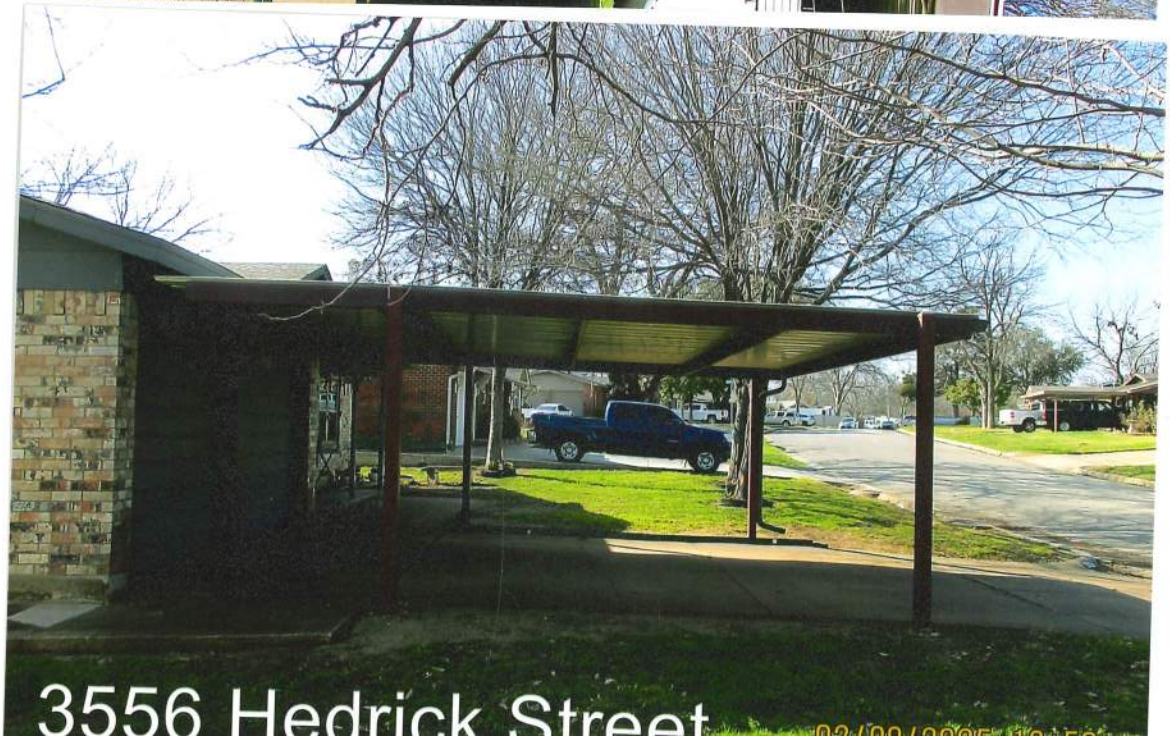


3556 Hedrick Street

02/08/2025 10:58

Variance & Permit Photo's
for 3556 HEDRICK ST. front
carport approval request.
MY HOME PHOTO'S OF
CARPORT

(jodiebobnett@YAHOO.COM)
JODIE ROBNETT
817-917-7822



Photos of front carports
on my block Hedrick &
Wesley streets.
Some variance harmony
exists in my neighborhood
with front carports.



3137 Hedrick Street

02/07/2025 15:53



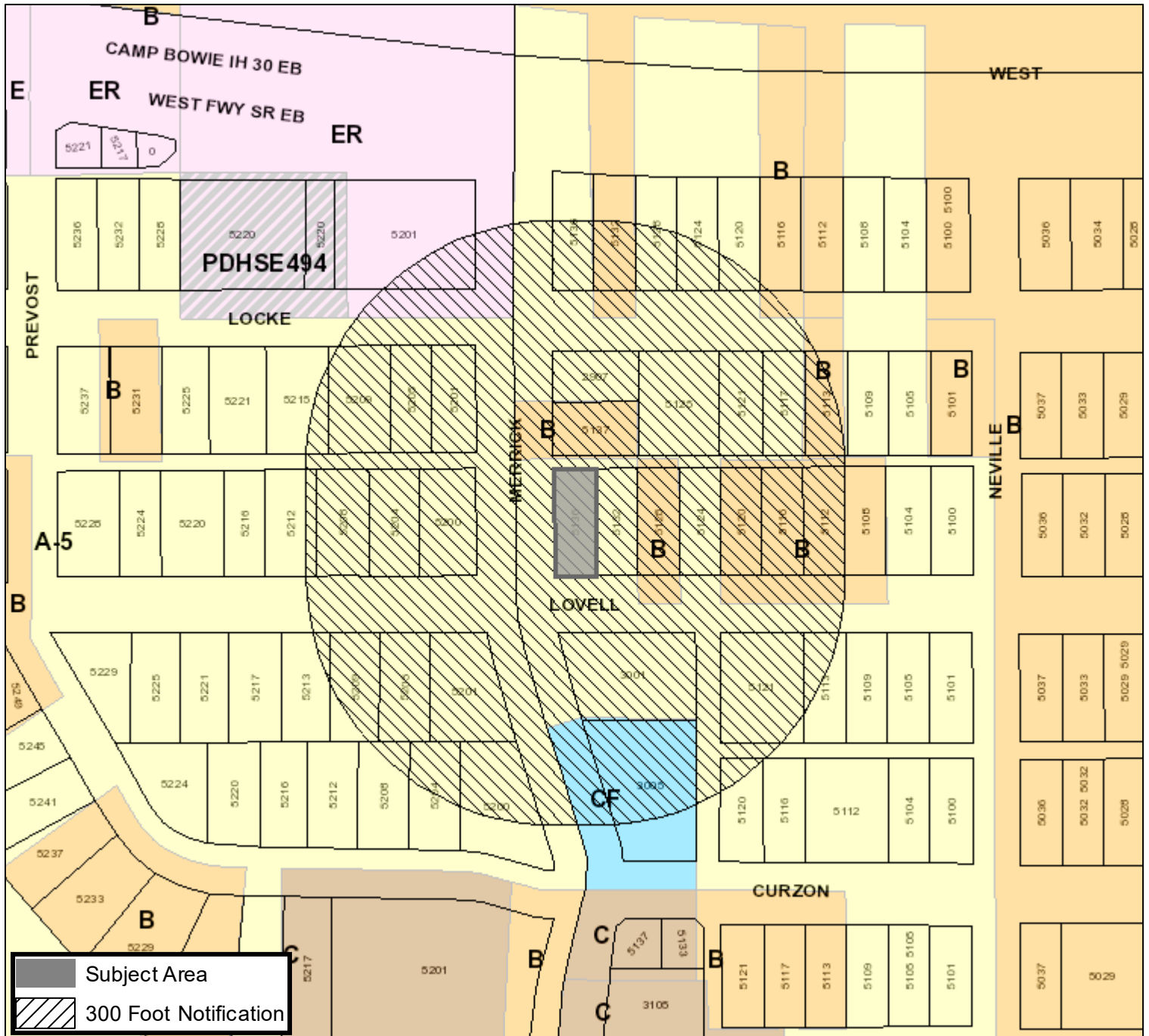
3512 Hedrick Street



02/07/2025 15:39

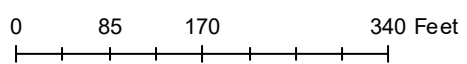


Area Zoning Map

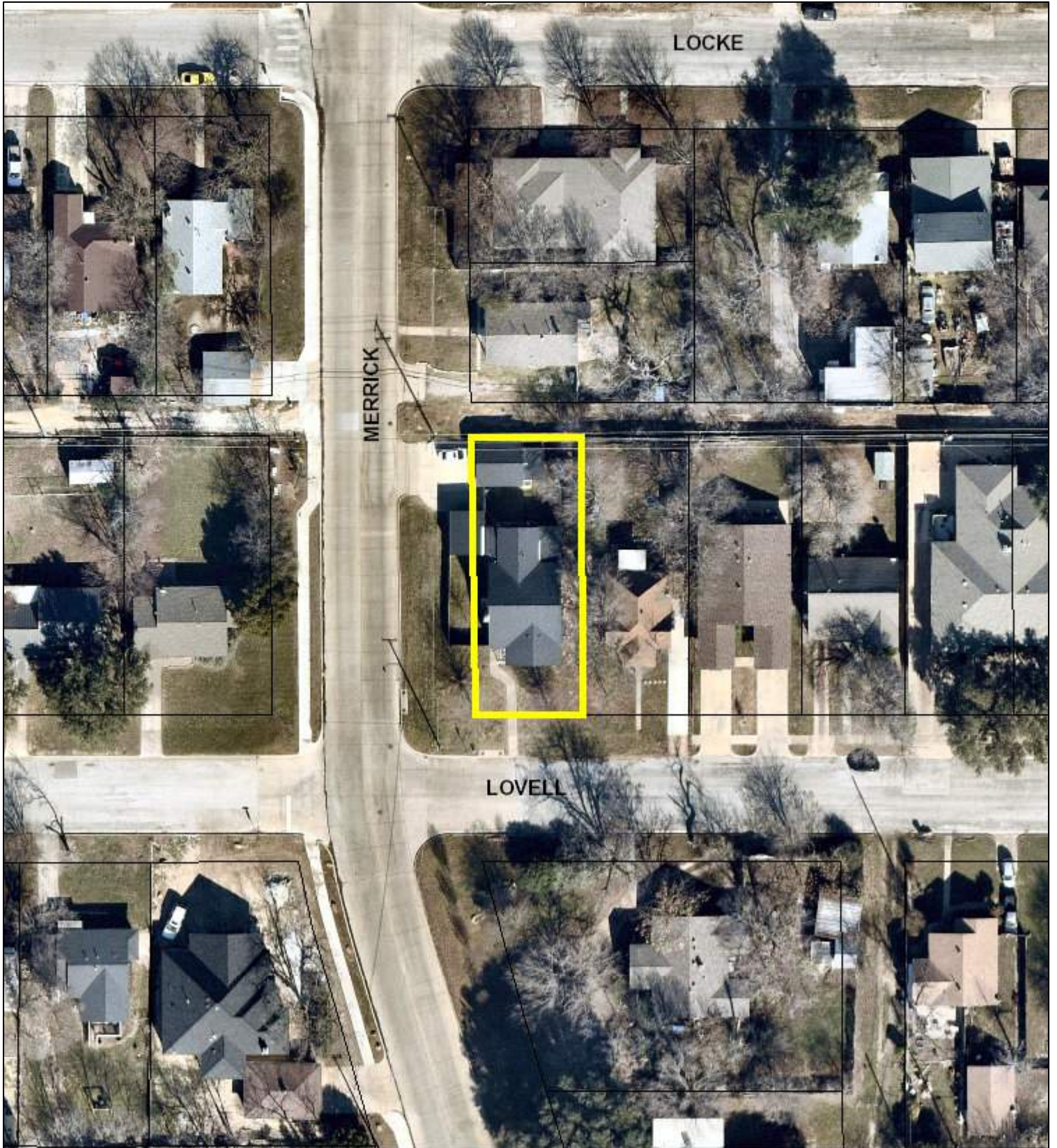
Applicant: Michiel Williams
MapSCO: 75J
Commission Date: 4/16/2025



 Subject Area
 300 Foot Notification



Aerial Photo Map



0 37.5 75 150 Feet



BAR-25-013
5136 Lovell Ave



BAR-25-013
5136 Lovell Ave



APPLICATION TO THE ZONING BOARD OF ADJUSTMENT CITY OF FORT WORTH, TEXAS



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 5136 Lovell Ave Fort Worth, TX 76107
 Lot/Tract: _____ Block/Abstract: _____ Lot Size: _____
 Legal Description: Addition/Survey: _____

Owner's Name: Michiel Williams
 Address: 5136 Lovell Ave
 City: Fort Worth State: TX Zip: 76107
 Tele: (817) 793-1898 E-Mail: M.Williams@bowieonbowie.com

Applicant's Name: Michiel Williams
 Address: 5136 Lovell Ave
 City: Fort Worth State: TX Zip: 76107
 Tele: (817) 793-1898 E-Mail: M.Williams@bowieonbowie.com

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
Converting existing garage structure to living space and adding square footage.
Proposing to add ~~300~~ square feet. Combination of brick and wood siding. Will not
exceed height of current house.
Requesting variance to change current setbacks as garage is on property line.

Additional documentation may be supplied to support your case. If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

Owner Occupied Variance (One and Two Family Homes) for Section _____
 Special Exception for Section _____
 Variance for: _____
 Interpretation of the Regulation \$400

DATE RECEIVED: 2/14/25	FEE AMOUNT PAID : 843.75	# OF REQUESTS: 2	RECEIVED BY: KM	CASE NO. BAR-25-013
---------------------------	-----------------------------	---------------------	--------------------	------------------------

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. Existing structure was built this way in the early 1900's prior to zoning.

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property. Existing structure was built this way prior to zoning

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance. Zoning requirements came after structure was built. New additions to comply with new setbacks.

4. The variance will not adversely affect the health, safety, or welfare of the public. Adding to structure will not impact anyone adversely.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district. adjacent project will not be impacted by the five foot variance.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Signed by: Michiel Williams
F8C46B07393D48D...

Signature:

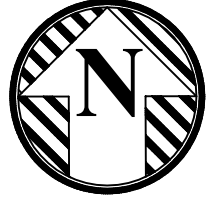
Date 2/12/2025

Scale 1"=20'
Plan # REM 935
Lot: 21 & 22 Block: 149
Sub: Chamberlain Arlington Heights
City: Ft. Worth
Date: 30 JAN 25

Lindbergh Designs

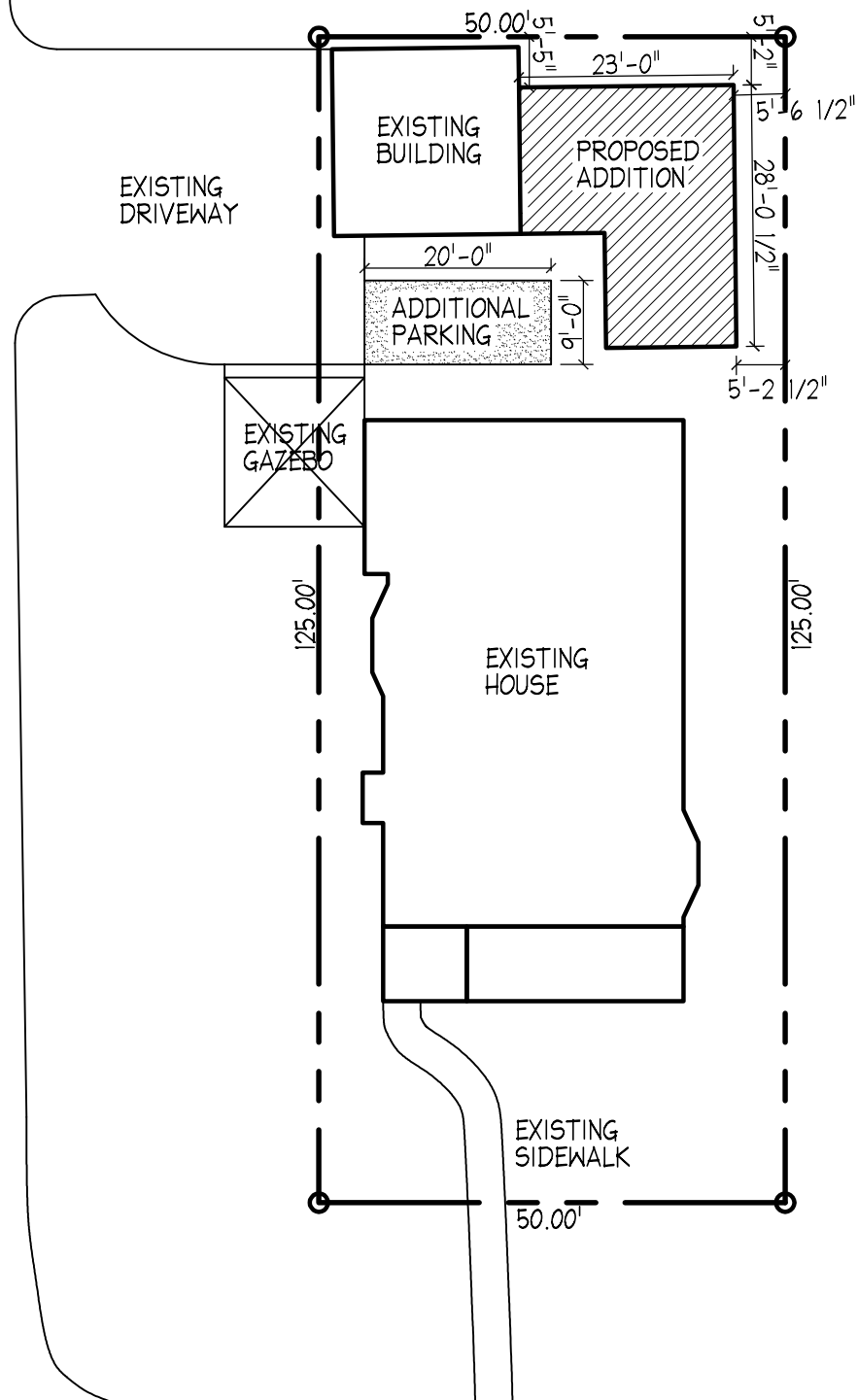
100 Kings Row Drive • Mansfield, TX 76063
bus. (817)283-4800

PLOT PLAN

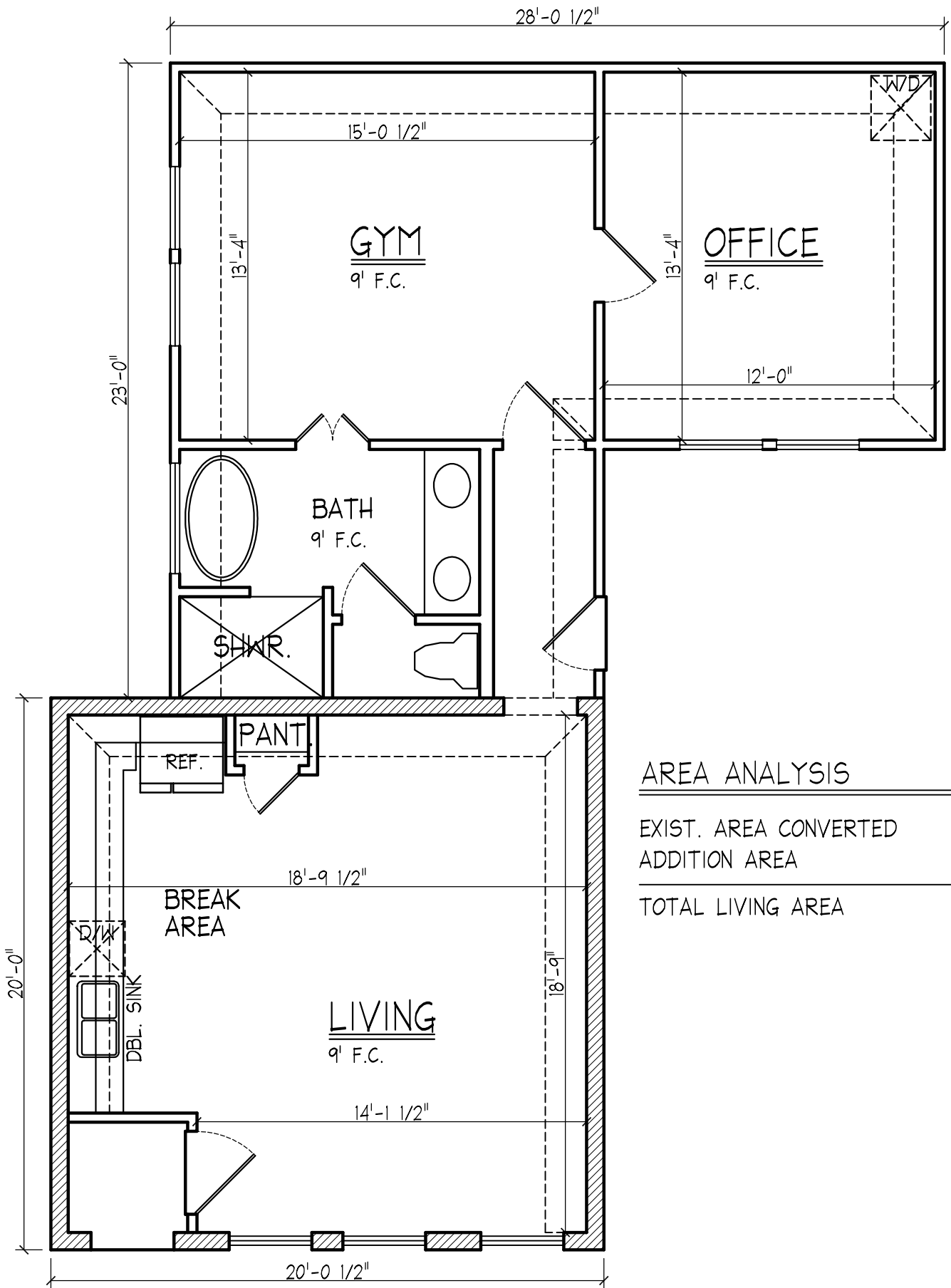


3125 SQ. FT. ALLOWED ON LOT (50% COVERAGE)
2552 SQ. FT. CURRENTLY ON LOT AFTER SHEDS ARE REMOVED.
W/ ADDITION FOOTAGE WILL TOTAL 3086 SQ. FT. ON LOT

MERRICK ST.



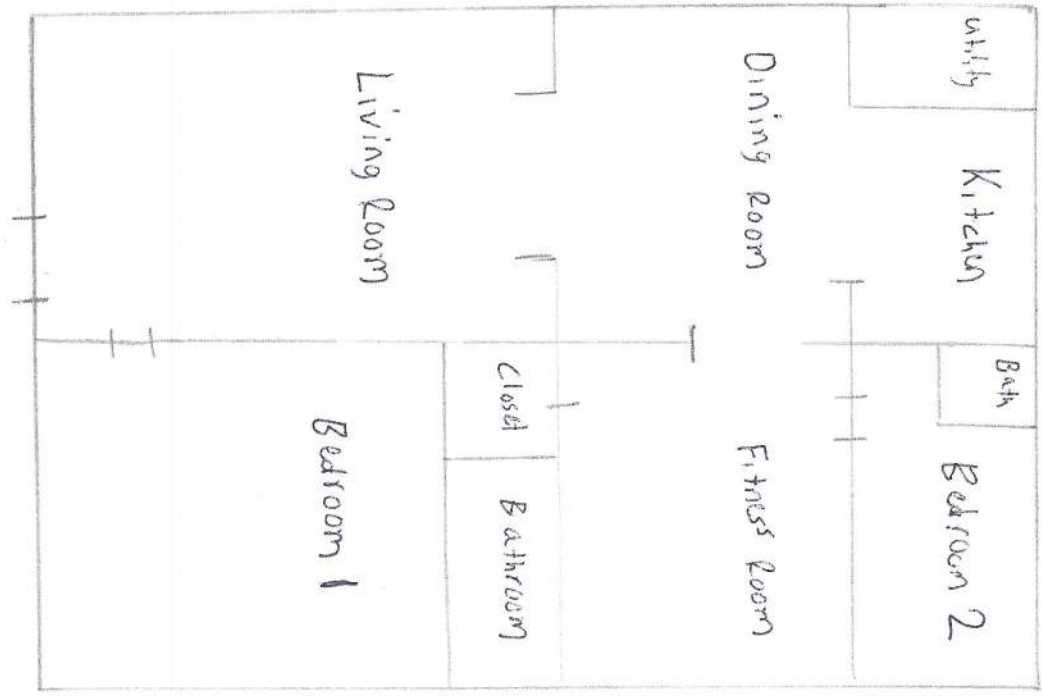
LOVELL AVE.



Proposed Floor Plan

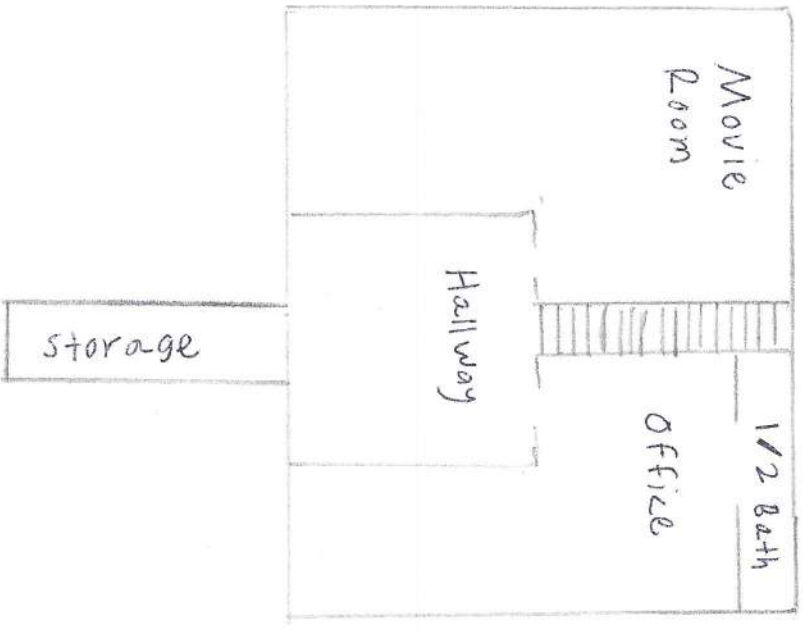
Scale 1/4" = 1'-0"

First Floor



5136 Lowell Ave

Second Floor





BOARD OF ADJUSTMENT – RESIDENTIAL

BAR-25-022

Address: 713 Ridgewater Trail
Owner: Ruben Rodriguez on behalf of Andre Purifoy
Zoning: "A-5" – One-Family District

a. Variance: To permit the construction of a non-habitable accessory structure "swimming pool", to be in front of the rear wall of the primary structure and located less than 75-feet from the front property line.

Required distance from property line: 75 feet
Requested distance from property line: Approximately 55 feet

GENERAL INFORMATION

REGULATION:

3.403 Board of Adjustment Action

In taking action on an application for a variance, the board of adjustment shall grant the application only when the board determines that:

- (a) Literal enforcement of the regulations in this zoning ordinance will create an unnecessary hardship or practical difficulty in the development of the affected property;
- (b) The situation causing the hardship or difficulty is unique to the affected property;
- (c) The situation or hardship is not self-imposed;
- (d) The relief sought will not injure the existing or permitted use of adjacent conforming property; and
- (e) The granting of a variance will be in harmony with the spirit and purposes of this zoning ordinance.

5.301 Accessory Uses on Residential Lots.

(b) Non-habitable accessory structures.

(1) All accessory structures except private garages, private carports or private porte cocheres.

c. All non-habitable accessory structures must be located behind the rear wall of the primary residential structure that is furthest from the street or at least 75 feet from the front of the property line, whichever is the least restrictive.

LOT HISTORY:

BAR-23-001 - Variance for an accessory structure (in-ground pool) not 75 feet from the front property line or behind the rear wall of the residential structure. Approved 01/18/2023. Expired.

PB22-16474 – Residential Accessory New Permit for an in-ground swimming pool. Expired 07/24/2024.

PB25-00606 – Residential Accessory New Permit for an in-ground swimming pool. Awaiting Client Reply, 02/10/2025.



BOARD OF ADJUSTMENT – RESIDENTIAL

COMPREHENSIVE

PLAN DESIGNATION: Single-Family Residential

**REGISTERED
NEIGHBORHOOD
NOTIFICATION:**

The Trails of Fossil Creek HOA, Fossil Creek Estates HOA, Streams And Valleys Inc, Trinity Habitat for Humanity, Eagle Mountain-Saginaw ISD, Northwest ISD

**EXISTING
CONDITIONS:**

The subject property is an interior lot located on a partial cul-de-sac in an established neighborhood. The lot is an irregularly shaped lot with one tree in the front yard. It was platted with no alley access. The relatively flat lot slopes approximately one foot across the lot and is not located within the FEMA floodplain.

The applicant has applied for a variance for an in-ground swimming pool. A vinyl swimming pool has already been installed, but the applicant is proposing to modify it to a gunite pool per the site plan. The location of the pool and distance from the front property line will not change. However, the end of the pool closest to the rear property line will be modified to add steps and a tanning ledge. The proposed pool will be 18 feet in width, 36'5" in length, with an approximate total area of 630 square feet.

Zoning Ordinance SEC. 5.301(b)(1)(c) requires all non-habitable structures to be located behind the rear wall line or a minimum of 75 feet from the front property line, whichever is the least restrictive. The location of the pool is noted on the site plan as 68 feet from the front property line and within the side yard rather than behind the rear wall line. However, it has been confirmed with the applicant that the distance noted on the site plan was measured from the street curb rather than the property line. A more accurate distance from the property line to the existing pool is 56 feet as measured on the aerial photo.

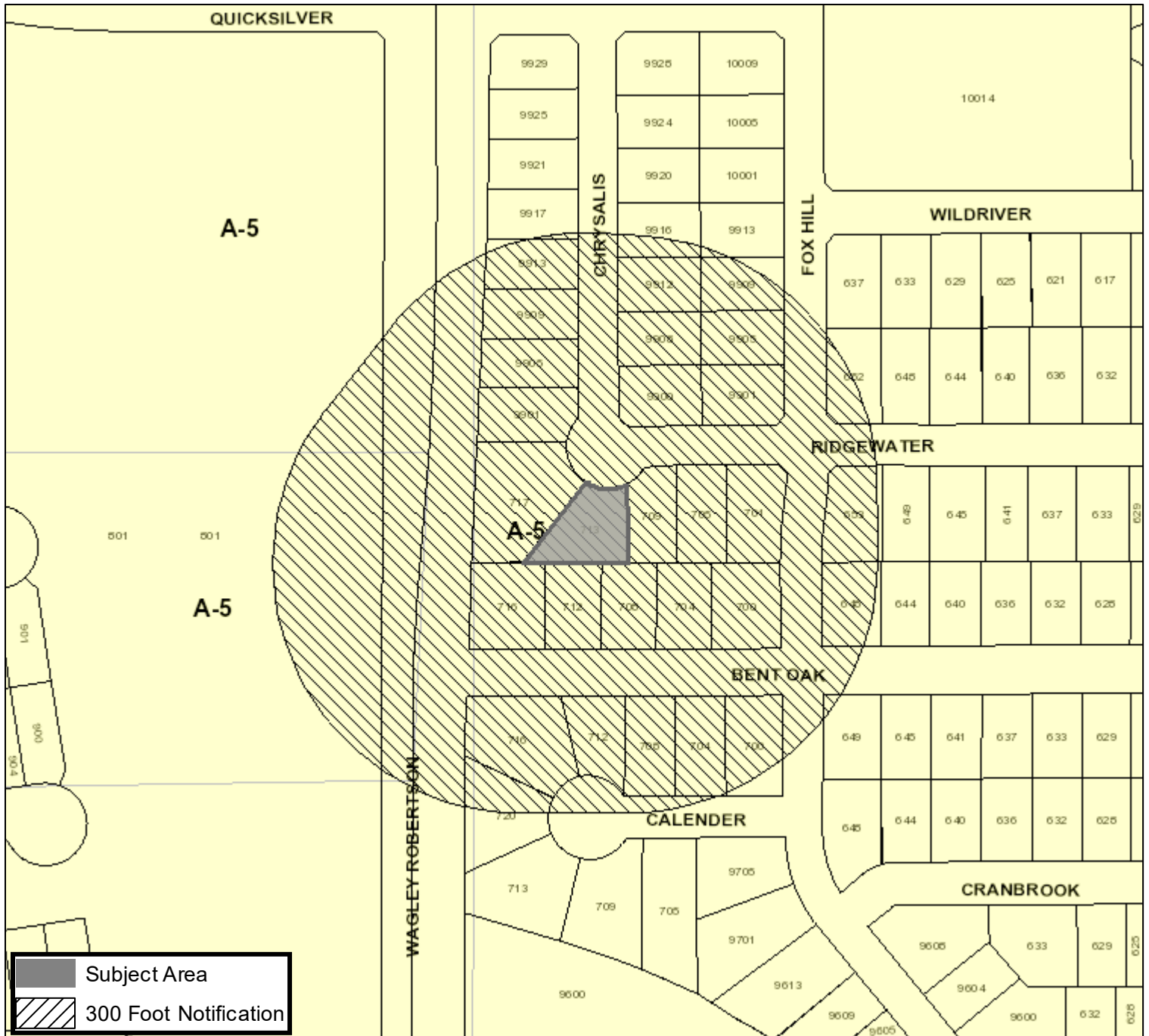
The pool location meets the minimum side and rear yard setbacks and is not located within any easements indicated on the survey.

The proposal is required to meet all other development regulations.

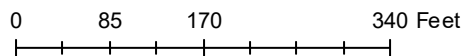


Area Zoning Map

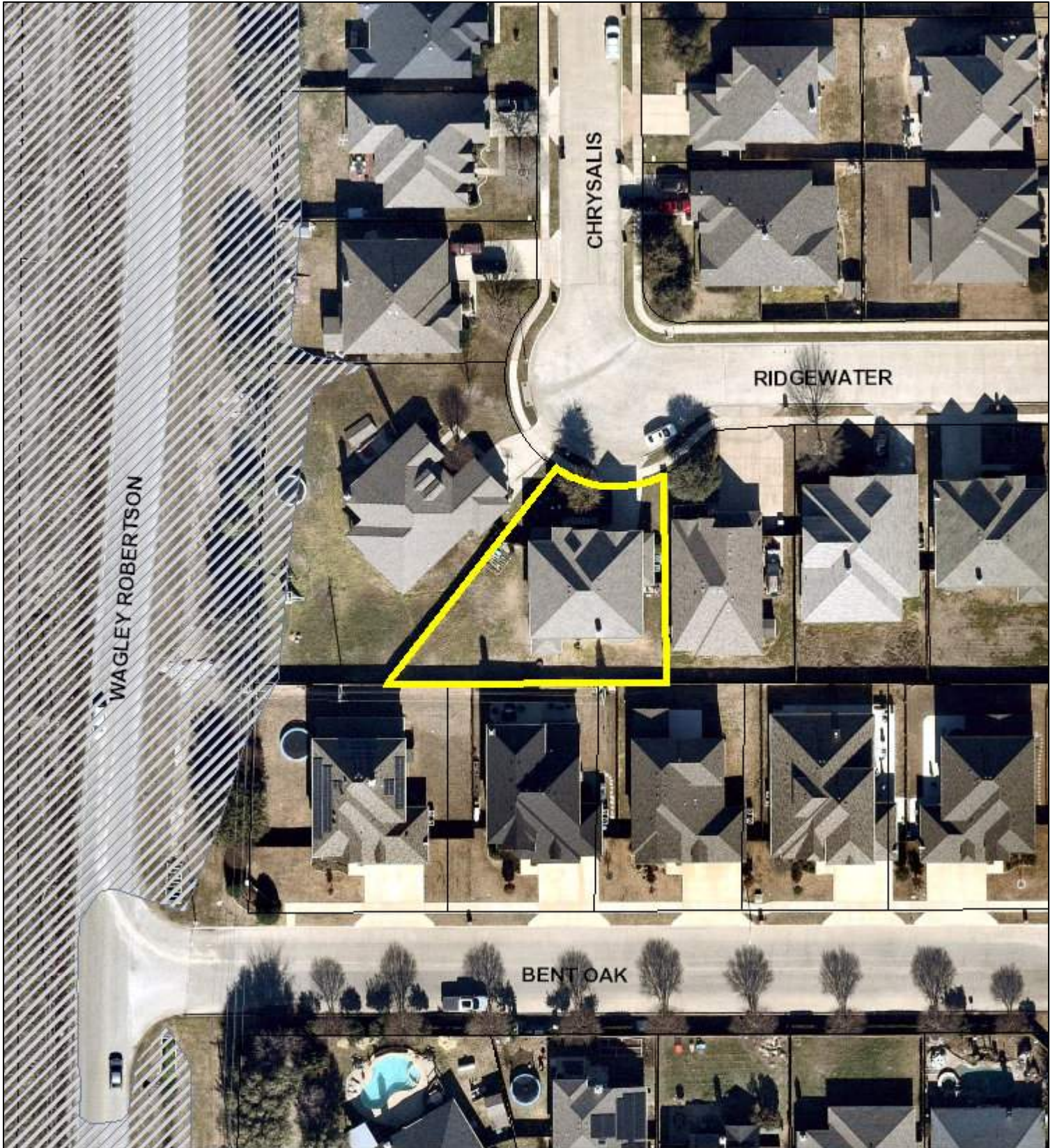
Applicant: Ruben Rodriguez for Andre Purifoy
Mapsko: 19Z
Commission Date: 4/16/2025



	Subject Area
	300 Foot Notification



Aerial Photo Map



0 37.5 75 150 Feet



BAR-25-022
713 Ridgewater Trl



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**

FORT WORTH®



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 713 RIDGEWATER TRAIL
 Lot/Tract: _____ Block/Abstract: _____ Lot Size: _____
 Legal Description: Addition/Survey: _____

Owner's Name: ANDRE AUBREY
 Address: 713 RIDGEWATER TRL
 City: FORT WORTH State: TX Zip: 76131
 Tele: (817) 845-1597 E-Mail: DRE7606@gmail.com

Applicant's Name: Ruben RODRIGUEZ
 Address: 7708 BANARES
 City: FORT WORTH State: TEXAS Zip: 76133
 Tele: (817) 663-3946 E-Mail: BIAZINBILLEPOOLS@GMAIL

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
SWIMMING POOL BUILD

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

Owner Occupied Variance (One and Two Family Homes) for Section _____
 Special Exception for Section _____
 Variance for: _____
 Interpretation of the Regulation \$400

DATE RECEIVED:	FEE AMOUNT PAID:	# OF REQUESTS:	RECEIVED BY:	CASE NO.
<u>3/11/2025</u>	<u>562.50</u>	<u>1</u>	<u>SJ</u>	<u>BAE-25-022</u>

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. _____

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property.

THE WAY THE PROPERTY SITS, THE POOL HAS TO BE ON THE SIDE YARD.

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.

4. The variance will not adversely affect the health, safety, or welfare of the public.

Will Not

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.

It will Not

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Signature: Ruben Rodriguez

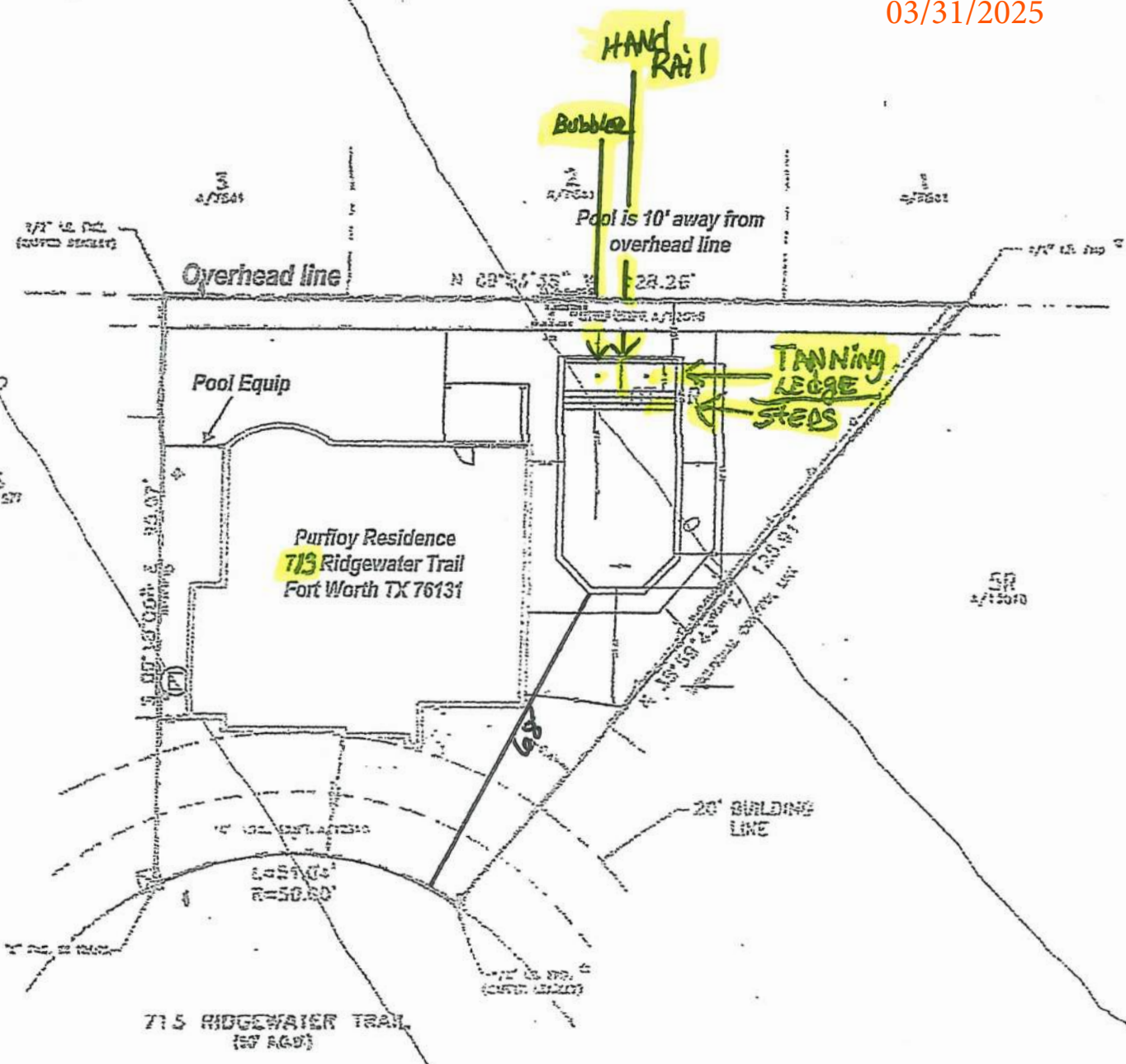
Date MARCH 10, 2025
Revised 08/29/2024

Scale: 1/32" = 1'-0"
DATE: 02/27/2025
DRAWN BY: [Signature]
DATE: 11/17/24

DATE: 03/31/2025
DRAWN BY: [Signature]

Dig Toss 811#
2550609712

REVISED
03/31/2025



LEGEND		
[Symbol]	EXISTING	CONCRETE
[Symbol]	EXISTING	ASPHALT
[Symbol]	EXISTING	PAVEMENT
[Symbol]	EXISTING	CONCRETE
[Symbol]	EXISTING	ASPHALT
[Symbol]	EXISTING	PAVEMENT

NO PART OF THIS PLAN IS TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

PROPERTY DESCRIPTION: Lot 15 to Block 15 of Lots 15 to 25 of Block 15, Subdivision 15, City of Fort Worth, Tarrant County, Texas, as shown on Plat No. 15,000,000, recorded in Public Records, Tarrant County, Texas.

ENGINEER'S STATEMENT: The engineer, Robert W. Boyer, has prepared this survey to be made as of the date shown on the title block of this survey. No additional information was provided by the owner to the engineer at the time of the survey. The engineer is not responsible for any errors or omissions in this survey, nor for any consequences that may result from the use of this survey for any purpose other than that for which it was prepared.

UTILITY LEGEND	
[Symbol]	CABLE TELEVISION
[Symbol]	ELECTRIC
[Symbol]	SEWER
[Symbol]	WATER



Robert W. Boyer
STATE OF TEXAS, LICENSE NO. 15000
CIVIL ENGINEER
15000
15000
15000





January 19, 2023

BAR-23-001
Andre Purifoy
713 Ridgewater Trail
Fort Worth, TX 76131

BAR-23-001
Brandi Arnold
6279 Silver Creek Azle Road
Azle, TX 76020

The Board of Adjustment-Residential **APPROVED** your **VARIANCE** request during the hearing held on **January 18, 2023**.

BAR-23-001 Address: 713 Ridgewater Trail
 Owner: Andre Purifoy
 Zoning: "A-5" One-Family

- a. **Variance:** Permit an accessory structure (in-ground pool) not 75 feet from the front property line or behind the rear wall of the residential structure.

Minimum setback required: 75 feet

Requested setback: 41 feet

THIS LETTER SUMMARIZING THE DECISION OF THE BOARD OF ADJUSTMENT IN YOUR CASE WAS FILED IN THE BOARD'S OFFICE IN THE DEVELOPMENT SERVICES DEPARTMENT ON JANUARY 19, 2023. THIS LETTER CONSTITUTES THE DECISION OF THE BOARD.

THE BOARD APPROVAL EXPIRES ON JULY 18, 2023; A BUILDING PERMIT MUST BE ISSUED OR AN AUTHORIZED USE MUST BE ESTABLISHED BEFORE THE DATE THE BOARD APPROVAL EXPIRES.

If you fail to obtain a permit or establish a use by **July 18, 2023**, the approval will be canceled, and you will be required to reapply to the Board, pay the filing fees, and reappear before the Board of Adjustment as a new request. You may request a one-time extension for additional six months, only if you make your request in writing to the Director of Development Services Department or his designee prior to the expiration date of your approval.

Should you have any further questions, please contact Daniel Guerrero, Planner at (817) 392-2397 or Angel Escalera at (817)-392-2733. For permit questions, please call (817) 392-2222.

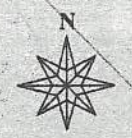
Regards,

Beth Knight

Beth Knight
Senior Planner
Development Services
Board of Adjustment



Dig Tess 811# 2550609712

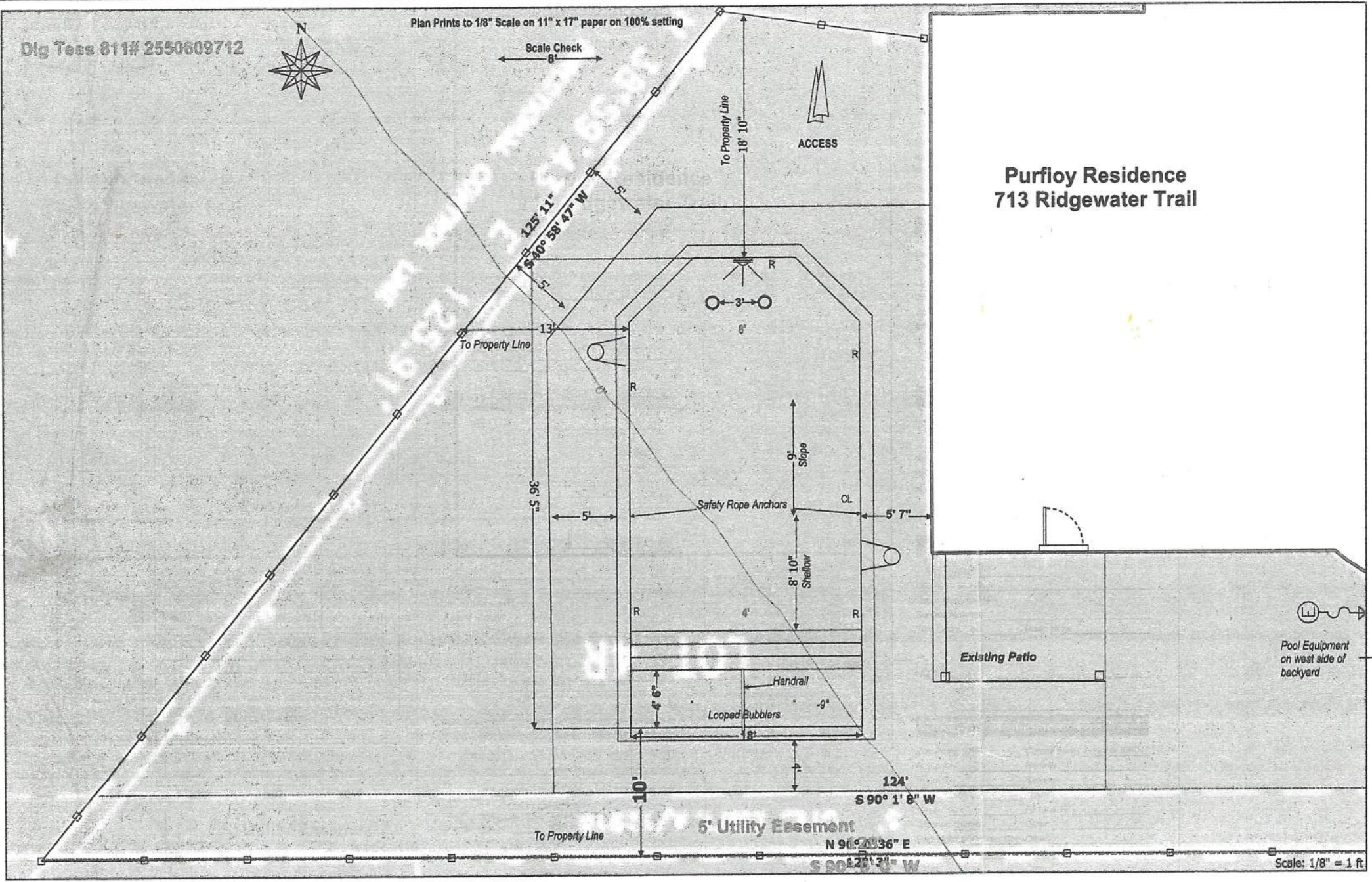


Plan Prints to 1/8" Scale on 11" x 17" paper on 100% setting



ACCESS

**Purfoy Residence
713 Ridgewater Trail**



Pool Specs

Perimeter: 102' Area: 630 sqft
 Envelope: 36'5 x 18'
 Depth: 4' to 8' RTNS: 5
 Drains: Dual MD Lights: 1
 Skim: Two
 Dig Type: Track Hoe Volume: 22,000 gallons

Coping Material: Flagstone
 Interior Finish: Pebble TBD
 Notes:

Spa Specs

Perimeter: N/A Area:
 Jets: Height:
 Lights: RTNS:
 Drains: Spillover Length(s):
 Coping Material:
 Interior Finish:
 Notes:

Tile Specs

Raised Beams: N/A
 Pool Tile Material: Standard 6"
 Spa Tile Material: N/A
 Notes:

Deck Specs

Area: 670sqft
 Coping Area: N/A
 Coping Material: N/A
 Surface Material:
 Turn Down: TBD Riser: None

NOTES:

Equipment

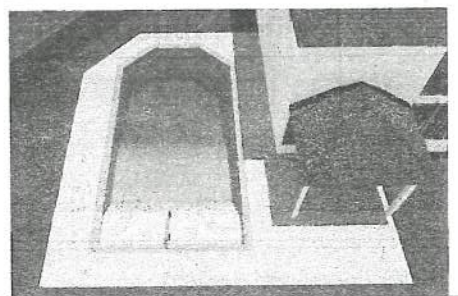
Circ Pump: 2HP Control Panel: Aqualink IQ904
 Pump #2: Remote:
 Pump #3: Sanitizer:
 Filter: 48sqft DE
 Heater: N/A Fill Line: N/A
 Cleaner: Quatro Other:
 Pool Light: LED Color Chg Other:
 Spa Light: Other:
 Other: Other:
 NOTES:

Approval

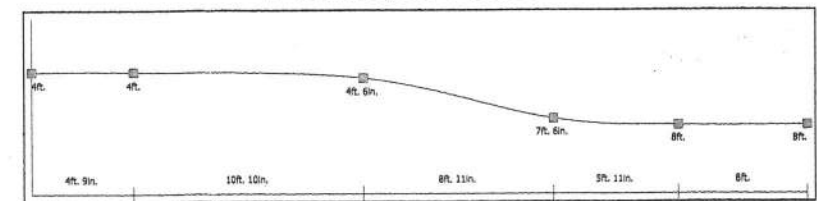
I/we (the undersigned) have reviewed this plan and approve it as correct within reasonable tolerance. I/we understand that any changes made to a shape or to a location may delay the project and/or result in additional cost.



Owner Ruben Rodriguez
 817-663-3946
 blazinbluepools@yahoo.com



Pool Depth Profile



Pool Plan by Mikah Stanley 817-600-4765

X



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

BAR-25-025

Address: 5104 Curzon Ave
Owner: Jose Cruz on behalf of TX Reign Homes LLC
Zoning: "A-5" One-Family Residential

- a. **Variance:** To permit construction of a new one-family dwelling unit on a lot with less than the required width at the building line.

Minimum required lot width at building line: 50 feet

Requested lot width at building line: 44 feet

GENERAL INFORMATION

REGULATION:

3.403 Board of Adjustment Action

In taking action on an application for a variance, the board of adjustment shall grant the application only when the board determines that:

- (a) Literal enforcement of the regulations in this zoning ordinance will create an unnecessary hardship or practical difficulty in the development of the affected property;
- (b) The situation causing the hardship or difficulty is unique to the affected property;
- (c) The situation or hardship is not self-imposed;
- (d) The relief sought will not injure the existing or permitted use of adjacent conforming property; and
- (e) The granting of a variance will be in harmony with the spirit and purposes of this zoning ordinance.

4.705 One-Family ("A-5") District

(c) *Property development standards.*

- (1) In the one-family ("A-5") district, the minimum dimension of lots and yards and the height of buildings shall be as shown in the accompanying table.

One-Family ("A-5") District	
Lot Width	50 feet minimum at building line

LOT HISTORY:

None.

COMPREHENSIVE PLAN DESIGNATION:

Single-Family Residential

REGISTERED NEIGHBORHOOD NOTIFICATION:

West Side Alliance, Como NAC, Arlington Heights NA, West Byers NA, Sunset Heights NA, Keep Lake Como Beautiful, Streams and Valleys Inc., Camp Bowie District Inc., Trinity Habitat for Humanity, Fort Worth ISD

EXISTING CONDITIONS:

The subject property is an irregular shaped, vacant, interior lot located in an established neighborhood. The lot is approximately 5,938 square feet in area, contains several trees and does not contain floodplain. There is an approximate



BOARD OF ADJUSTMENT - RESIDENTIAL
Case Manager: Ashlie Tolliver

4% downward slope beginning at the northeastern corner of the property and ends at the southwestern corner of the property. The property was replatted with alley access in 1981. The replat resulted in an alteration in approximate 56 foot 6 inch long portion of the eastern boundary being narrowed from 50 feet wide to 44 feet wide.

According to Historic Aerials, the property has been vacant since the 1950s. Based on Google Street View there is a curb cut for driveway access, but based on Historic Aerials, it appears that the driveway was utilized by the adjacent residence to the East (5100 Curzon Ave), that existed from approximately 1956 until 1990. Staff was unable to determine the reason for replatting the property.

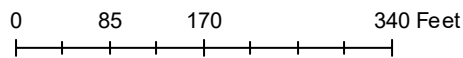
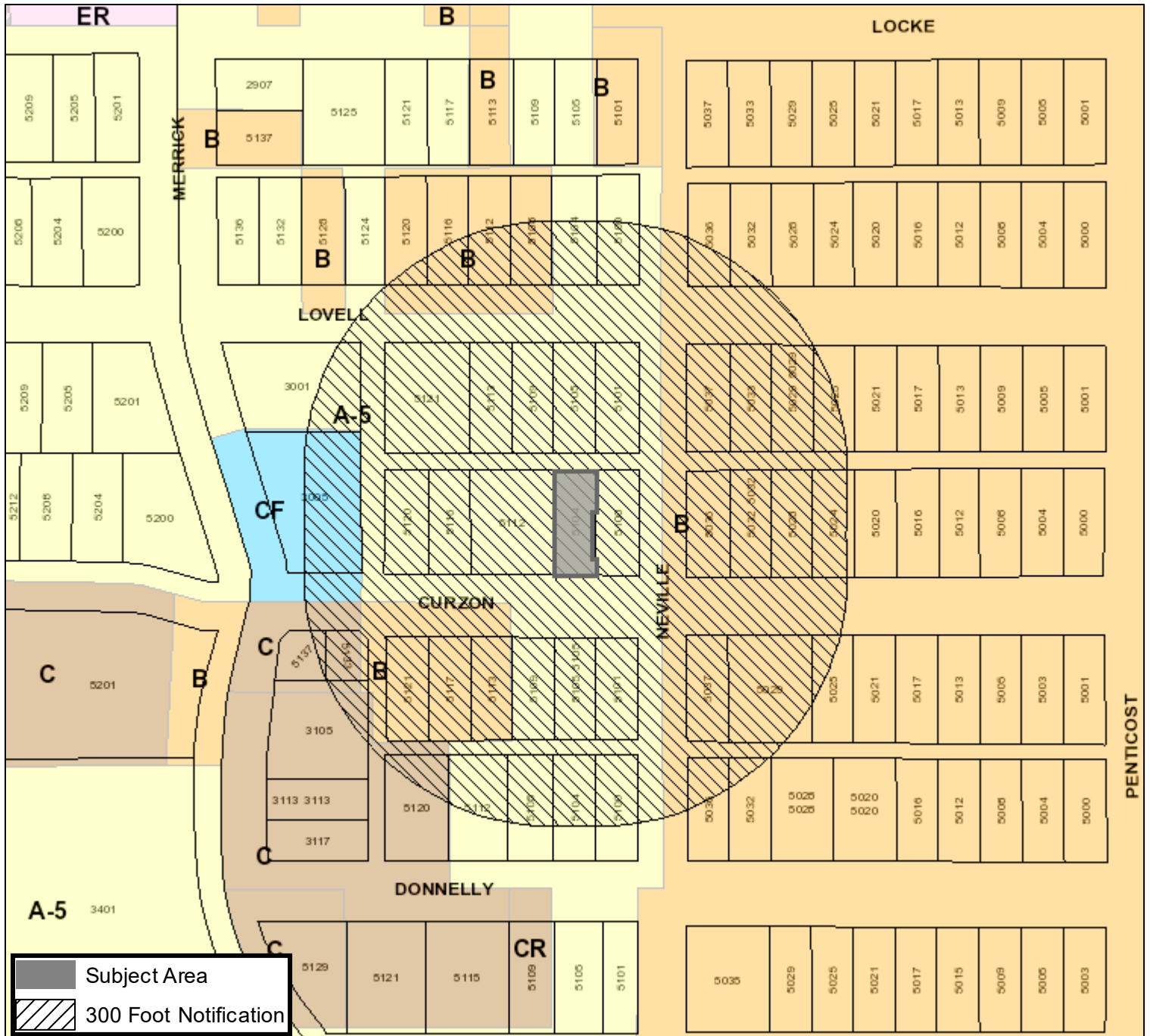
The applicant is requesting a variance for the minimum lot width required at the building line. The property is subject to an established front yard setback of 25 feet due to the existing adjacent structures. A-5 development standards require a minimum lot width of 50 feet at the building line. As a result of the 1981 replat, the lot width narrows from 50 feet wide to 44 feet wide beginning approximately 20 feet from the front property line. Beginning approximately 48 feet 6 inches from the rear property line, the lot width increases from 44 feet to 50 feet.

The proposed site plan indicates that the applicant will meet all other development standards.

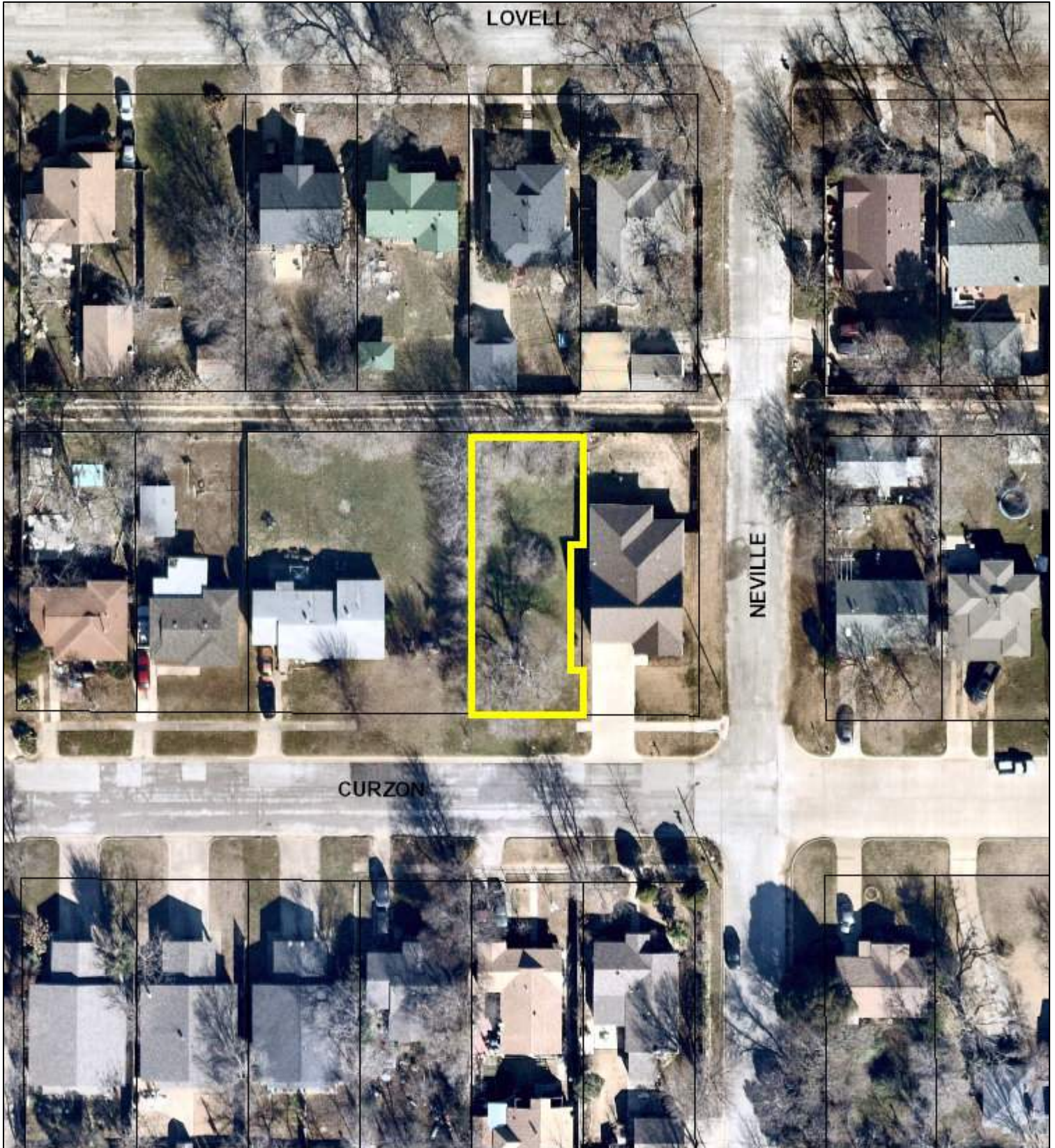


Area Zoning Map

Applicant: Jose Cruz for TX Reign Homes LLC
Mapsko: 75J
Commission Date: 4/16/2025



Aerial Photo Map



0 37.5 75 150 Feet



BAR-25-025
5104 Curzon Ave



**APPLICATION TO THE
ZONING BOARD OF ADJUSTMENT
CITY OF FORT WORTH, TEXAS**



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 5104 Curzon Ave
 Lot/Tract: 26R Block/Abstract: 162 Lot Size: 5910sqft
 Legal Description: Addition/Survey: Chamberlin Arlington Heights

Owner's Name: TX Reign Homes LLC
 Address: 7958 Dusty Way
 City: Fort Worth State: TX Zip: 76107
 Tele: () 8177152857 E-Mail josefcruzrealtor@gmail.com

Applicant's Name: Jose Cruz
 Address: 7958 Dusty Way
 City: Fort Worth State: TX Zip: 76123
 Tele: () 8177152857 E-Mail josefcruzrealtor@gmail.com

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

- Owner Occupied Variance (One and Two Family Homes) for Section _____
- Special Exception for Section _____
- Variance for: _____
- Interpretation of the Regulation \$400

DATE RECEIVED:	FEE AMOUNT PAID :	# OF REQUESTS:	RECEIVED BY:	CASE NO.
3/12/25	843.75	1	SJ	BAR-25-025

Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. _____
The property was re platted and the piece of land was left out of the property

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property.
Build a new house

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.
Yes, having the piece of land will be ok without and inconvenience

4. The variance will not adversely affect the health, safety, or welfare of the public.
No it will not.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.
No it will not.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity)

Signature: Jose Cruz
Jose Cruz (Mar 11, 2025 22:00 CDT)

Date 03/11/2025

actual materials may vary

**THIS PLAN SET SHALL
COMPLY WITH LOCALLY ADOPTED
CODES PER MUNICIPALITY**



PROJECT:
NEW SINGLE FAMILY
RESIDENCE

OWNER:
JOSE CRUZ

PROJECT ADDRESS:
5104 CURZON AVENUE,
FORT WORTH, TEXAS

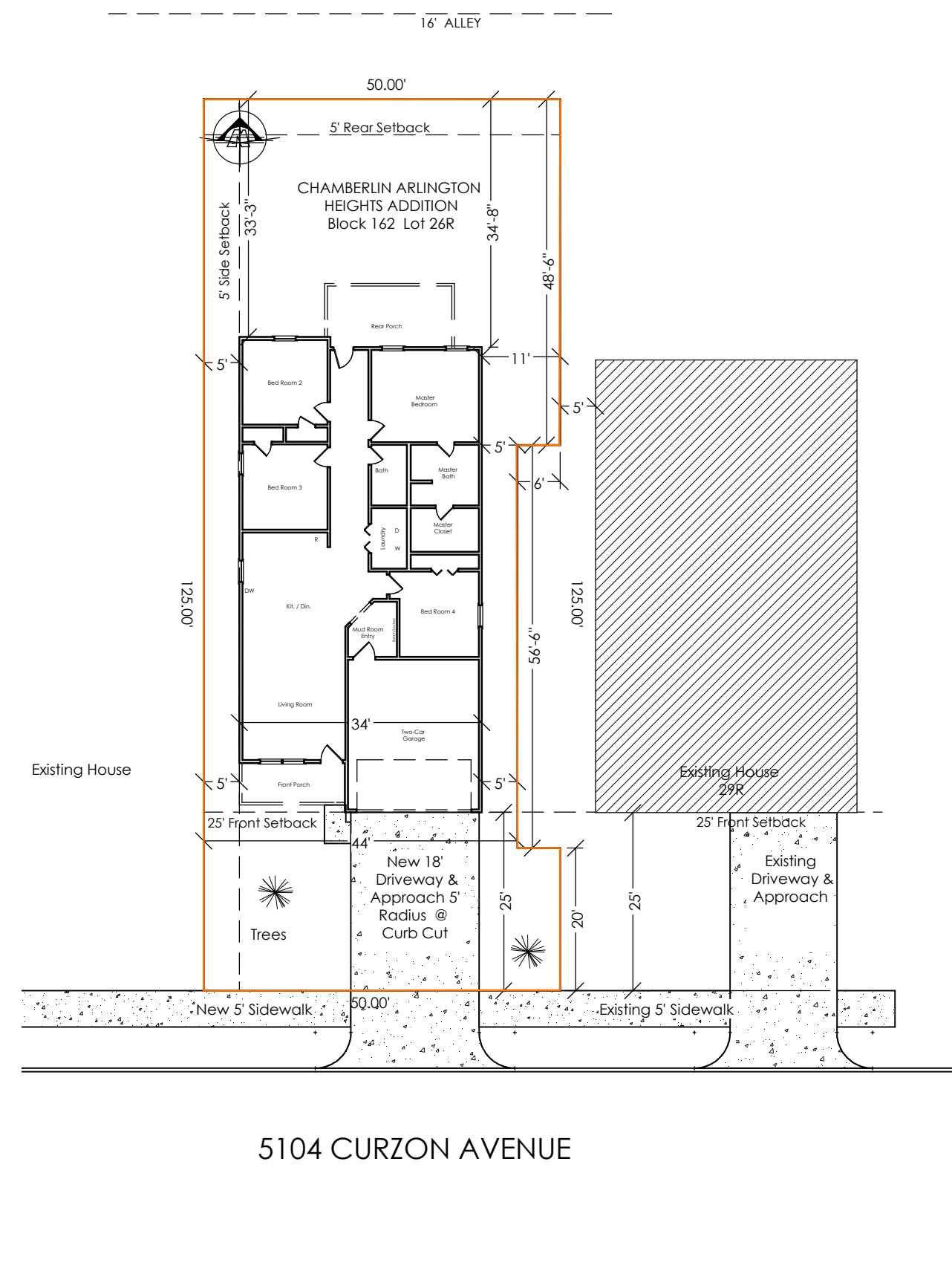
ARCHITECTURAL DESIGNER:
FRANCISCO SALAZAR
346-297-7577
lcochait@zlsrdesignl.com

New Single Family Residence

AREA TOTALS

Living Space= 1,715 Sq Ft
Back Patio = 163 Sq Ft
Front Porch = 90 Sq Ft
Garage = 402 Sq Ft

TOTAL = 2,370 Sq ft
4 Bed / 2 Bath / 2 Car Garage



Site Plan
Scale 1" = 20'

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

LOT GRADING & DRAINAGE:

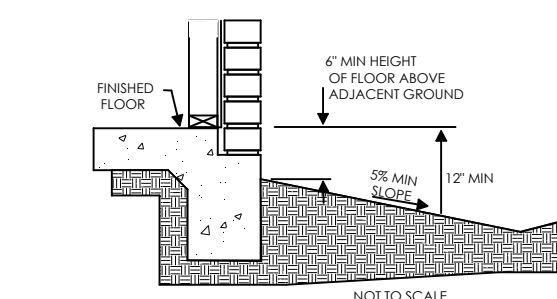
TYPE "B" LOT GRADING

DRAINAGE BOTH TO STREET & TO REAR LOT LINE
Only side swales are needed to drain both to the street and to the rear lot line. They should extend back of the line of the rear building wall; then splash blocks from rear roof downspouts should be placed to direct roof water to the side swales for drainage directly to the abutting street.

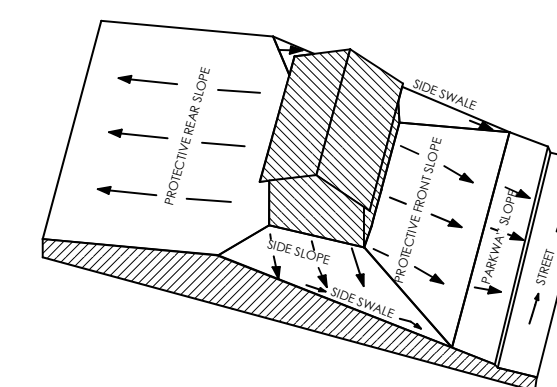
Thus the amount of water carried on the rear slope to easements or other properties is kept as small as possible. This reduces erosion and disposal problems.

- A Curb-top on lot line extension at highest lot corner
- A-B Parkway slope
- B-C Side swale
- C-D Protective side slope at extension of rear wall

*Call 811 for utility locations before digging.



GRADING REQUIREMENT



SHEET INDEX

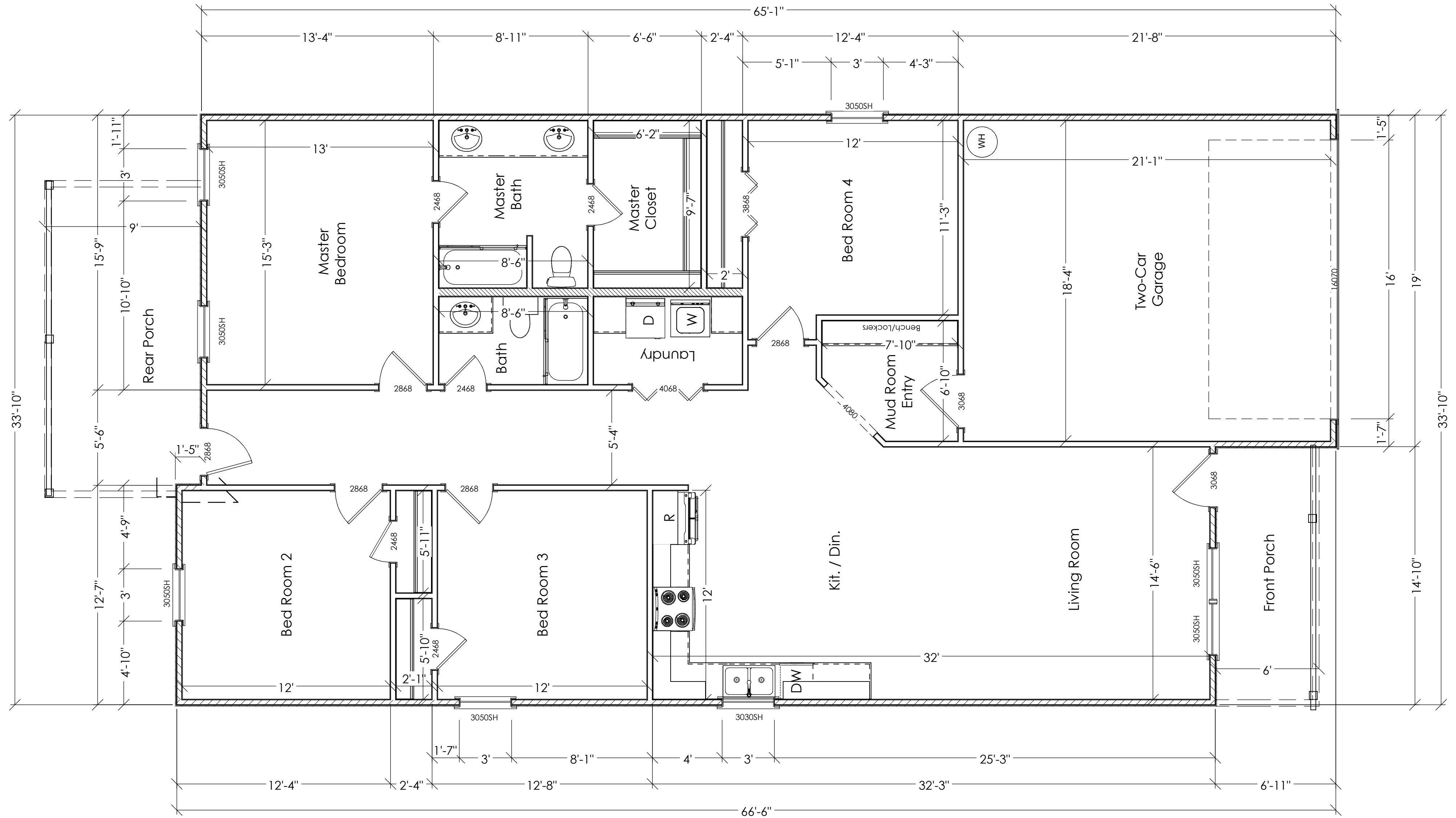
TITLE	NUMBER
SITE PLAN	01
FLOOR PLAN	02
ELEVATIONS	03
FOUNDN	04
DETAILS	05
BRACING	06
SPAN TABLES	07
ROOF PLAN	08
MEPS	09

THIS PLANS SET SHALL COMPLY WITH LOCALLY ADOPTED CODES PER MUNICIPALITY

DATE:
3/18/2025

SHEET:

TITLE	NUMBER
SITE PLAN	01
FLOOR PLAN	02
ELEVATIONS	03
FOUNDN	04
DETAILS	05
BRACING	06
SPAN TABLES	07
ROOF PLAN	08
MEPS	09



FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR THE MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)

3. ALL WINDOW AND DOOR SIZES ARE FOUND ON THE FLOOR PLAN. (WINDOW AND DOOR LABELS ARE READ IN FEET AND INCHES. WIDTH FOLLOWED BY HEIGHT. EX. 3050SH 3' 0" x 5' 0" SINGLE HUNG)

4. ALL CEILING HEIGHTS ARE 9' UNLESS NOTED DIFFERENTLY ON FLOOR PLAN (EX. 10' C.H.)

First Floor Plan
Scale: 1/4" = 1'



BOARD OF ADJUSTMENT – RESIDENTIAL

BAR-25-027

Address: 5319 Quail Run Street
Owner: Nancy Grogan on behalf of James and Eden Delaune
Zoning: "A-5" – One-Family District

a. Variance: To permit an existing non-habitable accessory structure to be converted to a habitable accessory structure that would continue to encroach into the required front yard setback.

Minimum required front-yard setback: 21 feet
Requested front-yard setback: 10 feet

b. Variance: To permit an existing non-habitable accessory structure to be converted to a habitable accessory structure that would continue to be in front of the rear wall of the primary structure and located less than 75-feet from the front property line.

Required distance from front property line: 75 feet
Requested distance from front property line: 10 feet

GENERAL INFORMATION

REGULATION:

3.403 Board of Adjustment Action

In taking action on an application for a variance, the board of adjustment shall grant the application only when the board determines that:

- (a) Literal enforcement of the regulations in this zoning ordinance will create an unnecessary hardship or practical difficulty in the development of the affected property;
- (b) The situation causing the hardship or difficulty is unique to the affected property;
- (c) The situation or hardship is not self-imposed;
- (d) The relief sought will not injure the existing or permitted use of adjacent conforming property; and
- (e) The granting of a variance will be in harmony with the spirit and purposes of this zoning ordinance.

5.300 Accessory Uses. General.

- (f) *Accessory structures not permitted in front yards.* No attached or detached accessory structures such as, porches supported by columns, greenhouses, garages, swimming pools or similar uses shall be erected on property within the minimum front yard, established front yard or projected front yard. When the platted front yard or established front yard is less than the minimum required front yard, the setback of the minimum required front yard shall be met.



BOARD OF ADJUSTMENT – RESIDENTIAL

5.301 Accessory Uses on Residential Lots.

(b) Non-habitable accessory structures.

(1) All accessory structures except private garages, private carports or private porte cocheres.

c. All non-habitable accessory structures must be located behind the rear wall of the primary residential structure that is furthest from the street or at least 75 feet from the front of the property line, whichever is the least restrictive.

6.101 Yards.

(d) Front yard setbacks.

(1) The front yard setback in residential districts shall be the greatest of:

- a. The platted building line;
- b. The setback for the applicable zoning district; or
- c. The setback of the nearest building on either side that is the closest to the street, up to a maximum setback of 50 feet, provided that said setback is not the result of a variance granted by the board of adjustment. This requirement is applicable only if homes have been constructed on at least 40% of the lots within the blockface. This requirement does not apply to properties within a cul-de-sac.

LOT HISTORY:

FS-16-058 – Replat of 5319 Quail Run and 1900 Highland Park. Recorded 01/26/2018.

**COMPREHENSIVE
PLAN DESIGNATION:**

Single-Family Residential

**REGISTERED
NEIGHBORHOOD
NOTIFICATION:**

West Side Alliance, Northcrest NA, Arlington Heights NA, West Byers NA, Crestline Area NA, Keep Lake Como Beautiful, Tarrant Regional Water District, Streams And Valleys Inc, Trinity Habitat for Humanity, Camp Bowie District, Inc, Fort Worth ISD

**EXISTING
CONDITIONS:**

The subject property is an irregularly shaped lot with curvilinear frontage along Quail Run Street that wraps around the entirety of the front and side of the main house. The subject property was originally platted as two separate lots with no alley access and is located in an established neighborhood containing mature trees. The two lots were replatted into one lot as recorded in 2018. There is a significant 20.6% average downward slope from the rear southwestern corner of the lot toward the front of the lot along Quail Run. The subject property is not located within the FEMA floodplain.

The applicant is requesting to enclose an existing non-habitable accessory structure to convert it to a habitable structure. The existing open-air pavilion



BOARD OF ADJUSTMENT – RESIDENTIAL

with a small kitchenette includes an enclosed space for pool equipment and half-bathroom. The applicant is proposing to enclose the pavilion to create an entertainment area and to expand the kitchenette. The existing structure is not planned to be demolished but will be enclosed on the existing building footprint. Because the roof of the structure will be retained, the height of the structure will not change. The proposed kitchen does not include a cooking stove or oven. The proposed floor plan will add a shower to the bathroom and reconfigure the existing pool equipment room to a closet and storage area.

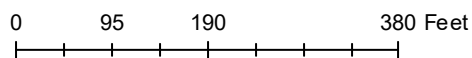
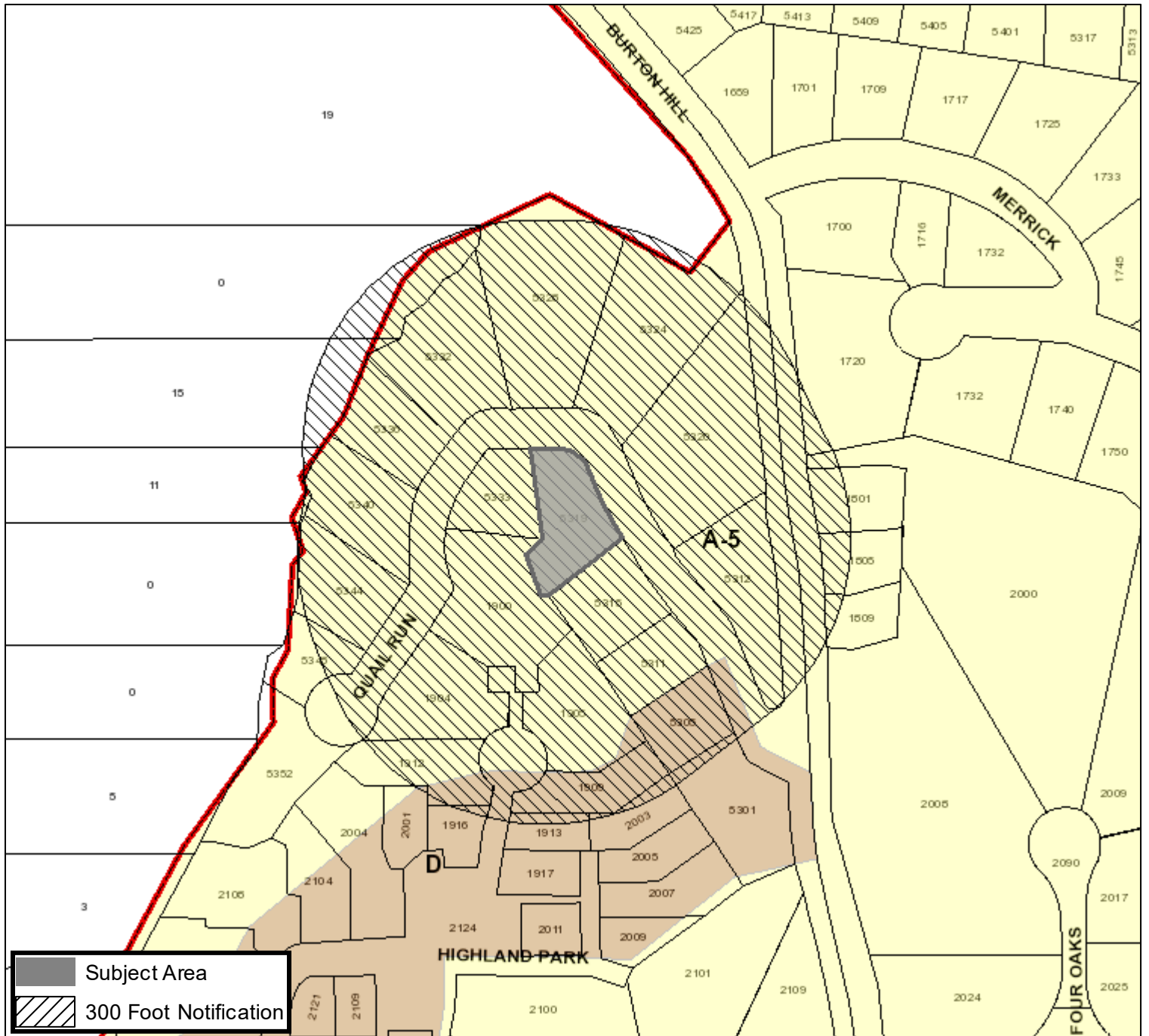
The applicant is requesting two variances. The existing structure is currently located within the front yard setback where accessory structures are not allowed. The first variance would allow the accessory structure to continue to encroach into the required front yard setback. In addition, the existing structure is not behind the rear wall line or 75 feet from the front property line creating the need for a second variance to allow an accessory structure that would continue to be in front of the rear wall of the primary structure and located less than 75-feet from the front property line.

The proposal is required to meet all other development regulations.

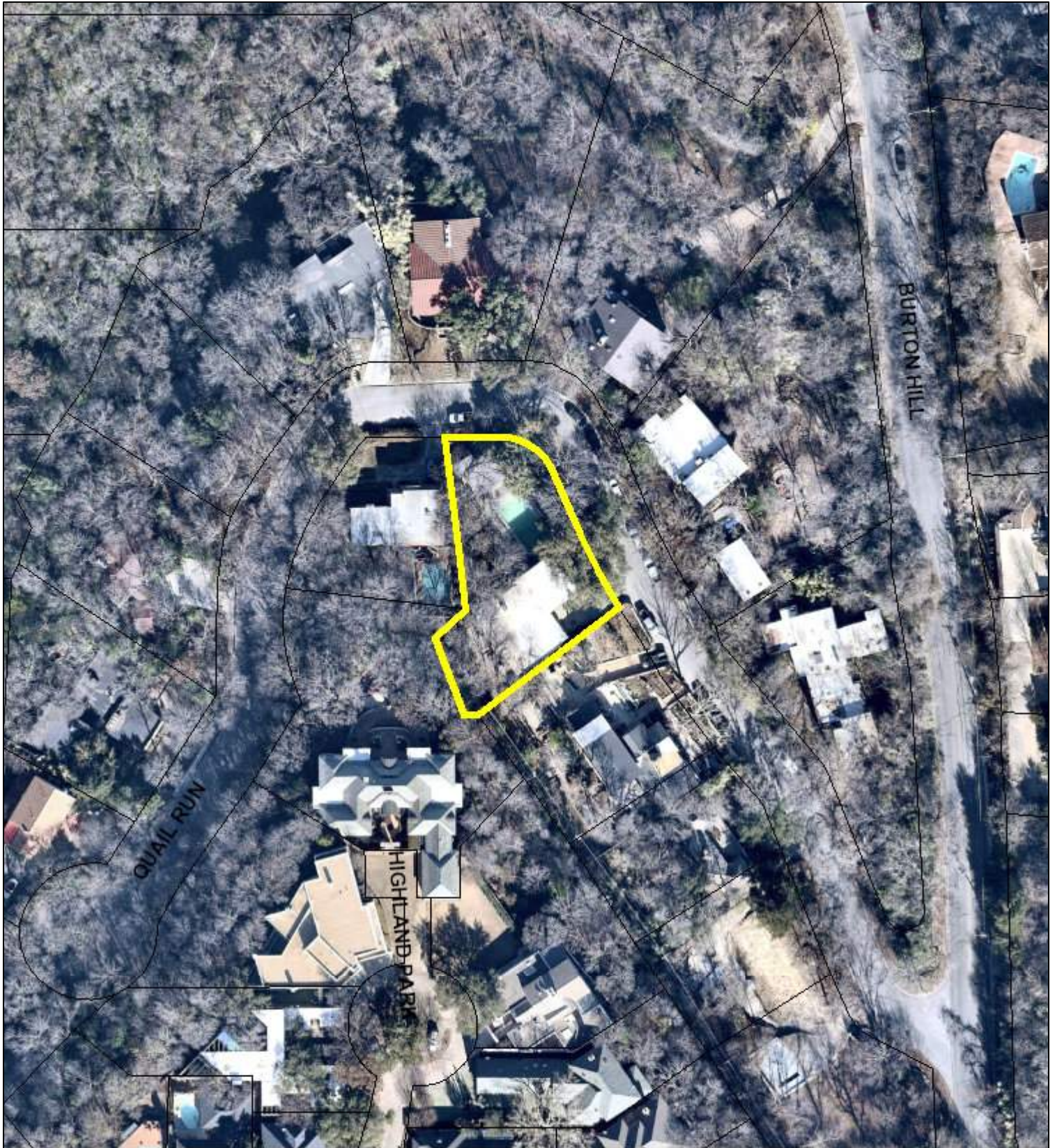


Area Zoning Map

Applicant: Nancy Grogan for James & Eden Delaune
MapSCO: 75E
Commission Date: 4/16/2025



Aerial Photo Map



0 55 110 220 Feet



BAR-25-027
5319 Quail Run St



BAR-25-027
5319 Quail Run St



BAR-25-027
5319 Quail Run St



APPLICATION TO THE ZONING BOARD OF ADJUSTMENT CITY OF FORT WORTH, TEXAS



Development Services Department

Marque con una "X" si necesita que la Ciudad le proporcione un INTERPRETE durante la Audiencia Publica.

PLEASE PROVIDE A DETAILED SITE PLAN

Address of Premises affected: 5319 Quail Run Street, Fort Worth TX 76107
Lot/Tract: Block Lot 6-R-1 **Block/Abstract:** Block Lot 6-R-1 **Lot Size:** Land Sqft*: 14,920
Legal Description: Addition/Survey: QUAIL RUN ADDITION Block Lot 6-R-1

Owner's Name: James and Eden DeLaune
 Address: 5319 Quail Run Street
 City: Fort worth State: TX Zip: 76107
 Tele: () 9174442137 E-Mail edengrogan@gmail.com

Applicant's Name: Nancy Grogan
 Address: 1711 Hulen Street
 City: Fort worth State: TX Zip: 76107
 Tele: () 7132051848 E-Mail rdwgrogan@att.net

Provide a description of the existing/proposed project, with structure type/use, dimensions, height, and materials:
 Renovation of an existing cabana to include a new roof, the enclosure of a partially open area and modification of the existing interior. The cabana is 506.25 square feet, has a generic footprint of 25' x 25' and will remain at its current height of 10'. The existing foundation and most of the existing framing. It will replicate the Hardi siding of the existing house and will have a standing seam metal roof.

Additional documentation may be supplied to support your case If photos are supplied, please label each picture.

Status of Project: Existing Under Construction Proposed
 Status of Property: Owner Occupied Vacant Land Non-owner Occupied

Previous Board of Adjustment Case filed on this property: Yes No
 Date _____ Case Number(s) _____

Is the purpose of this request to provide reasonable accommodation for a person(s) with disabilities? YES NO

If Yes, the application will be directed to the Planning and Development Director or Zoning administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Board of Adjustment. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information.

NOTE TO STAFF: If Yes, send a copy of this application and any attachments to the Zoning Administrator.

Have you informed your Home Owners Association YES NO or Neighbors YES NO of the request?

To watch the Hearings: <http://www.fortworthtexas.gov/>, click on "Watch online Now" & "Board of Adjustment video".

STAFF USE ONLY: Zoning _____

Owner Occupied Variance (One and Two Family Homes) for Section _____

Special Exception for Section _____

Variance for: _____

Interpretation of the Regulation \$400

DATE RECEIVED: 03/13/2025	FEE AMOUNT PAID : 843.75	# OF REQUESTS: 2	RECEIVED BY: SJ	CASE NO. BAR-25-027
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Variance Request Proposal Only

Please explain in your own words, how the request meets each of the hardship criterion listed below.

1. The variance is not a self-created hardship. The roof of the cabana is rotten and must be replaced.
It was originally built decades ago across the 25' building line.

2. The property where the variance is being sought has unique circumstances existing on the property, such as area, shape, or slope; that the unique circumstances were not created by the property owner; that the request is not merely financial or for convenience; and that the circumstance is not due to the general conditions of the zoning district of the property. The shape and topography of the lot does not lend itself to be relocated. This request is to resurrect an existing cabana and not for convenience or for financial reasons. This renovation will not impact the property's zoning district beyond the encroachment of the 25' building line where it currently exists.

3. The variance would be in harmony with the intent and purpose of the comprehensive plan and the specific chapter of the zoning ordinance.
This variance will accommodate the same intent and purpose of the original structure. It will encroach the same 25' building lot line and zoning ordinance as when built.

4. The variance will not adversely affect the health, safety, or welfare of the public.
This project does not amend its affect on the health, safety or public welfare. Immediate neighbors have approved the renovation.

5. The variance will not substantially or permanently injure the appropriate use of adjacent property in the same district.
Since this project does not modify its original intent or location it does not in any way injure adjacent property.

Acknowledgement

I certify that the information provided is true and correct to the best of my knowledge and belief, and that I, or my authorized representative, will present this case in a public hearing before the Zoning Board of Adjustment, unless I withdraw the request prior to the public notice. Should I initiate withdrawal after public notice is given, the filing fee will be non-refundable. Also, no new application may be filed for hearing within 24 months of a Board denial, unless the denial is without prejudice or substantial changes have occurred which warrant a Board waiver of the 24-month mandatory re-application delay period. **ANY REQUIRED PERMITS MUST BE OBTAINED WITHIN 180 DAYS.**

(All applications submitted via email must be signed using a digital ID or certificate.)

Signed by the Owner / Applicant or Agent (Circle appropriate entity) OWNER

Signature:  Signed by:
Eden Delaune
17A45164548B409...

Date 3/14/2025

Application for Variance/Special Exception
Zoning Board of Adjustment
City of Fort Worth

Residential Project: Renovation of Existing Cabana
Mr. and Mrs. James Delaune
5319 Quail Run Street
March 13, 2025

Application for Variance/Special Exception
Zoning Board of Adjustment
City of Fort Worth

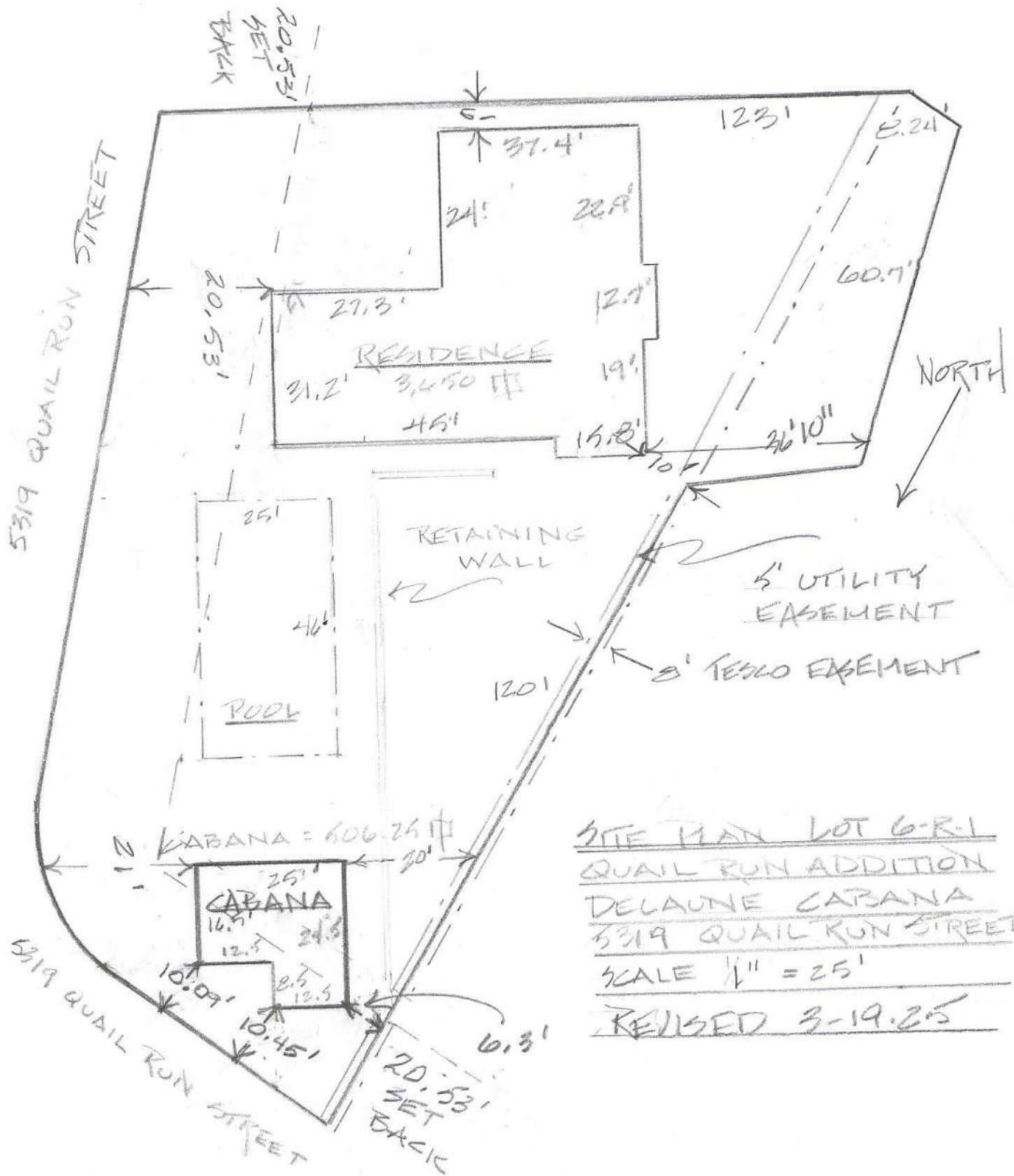
5319 Quail Run Street Variance Request
Documentation

1. Variance Request
2. Existing Cabana Plan
3. Projected Renovated Cabana Plan
4. Floor Plan
5. Electrical/Mechanical/Plumbing Plan
6. Roof Plan/Section
7. Elevation
8. Site Plan
9. Letter of Authorization
10. Neighbor Petition
11. Pictures
 - Elevation
 - Rotten Roof

Application for Variance/Special Exception
Zoning Board of Adjustment
City of Fort Worth

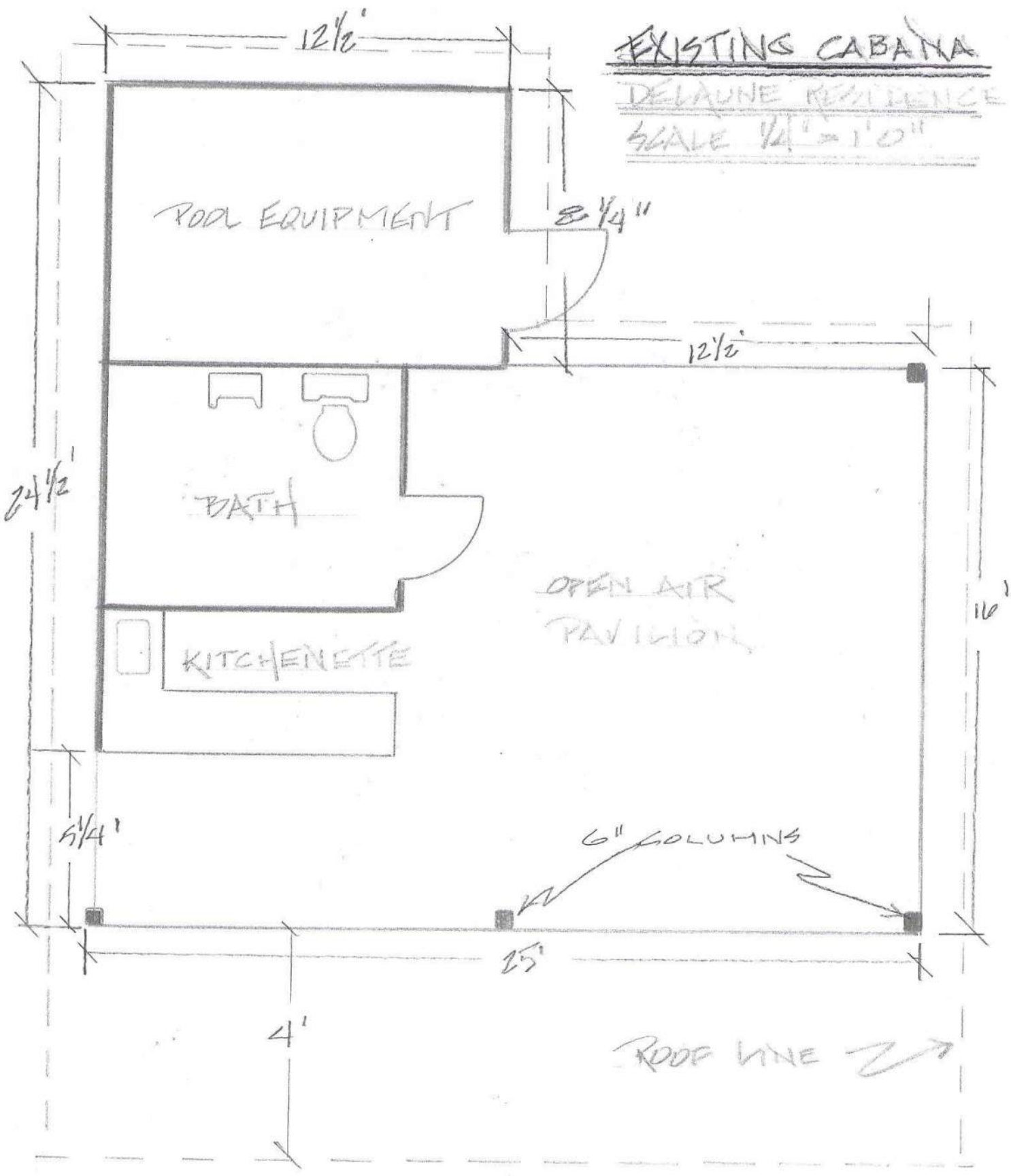
5319 Quail Run Street Variance Request

On behalf of Mr. and Mrs James Delaune, we are requesting a zoning variance regarding the renovation of their existing cabana. The existing cabana which was built no less than five decades ago extends across the 25 foot building line. The owners' intent is to replace the existing roof which has rotten sections, to enclose the entire cabana (currently a portion of it is an open air pavilion) and to relocate 3 existing interior walls. All renovation will be built upon the original foundation and will not require demolishing of the cabana.



SITE PLAN LOT 6-R-1
QUAIL RUN ADDITION
DELAUNE CABANA
5319 QUAIL RUN STREET
SCALE 1/4" = 25'
REVISED 3-19-25

EXISTING CABANA
DELAUNE RESIDENCE
SCALE 1/4" = 1'0"



POOL EQUIPMENT

8 1/4"

12 1/2'

24 1/2'

BATH

OPEN AIR
PAVILION

KITCHENETTE

16'

5 1/4'

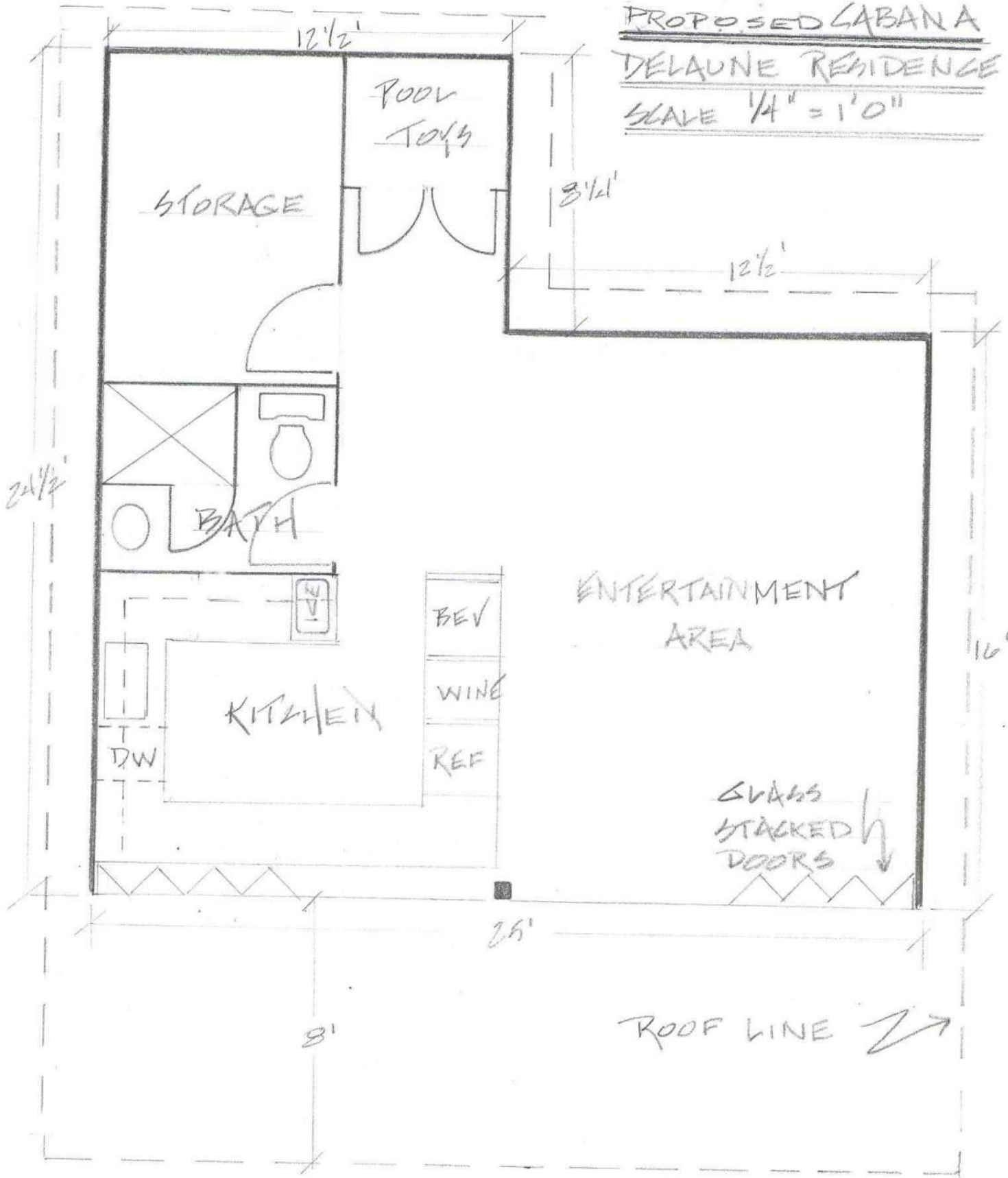
6" COLUMNS

25'

4'

ROOF LINE →

PROPOSED CABANA
DELAUNE RESIDENCE
SCALE 1/4" = 1'0"

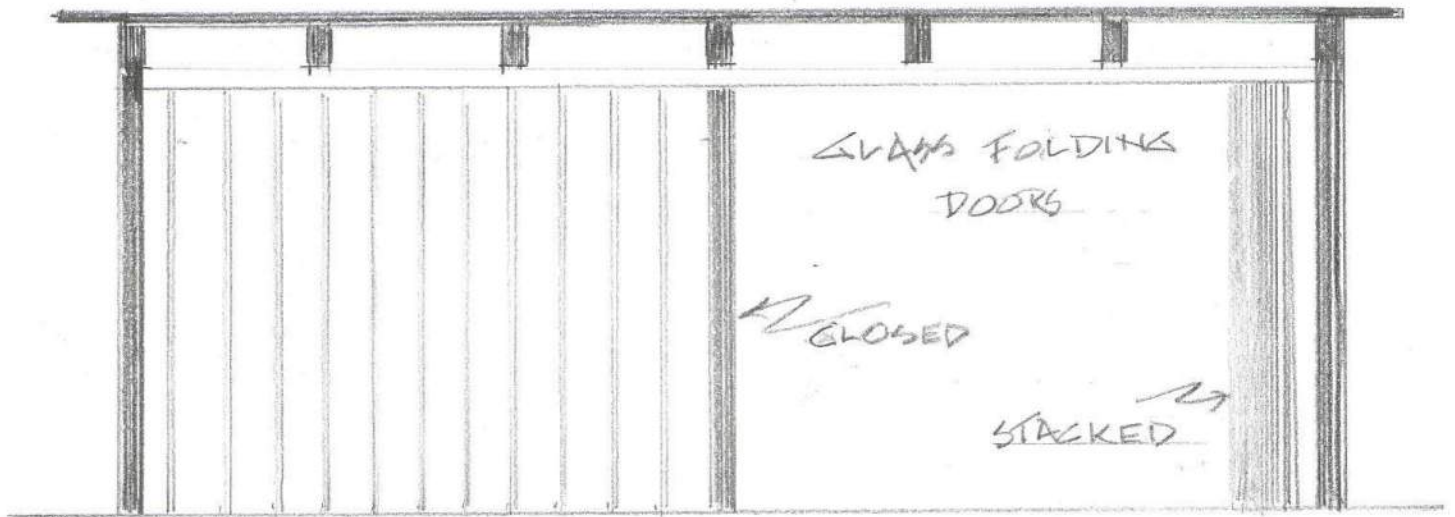


ELEVATION

DELAUNE CABANA

5319 QUAIL RUN ST.

SCALE 1/4" = 1'0"



CABANA - POOL SIDE

**Request for Variance
Neighbors Petition
5319 Quail Run Street**

I have been advised that Mr. and Mrs. James Delaune are requesting a variance to allow them to renovate their existing cabana. I further understand that they will be using the original foundation and the height will not exceed its current height.

1. I have been informed of a variance request and have NO objection.

Kendall Louis 5332 Quail Run St
Owner's Name (Print) Address
K. Louis
Signature

2. I have been informed of a variance request and have NO objection.

KABINDA FOSTER 5333 QUAIL RUN ST.
Owner's Name (Print) Address
K. Foster
Signature

3. I have been informed of a variance request and have NO objection.

Bailey Ziemann 5328 Quail Run St
Owner's Name (Print) Address
B. Ziemann
Signature

4. I have been informed of a variance request and have NO objection.

Owner's Name (Print) Address

Signature

5. I have been informed of a variance request and have NO objection.

Owner's Name (Print) Address

Signature



