

BERRY / UNIVERSITY URBAN VILLAGE

DEVELOPMENT PLAN AND FORM-BASED CODE



WHY ARE WE HERE TODAY?

- » Outline Project Goals
- » Introduce Team
- » Understand Form-Based Code
- » Review Charrette Process
- » Present Initial Analysis
- » Discuss Next Steps

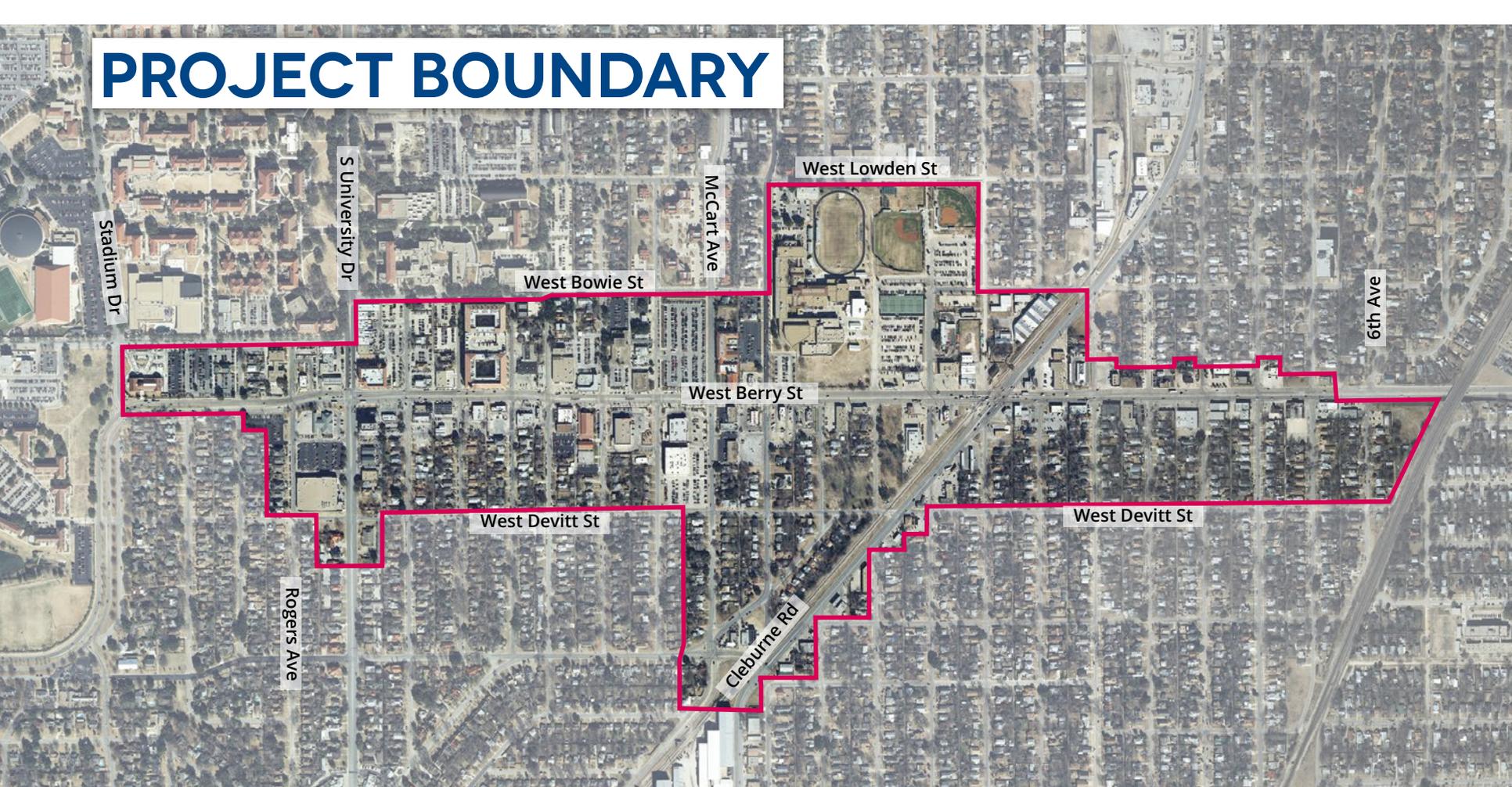
PROJECT GOALS

- » **Transit-Ready Development**
 - » Diversify Transportation Options
 - » Balance All Modes of Travel (Vehicles, Bike, Ped, Transit)
 - » Higher Density Development in Key Areas
 - » Mix Uses, Housing Options and Incomes
- » **Neighborhood Resiliency**
 - » Improve Stormwater Quality, Reduce Flooding
 - » Preserve Integrity of Adjacent Neighborhoods
- » **Form-Based Code**
 - » Refine Planning to Support New Zoning

PROJECT PARTNERS

- » North Central Texas Council of Governments (NCTCOG)
- » City of Fort Worth
- » Fort Worth Transportation Authority (The T)
- » Texas Christian University (TCU)
- » Berry Street Initiative
- » Funded through North Central Texas Council of Government 2009-2010 Sustainable Development Call for Projects

PROJECT BOUNDARY



PARALLEL PROJECT

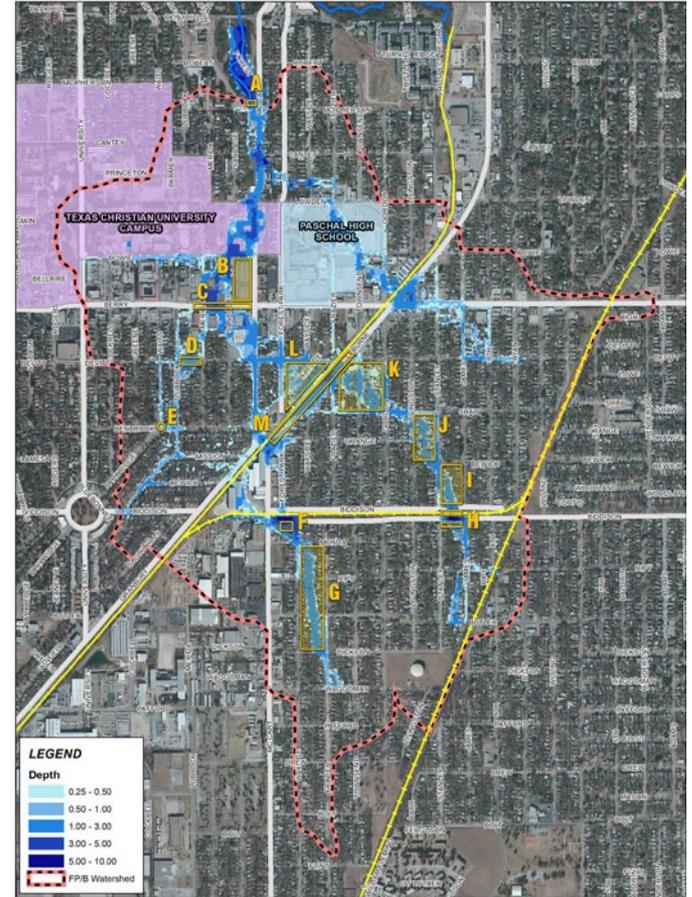
MCCART/BERRY FLOOD MITIGATION STUDY

City of Fort Worth
Prospect No. 13-9017

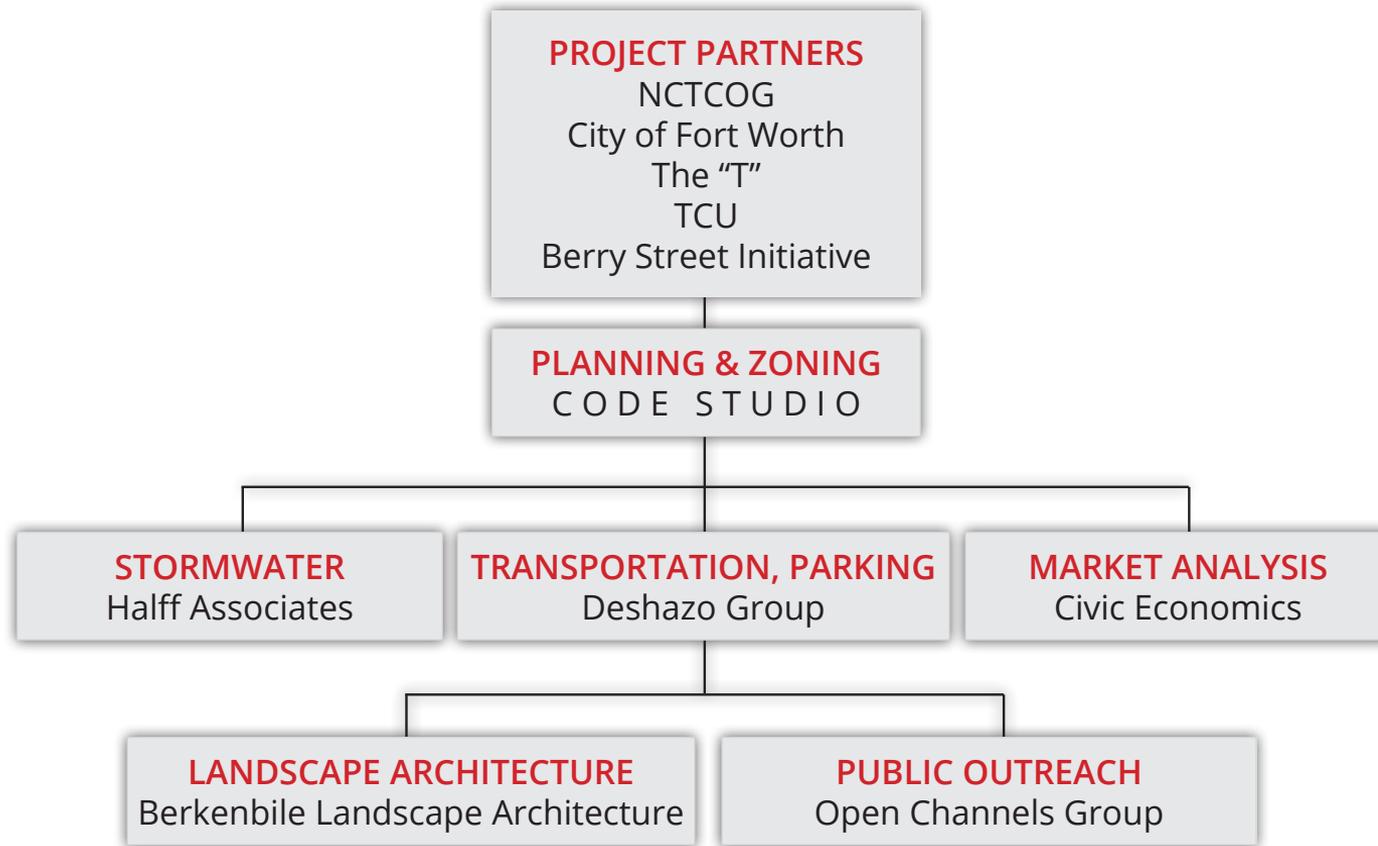
April 2014



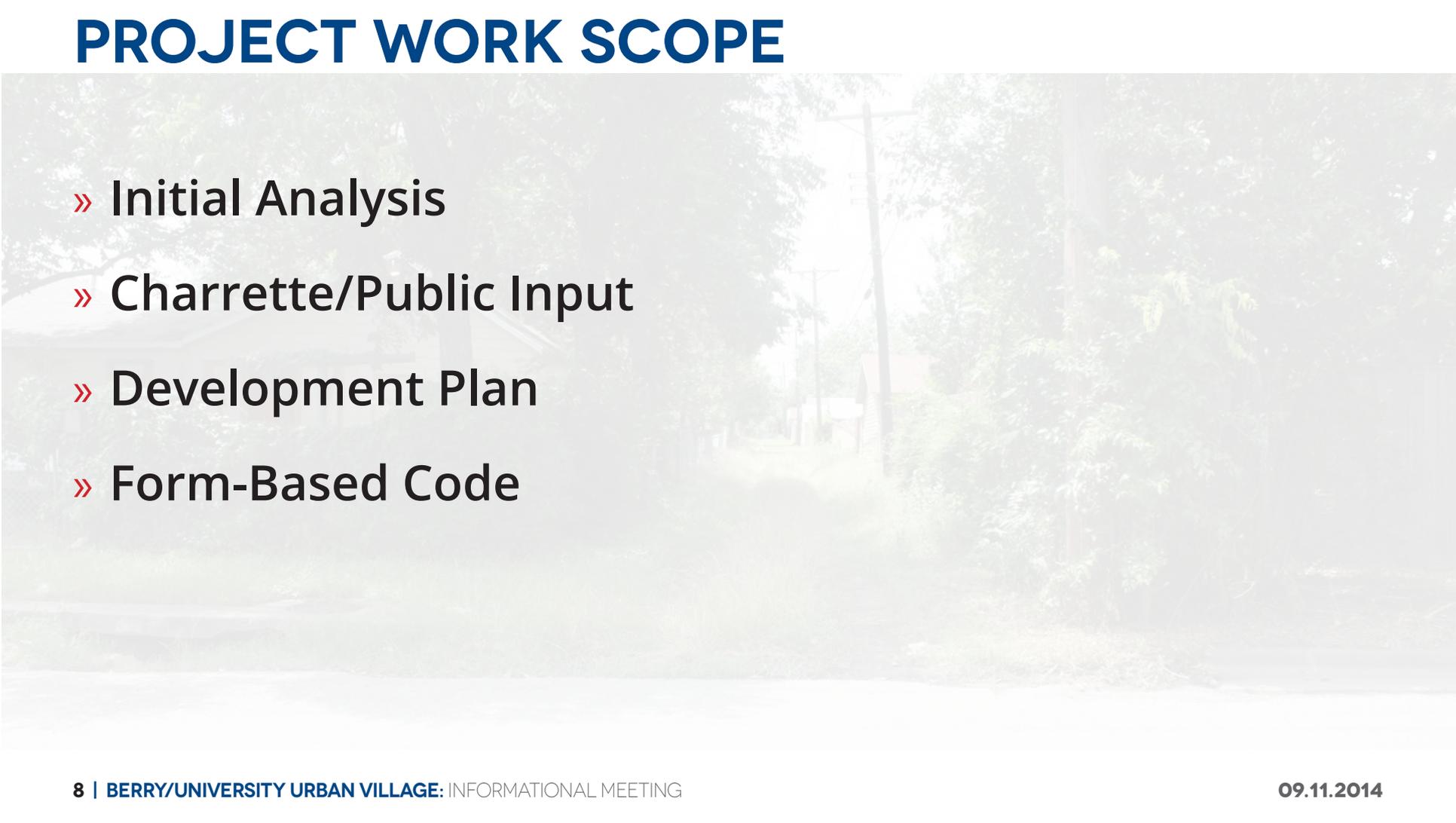
HALFF ASSOCIATES, INC.
4000 FOSSIL CREEK BLVD.
FORT WORTH, TX 76137-2720
WWW.HALFF.COM



PROJECT TEAM



PROJECT WORK SCOPE

The background of the slide is a faded, light-colored photograph of a residential street. It shows a paved road, lush green trees lining the sidewalks, and utility poles with power lines stretching into the distance. The overall tone is bright and airy.

- » Initial Analysis
- » Charrette/Public Input
- » Development Plan
- » Form-Based Code

SCHEDULE

2014 2015

Month: Jul Aug Sep Oct Nov Dec Jan Feb Mar Apr May Jun Jul Aug

1. Initial Review & Analysis



2. Public Design Process



3. Master Plan



4. Form-Based Code



Consultant Work
 Deliverable
 ★ Key Meeting

WHAT IS A FORM-BASED CODE ?

A **new approach to zoning** with an increased focus on **walkability, predictability** and **mixed use development**.

A **call for change** - a **market-driven** response to 50+ years of land use controls that have focused on separating land uses, instead of end results (the **built environment**).

ZONING STRUCTURE

USE/
DENSITY

MANAGEMENT

FORM

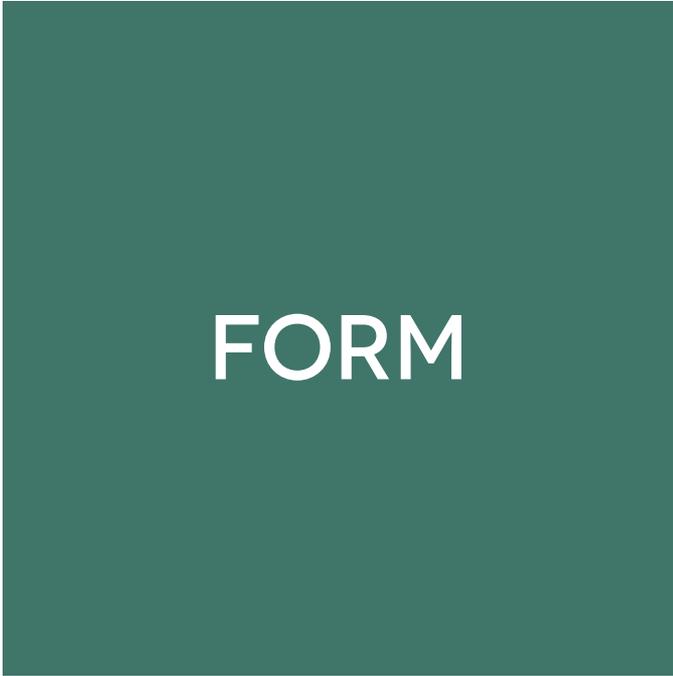
CONVENTIONAL ZONING

USE/
DENSITY

MANAGEMENT

FORM

FORM-BASED ZONING



FORM



MANAGEMENT



USE/
DENSITY

RED ON A ZONING MAP



RED ON A ZONING MAP



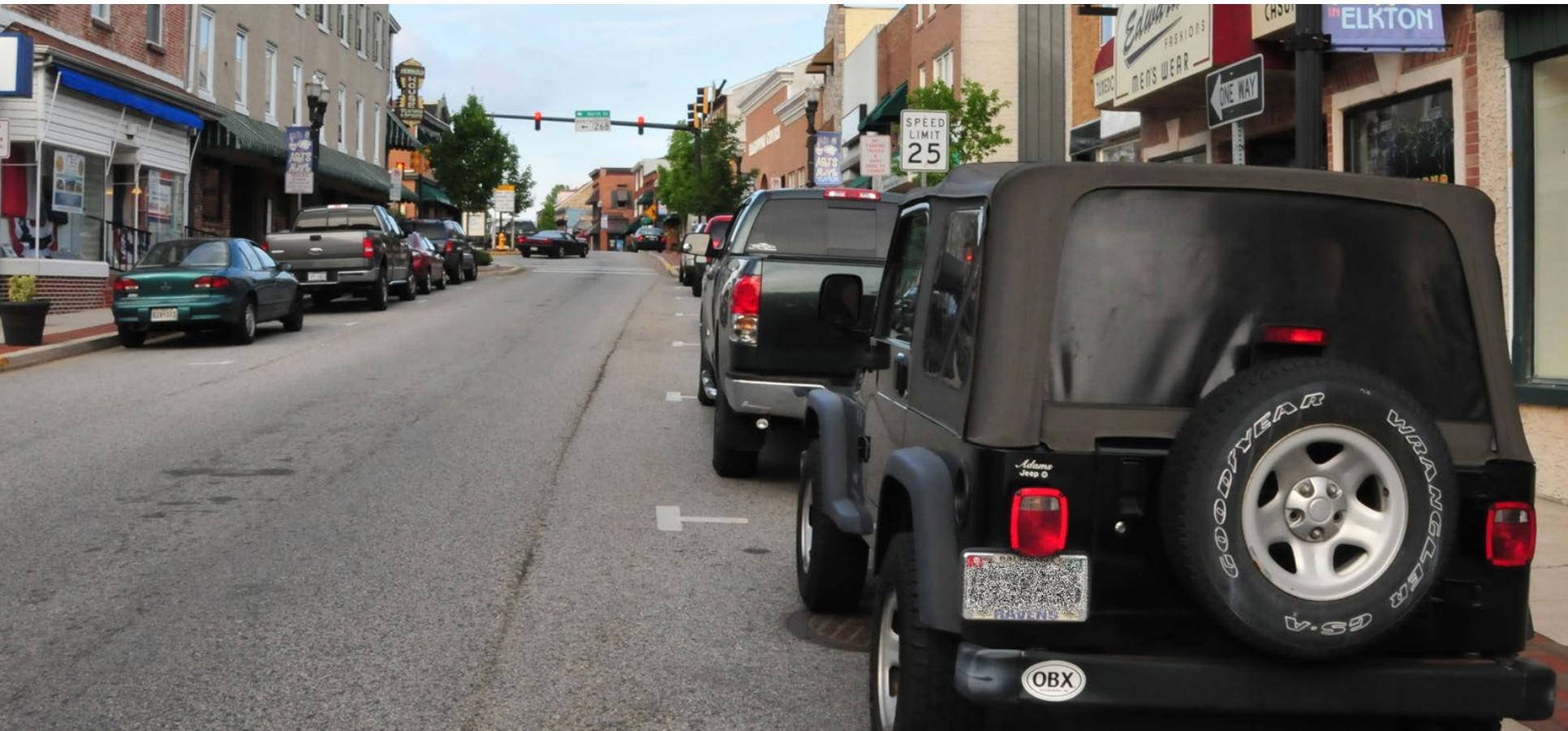
FORM BASICS: BUILDING PLACEMENT



FORM BASICS: BUILDING PLACEMENT



FORM BASICS: PARKING LOCATION



FORM BASICS: PARKING LOCATION



FORM BASICS: PARKING LOCATION



FORM BASICS: HEIGHT



FORM BASICS: HEIGHT



FORM BASICS: HEIGHT



FORM BASICS: WINDOWS AND DOORS



FORM BASICS: WINDOWS AND DOORS



FORM BASICS: USE



FORM BASICS: PUBLIC REALM

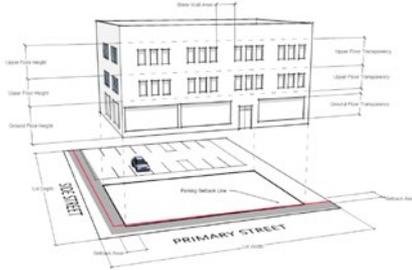


MODERN CODE = CLEAR, PREDICTABLE RESULTS

Article 3 Building Envelope Standards

3.10 Mixed Use and Industrial Districts
3.10.3 Frontage Standards

SHOPFRONT



PLACEMENT

SETBACK AREA

28 min. (7 ft. if ground floor use is a restaurant with outdoor seating) to 15 ft. behind ROW line.

CONTEXTUAL INFILL

For any infill project along a designated Shopfront Frontage with less than 75 feet of frontage, and upon approval of the Planning Director, structures may be located closer to the ROW line than the minimum setback provided that the structure is located within the range of front setbacks on the street. This range of setbacks is measured on the basis of the four structures surrounding the project site (the two closest lots in either direction along the street). The new structure shall be located within the range of established setbacks (no closer than the narrowest setback, no further than the deepest setback). Where a setback in these four lots is significantly out of the range of setbacks along the street, it may be eliminated from the range.

REQUIRED BUILDING FRONTAGE

1. Primary street (sites 100 ft. or more in width). The building facade must be located within the setback area for a minimum of 80% of the site width.
2. Primary street (sites less than 100 ft. in width). This building facade must be located within the setback area for a minimum of 70% of the site width. For sites under 100 ft. in width, the required building frontage may be reduced to accommodate no more than a single 20-ft. access drive for a rear parking area.
3. Side street. The building facade must be located within the setback area for a minimum of 40% of the site depth.

SIDEREAR SETBACKS

Abutting single-family: 10 ft. min. Abutting multifamily, nonresidential: 0 or 10 ft. min. Abutting alley: 5 ft. min. Building separation: 10 ft. min.

PARKING SETBACK

1. Primary street setback, Min 30 ft. behind ROW line.
2. Side street setback, Min 8 ft. behind ROW line.
3. Abutting single-family Min 10 ft.
4. Parking shall be located behind the parking setback line. No parking is permitted between the street and the building. This requirement shall not restrict on-street parking.
5. On street parking is required.

ELEMENTS

TRANSPARENCY (WINDOWS & DOORS)

1. Ground floor, Primary Street 50% min. Side Street 30% min. Ground floor transparency is measured between 2' and 12 ft. above the adjacent sidewalk.
2. Upper floor, Min 20% (floor to floor).
3. A minimum of 60% of the window pane surface area shall allow views into the ground floor for a depth of at least 8 ft. Windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space).

BUILDING ENTRANCE

1. A functioning entrance, operable during normal business hours, is required facing the primary street. An angled entrance may be provided at either corner of the building along the primary street to meet this requirement.
2. A building located on two primary streets shall have either one entrance per frontage or provide one angled entrance at the corner of the building at the intersection. Buildings located on corner lots shall meet all applicable intersection sight distance requirements. Additional entrances off another street, pedestrian area or internal parking area are permitted.
3. A minimum of 50% of the required entrance shall be transparent.
4. Recessed entrances shall not exceed 3 ft. in depth and one floor in height.

BLANK WALL AREA

Blank lengths of wall exceeding 25 linear ft. are prohibited on all primary and side street building façades.

HEIGHT

GROUND FLOOR ELEVATION

For ground floor residential uses, the ground floor finished elevation shall be a minimum of 18 inches above the adjacent sidewalk. There is no minimum for ground floor nonresidential uses.

FLOOR HEIGHT

1. Ground floors shall have a floor to floor height of at least 14 ft.
2. Each upper floor shall have a floor to floor height of at least 9 ft.

Memphis/Shelby County

3-35 (2-11-10)

PUBLIC REVIEW DRAFT Unifed Development Code



NEXT STEP: PUBLIC PARTICIPATION CHARRETTE

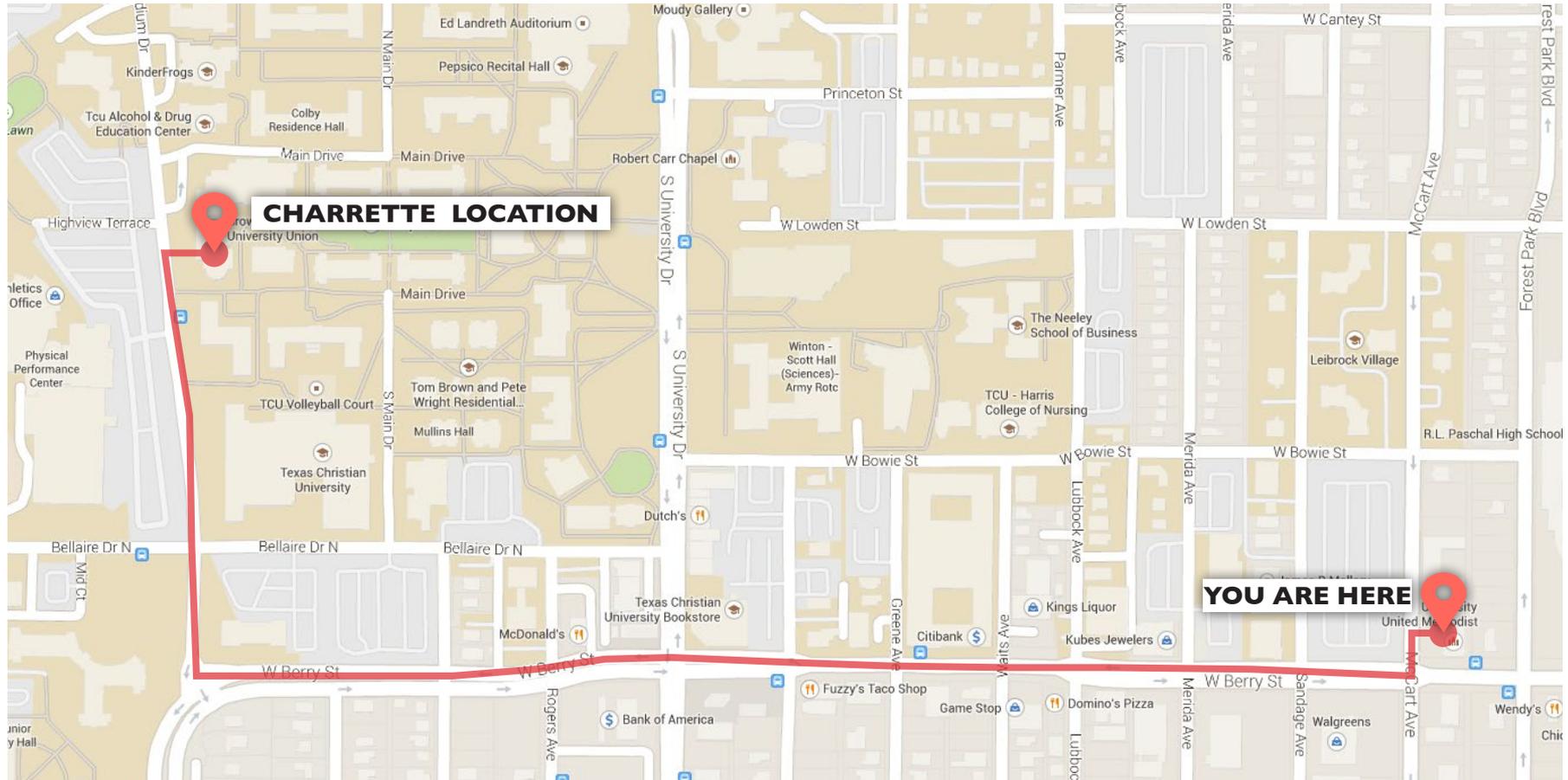
- » A 5-Day, Collaborative, Planning Effort
October 11th -15th
- » Harness Talents of Stakeholders to Create Plan and Code Metrics
- » Short Feedback Loops, Applies Technical Expertise to Refine Vision, Ensure Feasibility



cha•rrette ^{\shuh-RET\ n.}
1. a multiple-day collaborative design and planning workshop held on-site and inclusive of all affected stakeholders.

[From French charrette (cart), from Old French. Anecdotally, professors at the Ecole de Beaux Arts in Paris during the 19th century collected architecture students' final drawings in a cart for jury critiques while students frantically put finishing touches on their work]

TCU BROWN-LUPTON UNIVERSITY STUDENT UNION @ 2901 STADIUM DRIVE



THE WEEK AT A GLANCE

DAY 1	DAY 2	DAY 3	DAY 4	DAY 5
SATURDAY OCTOBER 11	SUNDAY OCTOBER 12	MONDAY OCTOBER 13	TUESDAY OCTOBER 14	WEDNESDAY OCTOBER 15
NEIGHBORHOOD DESIGN WORKSHOP 9:00 AM – 12:00 PM @ AUDITORIUM	OPEN DESIGN STUDIO 9:00 AM – 12:00 PM	OPEN DESIGN STUDIO 9:00 AM – 12:00 PM	OPEN DESIGN STUDIO 9:00 AM – 12:00 PM	
		LUNCH & LEARN 12:00 PM – 1:00 PM	LUNCH & LEARN 12:00 PM – 1:00 PM	
DAN BURDEN WALKING TOUR 1:30 PM – 3:30 PM MEET OUTSIDE AUDITORIUM	OPEN DESIGN STUDIO 1:00 PM – 7:00 PM	OPEN DESIGN STUDIO 1:00 PM – 5:00 PM	OPEN DESIGN STUDIO 1:00 PM – 7:00 PM	
		OPEN HOUSE 6:00 PM – 8:00 PM @ AUDITORIUM		FINAL PRESENTATION 6:00 PM – 8:00 PM @ AUDITORIUM

STUDYING THE AREA



STUDYING THE AREA



SATURDAY: NEIGHBORHOOD DESIGN WORKSHOP



DESIGNING WITH CITIZENS



DESIGNING WITH CITIZENS



WALKING TOUR



BRAINSTORMING



SUN THRU TUES: DESIGNING IN PUBLIC



MON-TUES: TECHNICAL MEETINGS



MONDAY: “DROP-IN” OPEN HOUSE



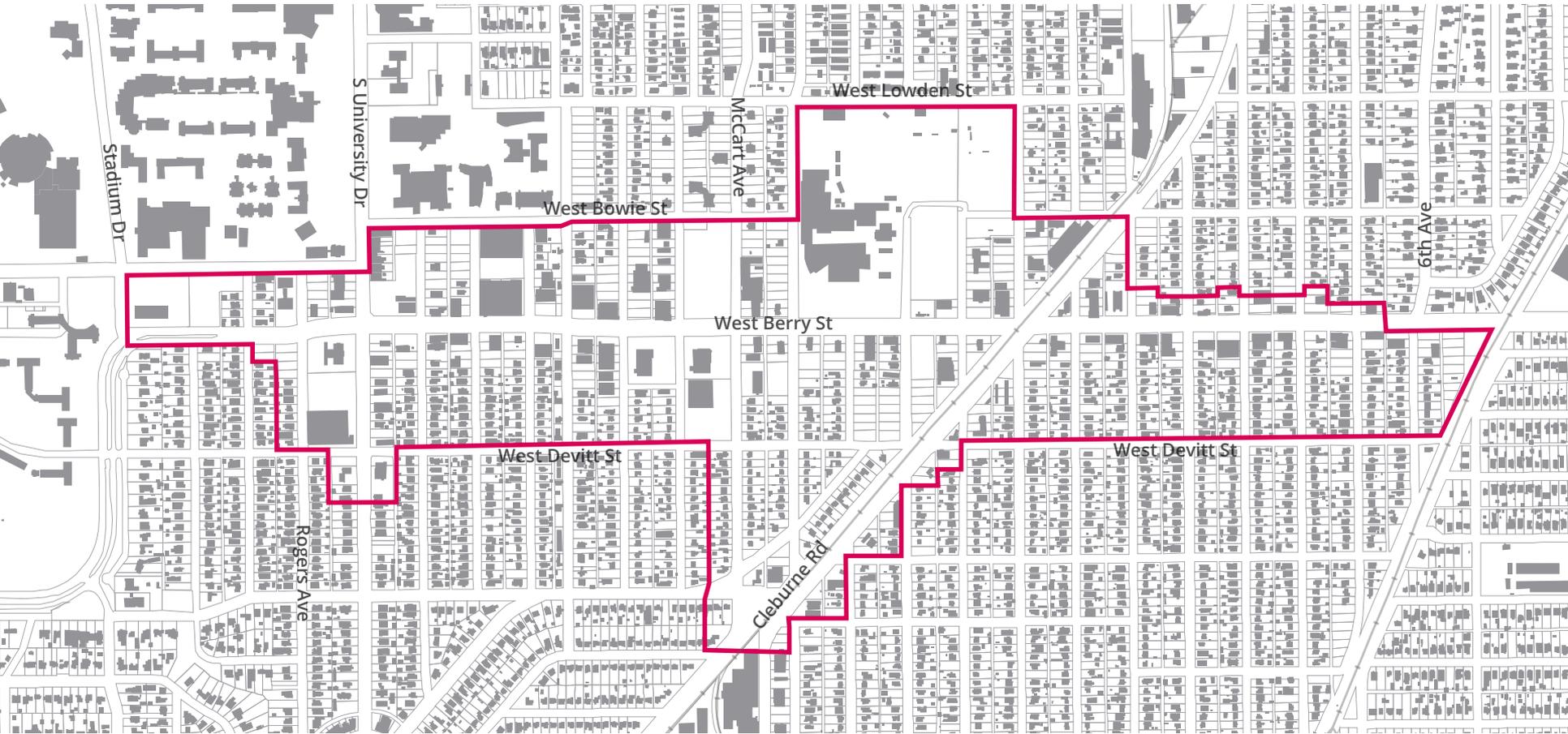
TUESDAY: WORKING LATE



WED: WORK-IN-PROGRESS PRESENTATION



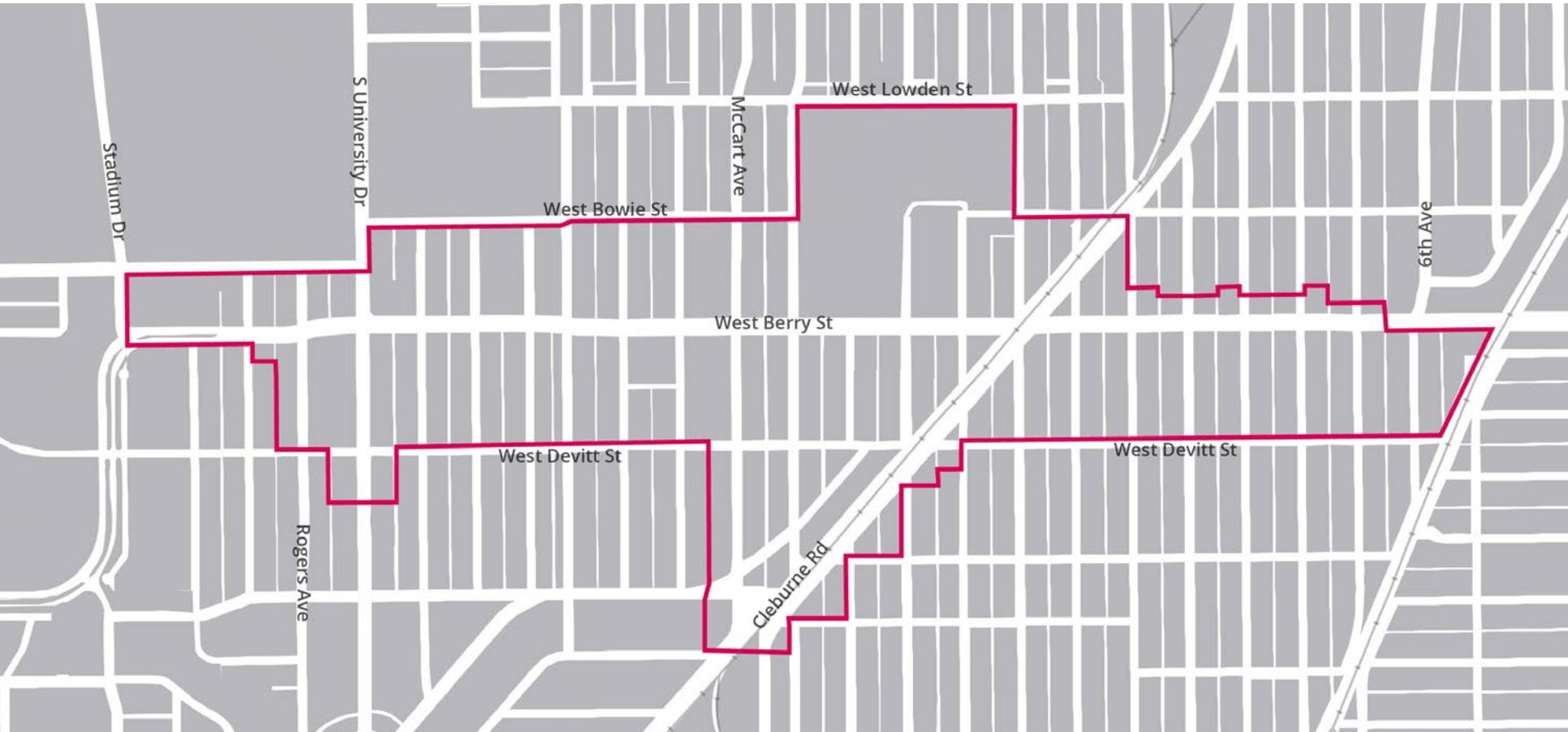
INITIAL ANALYSIS



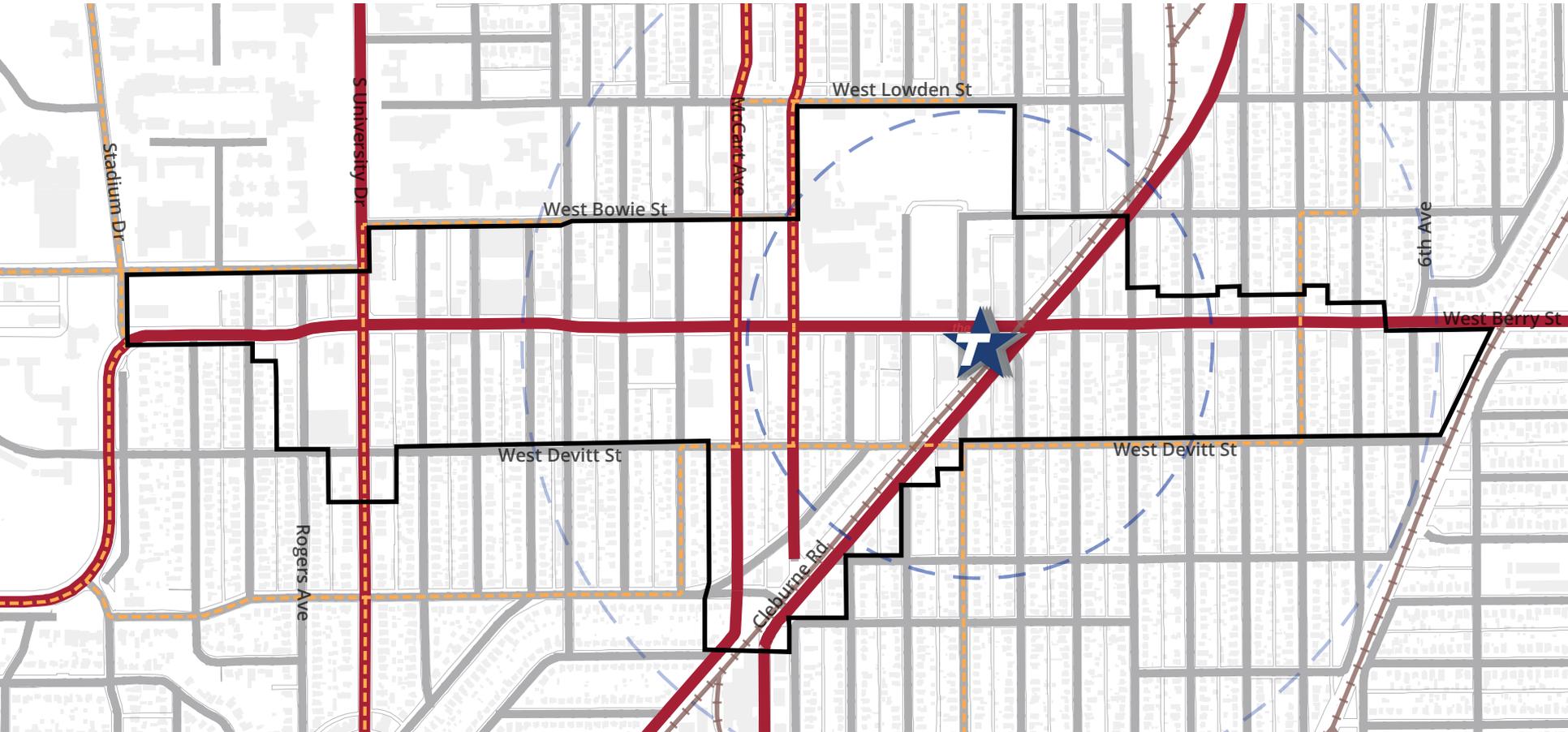
AERIAL



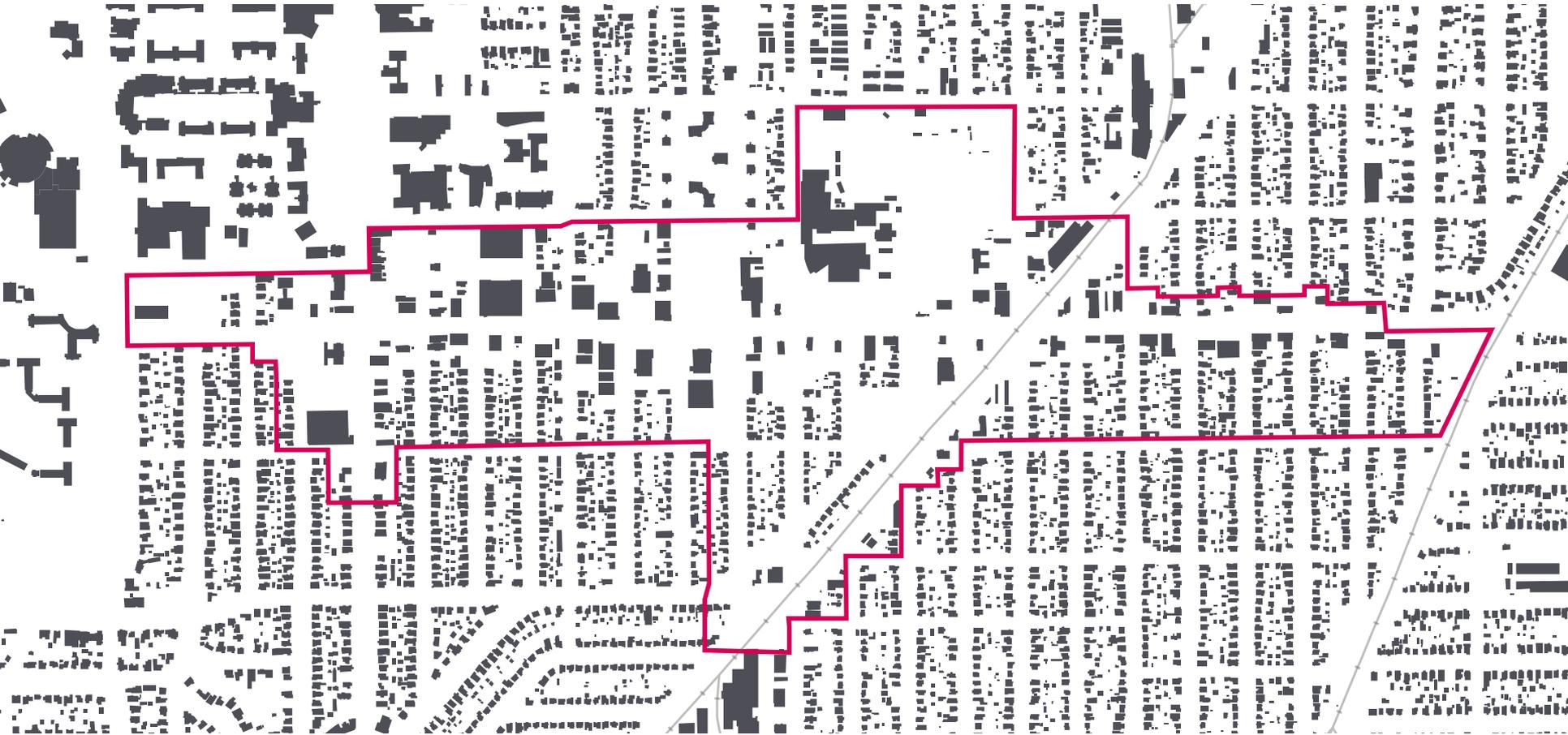
BLOCK PATTERN



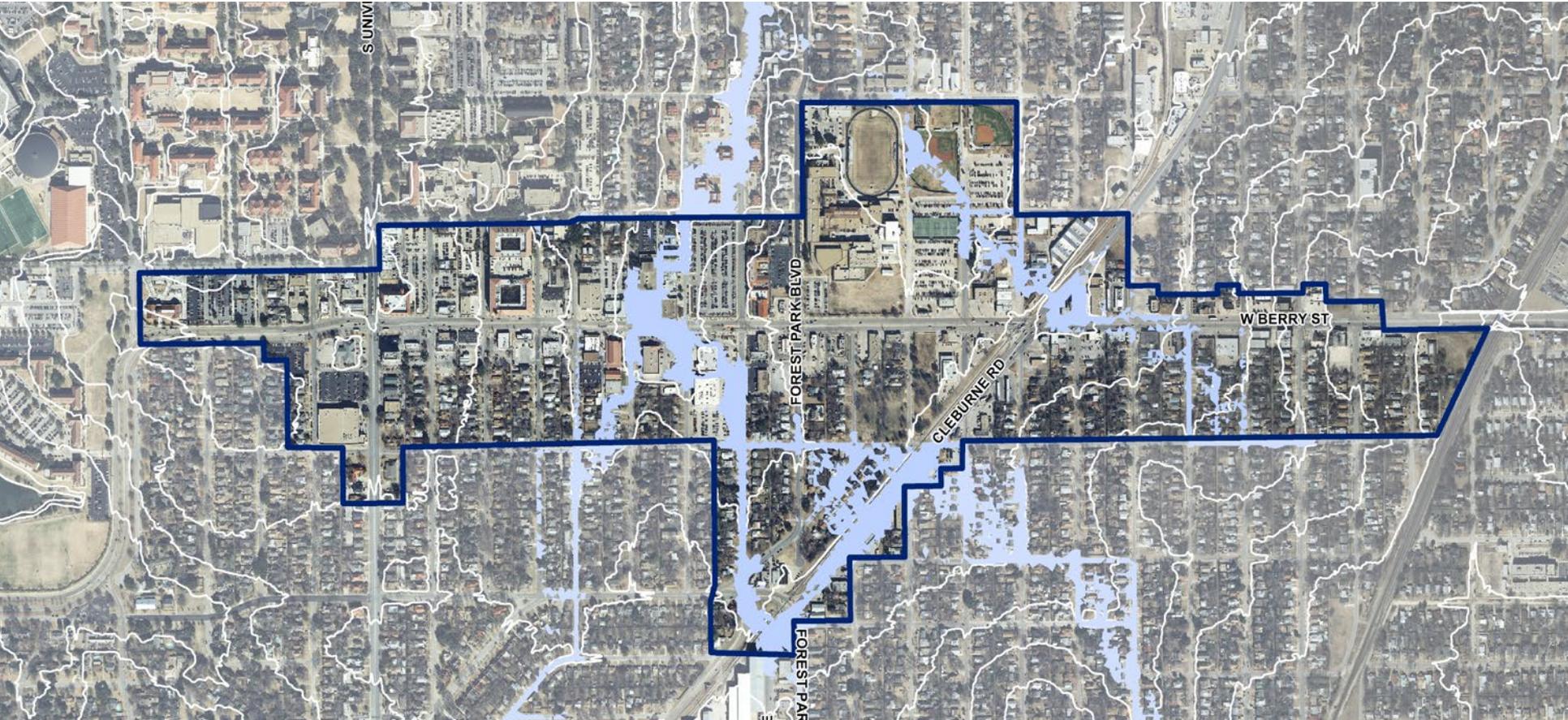
MOBILITY



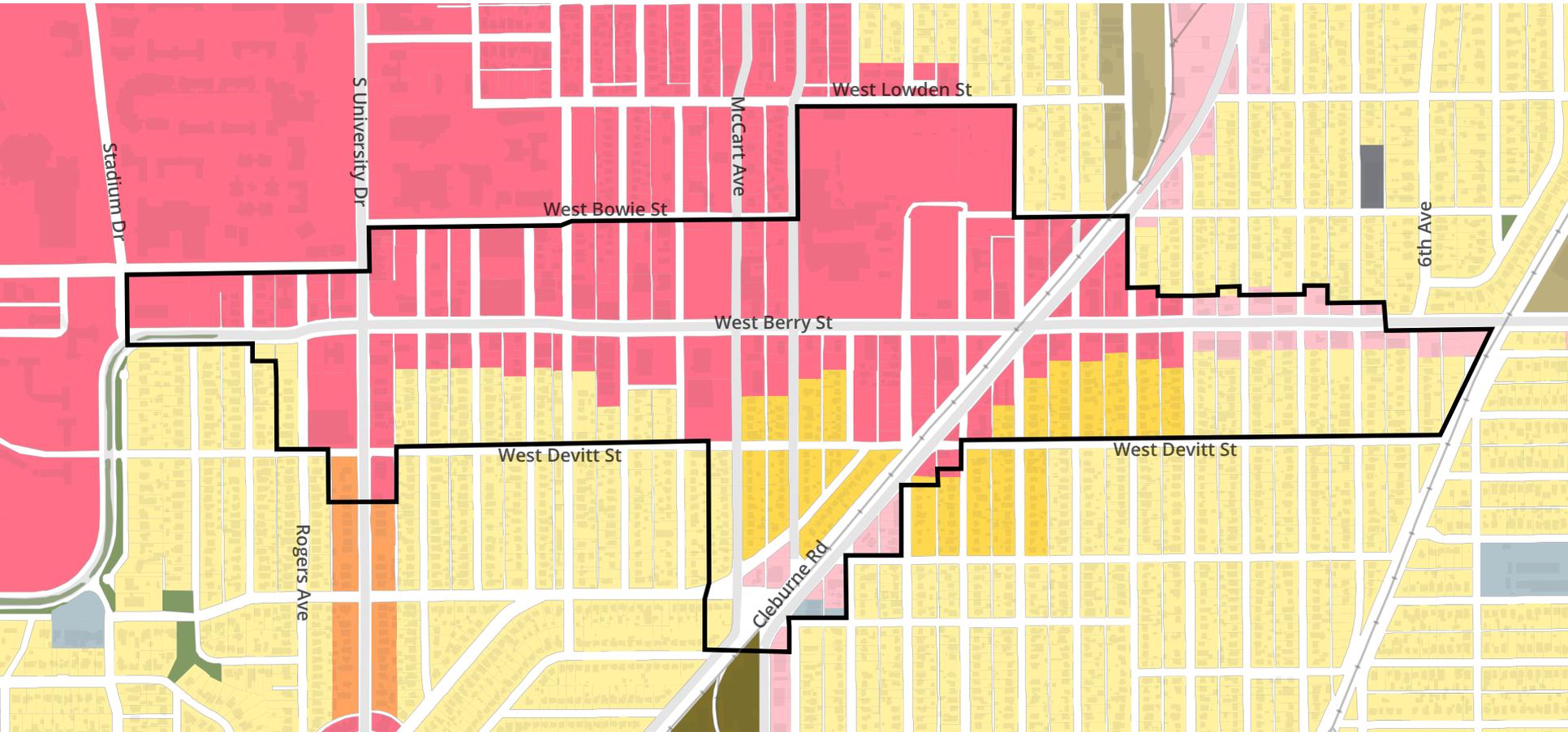
BUILDING FOOTPRINTS



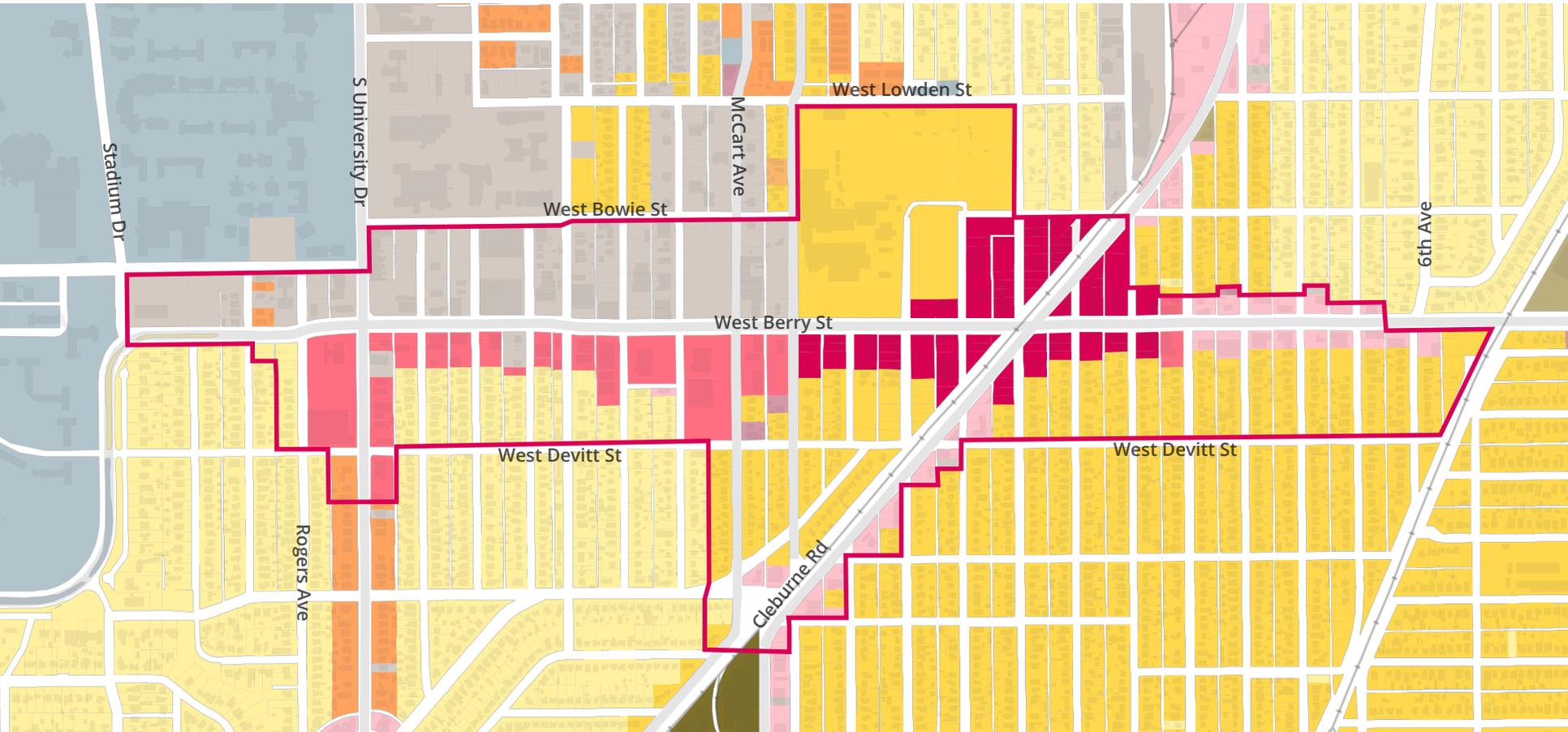
STORMWATER – 3” RAINFALL



FUTURE LAND USE



EXISTING ZONING



HOW TO PARTICIPATE?

DESIGN CHARRETTE for BERRY/UNIVERSITY URBAN VILLAGE

What is a Design Charrette? A Design Charrette is a multiple-day collaborative design and planning workshop held on-site and inclusive of all affected stakeholders.

Why do we need your help? We're launching our Form-Based Code and Berry/University Urban Village planning process and we need your help gathering ideas for how to plan for zoning, transit, possible rail stop, stormwater and future development on Berry Street.

Sat. October 11th 9:00am - 12:00pm @ TCU Brown-Lupton University Student Union Auditorium, ground level

Neighborhood Design Workshop



MORE EVENTS:

DAN BURDEN WALKING TOUR
Sat. Oct. 11, 1:30pm - 3:30pm
meet outside of the Auditorium, ground level

OPEN DESIGN STUDIO
Sun. Oct. 12 - Tues. Oct. 14, 9am - 7pm
@ Open Design Studio, Acuff Conference Room, 3rd floor

LUNCH & LEARN
Mon. Oct. 13, Tues. Oct. 14, 12pm-1pm
@ Open Design Studio, Acuff Conference Room, 3rd floor

OPEN HOUSE
Mon. Oct. 13, 6pm-8pm
@ Auditorium, ground level

FINAL PRESENTATION
Wed. Oct. 15, 6pm-8pm
@ Auditorium, ground level

All events are located in the **TCU Brown-Lupton University Student Union** @ 2901 Stadium Drive, Fort Worth, TX 76129.

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WWW.FORTWORTHTEXAS.GOV/WESTBERRY

For special accommodations due to a disability, or language translation, contact Cynthia White at (817) 332-0404 or by email at cynthia.white@ocgpr.com, at least 72 hours prior to the meeting. Reasonable accommodations will be made.
Para arreglos especiales debido a una discapacidad o para servicio de interpretación, por favor comuníquese con Cynthia White al (817) 332-0404 o por correo electrónico: cynthia.white@ocgpr.com por lo menos 72 horas antes de la junta. Se cumplirán arreglos razonables.



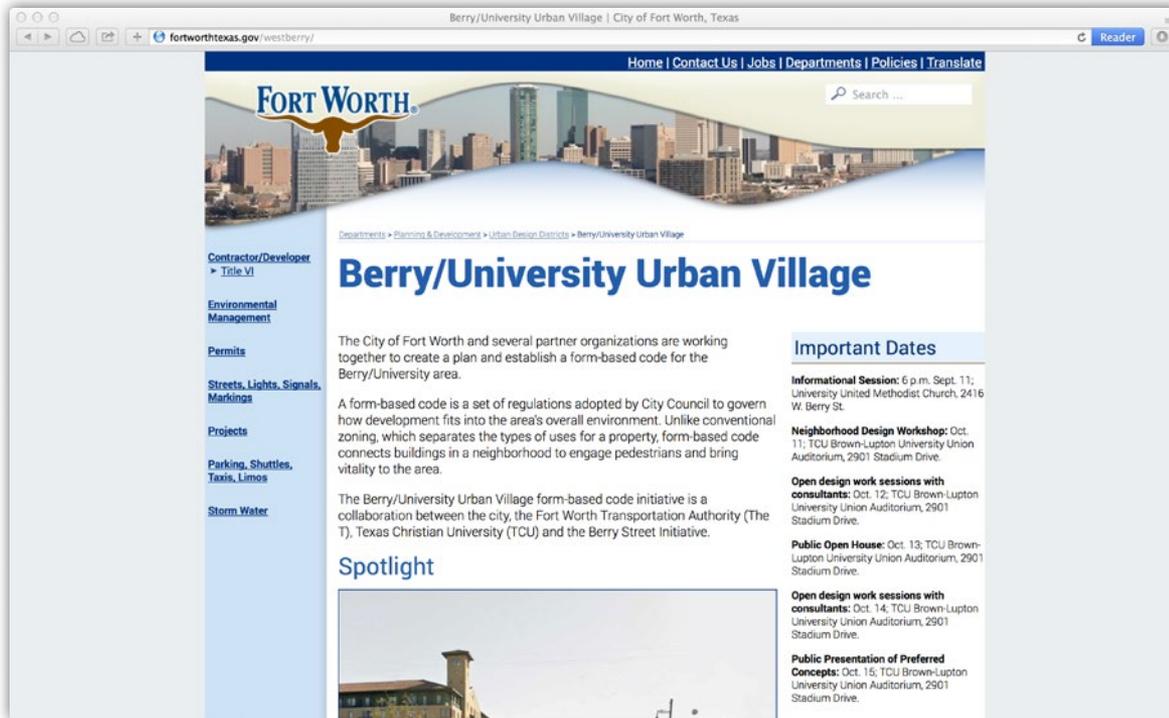
JOIN US

Saturday October 11th
9:00 am - 12:00 pm

TCU Brown-Lupton University Student Union
2901 Stadium Drive

*Let Your Friends and Neighbors
Know About the Project!!!*

» Follow the project on the City's Website:
www.fortworthtexas.gov/westberry



CONTACT

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