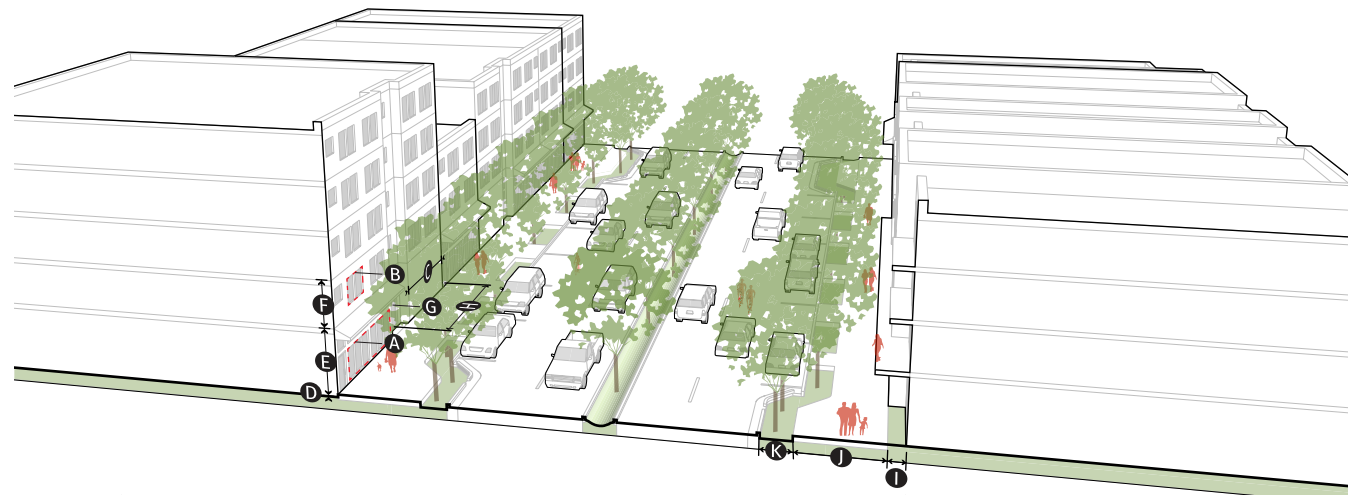


SEC. 1.9.6. PUBLIC REALM



The public realm standards below apply to all streets, unless noted otherwise.

Transparency		Building Setbacks	
A Ground story	60% min	I Primary/side street	See Sec. 2.6.3
B Upper story	20% min	Sidewalk*	
C Blank wall area	20' max	J Paved pedestrian zone	
Story Height		Berry/University	10' min
D Ground floor elevation	0' min/ 2' max	All other streets	6' min
E Ground story: floor to floor	14' min	Street Tree/Furniture Zone*	
F Upper story: floor to floor	9' min	K Parkway depth	6' min
Pedestrian Access		Street tree planting	Required
G Entrance facing primary street	Required	Tree spacing	See Sec. 4.2.3
H Entrance spacing along primary street	50' max	Small canopy	15' on-center
Building Elements		Medium canopy	25' on-center
Awning/canopy	◆	Large canopy	35' on-center
Balcony	◆		If installed must be per TPW specifications
Forecourt		Street lighting	
Gallery	◆		
Porch			
Stoop			

*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).

Div. 1.10. BU-IX: Institutional Mixed Use



Intent

The Institutional Mixed Use (BU-IX) district is established to allow for the growth and development of institutional uses in a pedestrian-friendly environment. BU-IX allows for a variety of uses and allows for the flexible placement of buildings along the street edge.

Applicable Districts

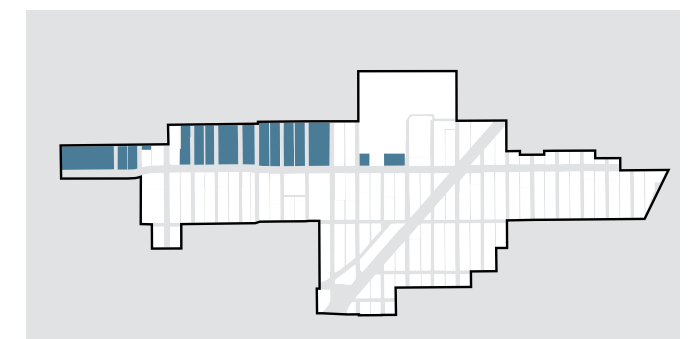
BU-IX-6

Use

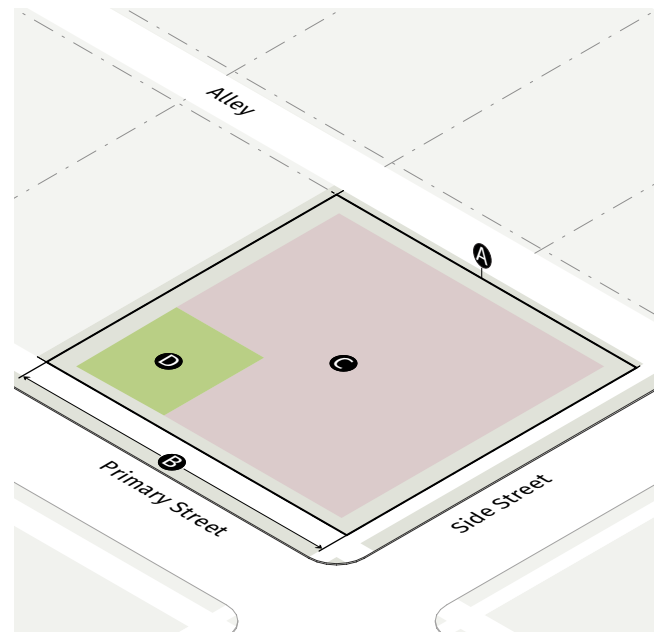
Allowed uses see Div. 3.1

Zoning Map

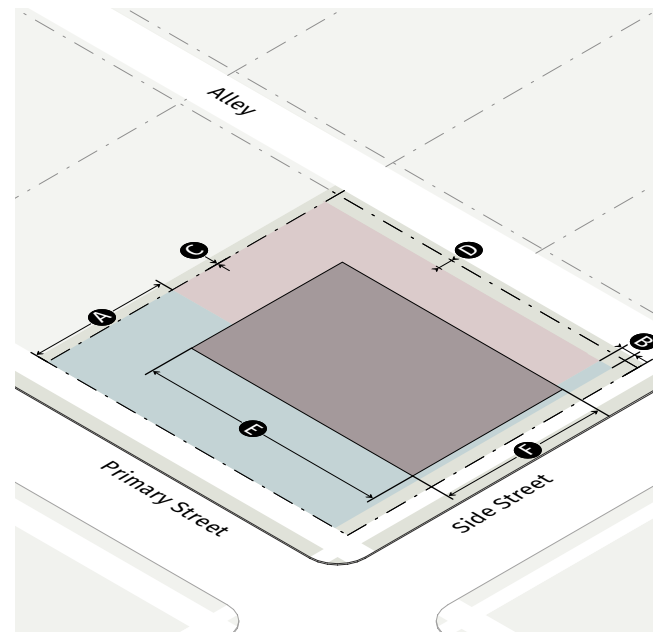
See Div. 2.2



SEC. 1.10.2 LOT PARAMETERS



SEC. 1.10.3 BUILDING PLACEMENT



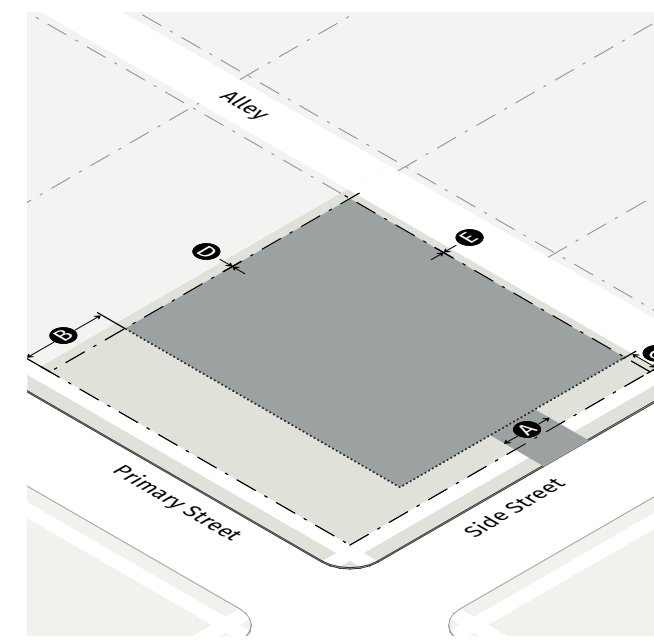
Building Setbacks

A Build-to zone: primary street	
Without stormwater bonus	20' max
With stormwater bonus (see Div. 2.10)	50' max
B Build-to zone: side street	20' max
C Side: common lot line	0' min
C Side: alley	5' min
D Rear: common lot line	0' min
D Rear: alley	5' min

Build-to

E % of building facade in primary street build-to zone	70% min
F % of building facade in side street build-to zone	35% min

SEC 1.10.4 ACCESS AND PARKING LOCATION



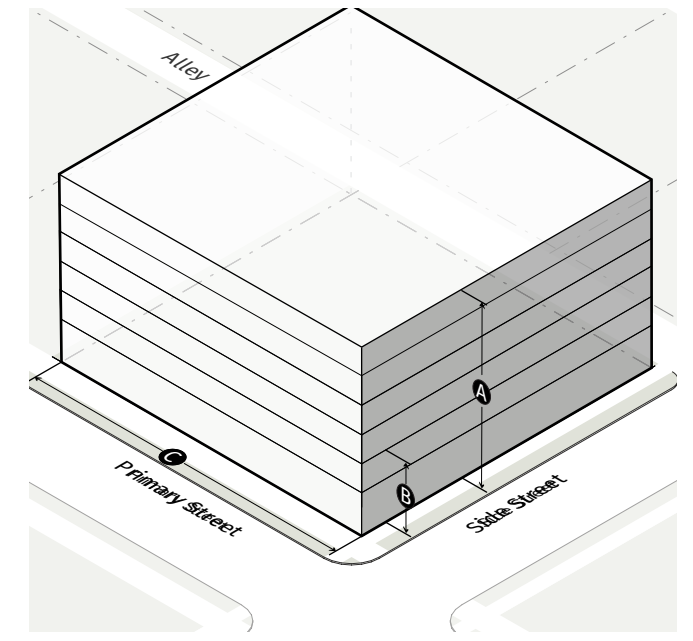
Vehicle Access

Primary street	Not allowed
Side street	Allowed
Alley	Allowed
A Driveway width in side street setback	18' max

Parking Setbacks

B Primary street setback	30' min
C Side street setback	10' min
D Side: common lot line/alley	0' min
E Rear: common lot line/alley	0' min
No on-site surface parking is allowed between buildings and the street	

SECT 1.10.5 HEIGHT AND MASS



Building Height

A Maximum height	
Without stormwater bonus	6 stories/75' max
With stormwater bonus (see Div. 2.10)	10 stories/125' max
B Minimum height	2 stories of occupiable space

Building Mass

C Street-facing building length	
Academic, support, utility, athletic, auditorium, research buildings	n/a
Housing, mixed use with ground floor retail buildings	200' max

SEC. 1.10.6 PUBLIC REALM



The public realm standards below apply to all streets, unless noted otherwise.

	Primary Street Setback	
	Up to 20'	20'+ to 50'
Transparency		
A Ground story	50% min	20% min
B Upper story	20% min	20% min
C Blank wall area	30' max	75' max
Story Height		
D Ground floor elevation	0' min/ 2' max	n/a
E Ground story: floor to floor	12' min	n/a
F Upper story: floor to floor	9' min	n/a
Pedestrian Access		
G Entrance facing primary street	Required	Required
H Entrance spacing along primary street	100'	n/a
Building Elements See Sec. 2.9.5		
Awning/canopy	◆	n/a
Balcony	◆	n/a
Forecourt	◆	n/a
Gallery	◆	n/a
Porch		n/a
Stoop		n/a

Building Setbacks		
I Primary/side street		See Sec. 2.7.3
No wall or fence is allowed in a Berry Street primary street yard.		
Sidewalk*		
J Paved pedestrian zone		
Berry Street		10' min
All other streets		6' min
Street Tree/Furniture Zone*		
K Parkway depth		6' min
Street tree planting		Required
Tree spacing		See Sec. 4.2.3
Small canopy		15' on-center
Medium canopy		25' on-center
Large canopy		35' on-center
Street lighting		If installed must be per TPW specifications

*Where there is insufficient ROW to meet the minimum requirements, the FBC Administrator may approve modifications (see Article 5, Administration).

Div. 1.11. BU-CIV: Civic



Intent

The Civic (BU-CIV) district is intended to provide for civic and institutional uses that serve the surrounding neighborhoods at size and scale that do not readily assimilate into other zoning districts.

Applicable Districts

BU-CIV

Use

Allowed uses see Div. 3.1

Zoning Map

See Div. 2.2

