

## Div. 3.1. Parking and Access

### Sec. 3.1.1. Vehicular Access

#### A. General

1. Primary street curb-cuts are not permitted except where there is no platted or improved alley to provide access.
2. Where a platted or improved alley exists, all primary street curb-cuts must be eliminated and access taken from the alley or side street at the time of construction.
3. In the absence of an alley, the side street must be used for vehicular access.

### Sec. 3.1.2. Pedestrian Access

#### A. Access

All development must provide safe, direct and convenient pedestrian access connecting public streets and parking lots to primary building entrances, and to all other uses in the development that allow for public access.

#### B. Pedestrian Facilities

1. Pedestrian access must consist of an accessible, easily discernible, well-lit, and ADA compliant walkway a minimum of 5 feet in width.
2. The pedestrian access surface located on private property must be paved with fixed, non-slip semi-pervious or impervious materials.
3. Pedestrian access routes between buildings and parking areas must be physically separated from drive aisles, except when crossing a drive aisle.
4. Where a pedestrian walkway crosses a drive aisle, the walkway must have a continuous surface treatment across the drive aisle.

### Sec. 3.1.3. Vehicle Parking

Vehicle parking spaces must be provided in accordance with the following tables. In determining

the required number of parking spaces, fractional spaces are rounded to the nearest whole number, with one-half or more counted as an additional space.

#### A. Residential: one space per bedroom.

#### B. Residential in a Mixed Use Building

Applies to residential in a mixed use building where office, entertainment and eating, and retail sales and service combined constitute 10% or more of the building's gross floor area.

	Minimum	Maximum
Not within 250' of One or Two Family zoned property	None required	see Sec. 4.1.3.A
Within 250' of One or Two Family zoned property	see Sec. 4.1.3.A	see Sec. 4.1.3.A

#### C. Nonresidential

	Requirement as a percentage of standard in S. 6.201.B (Zoning Code)	
	Minimum	Maximum
Not within 250' of One or Two Family zoned property	None required	100%
Within 250' of One or Two Family zoned property	75%	100%
Within 250' of One or Two Family zoned property and within 1,320' of a rail transit station	50%	100%

### Sec. 3.1.4. Location of Vehicle Parking

Required vehicle parking must be located on the same lot as the use they are intended to serve, except as listed below.

#### A. On-Street Parking

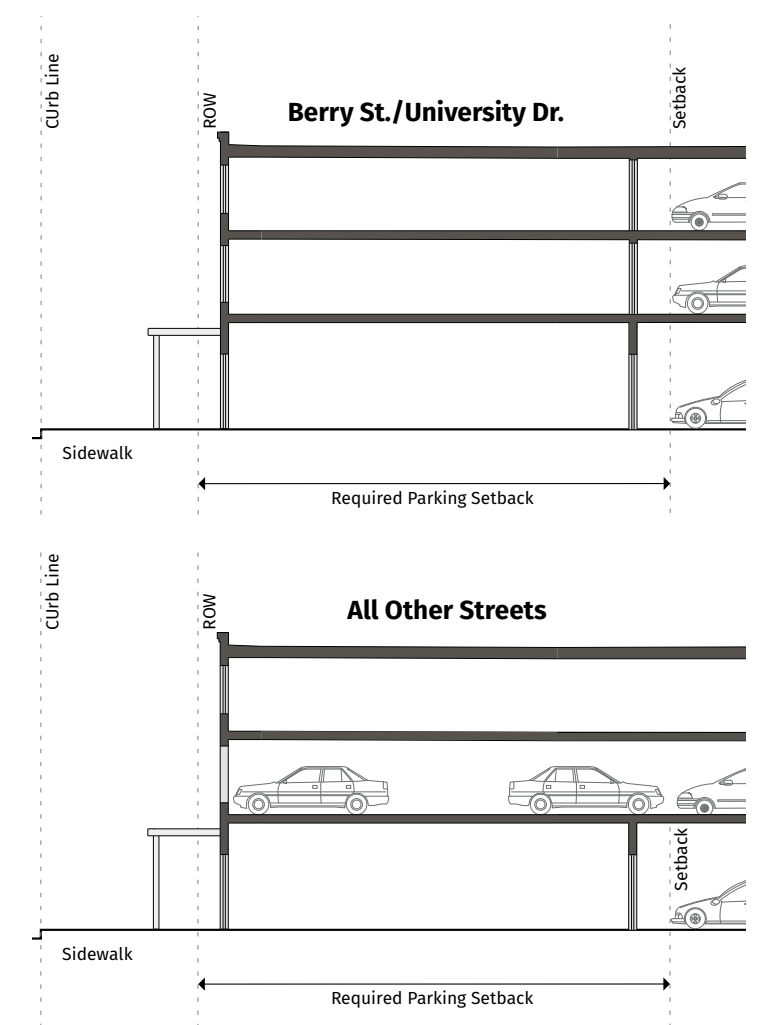
1. One on-street parking space may be substituted for every required parking space, provided the on-street space is located on a public right-of-way immediately abutting the subject property. On-street parking spaces do not count towards the parking maximum.
2. Each on-street parking space may only be counted for one property. Where a space straddles an extension of a property line, the space may only be counted by the owner whose property abuts 50% or more of the on-street parking space.

#### B. Remote Parking

1. All required parking spaces, except required accessible spaces, can be located off site if the remote parking area is located within 500 feet from the primary entrance of the use served.
2. Up to 50% of the required parking spaces may be located more than 500 feet off site, if the parking area is located within 1,320 feet from the primary entrance of the use served.
3. All remote parking spaces used to meet an off-street parking requirement must be located within the boundaries of the University Berry Form District. Remote parking lots are not allowed in an RA- District.
4. The off-site parking area is measured in walking distance from the nearest point of the remote parking area to the primary entrance of the use served.
5. All remote parking must have a City-approved remote parking agreement as part of the approved site plan.

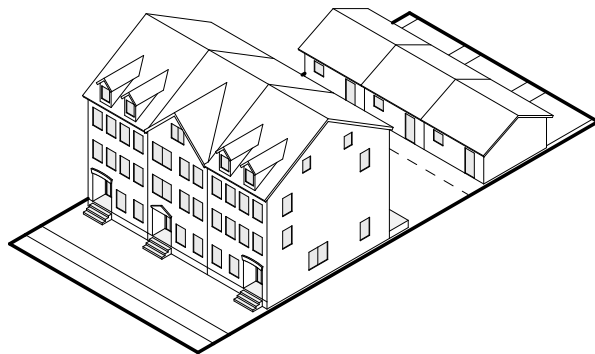
### Sec. 3.1.5. Parking Setbacks

- A. All parking spaces must be located behind the parking setback line (surface and structured). In almost all cases, this will prohibit parking between the building and the street. Parking below and covered by the ground may encroach into a required parking setback but cannot extend into a required easement or the right-of-way.
- B. The parking setback applies to ground stories only, except for lots with frontage on Berry Street or University Drive.
- C. For lots with frontage on Berry Street or University Drive, the parking setback applies to both ground and upper stories.
- D. Parking setbacks are measured from the right-of-way.



**E. Residential Garages**

1. Residential garages must be placed entirely to the rear of the unit and be rear-accessed. The garage can be attached or detached.
2. All garage doors must face the rear alley or easement.



3. Loading areas must be located to the rear of buildings.
4. Loading areas may not be placed between a public street (not including an alley) and the associated building.
5. No loading area is permitted within 50 feet of a ground floor residential use (measured from the residential lot line to the closest point of the loading area).

**Sec. 3.1.6. Bicycle Parking**

See § 6.204 of the Zoning Code.

**Sec. 3.1.7. Vehicle Loading**

**A. Applicability**

If determined necessary by the FBC Administrator, adequate space must be made available on-site for the unloading and loading of goods, materials, items or stock for delivery and shipping, otherwise on-site loading space is not required.

**B. Location**

If a loading area is provided or required, it must meet the following.

1. With the exception of areas specifically designated by the City, loading and unloading activities are not permitted in a public street, not including an alley.
2. Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking areas and parking areas by vehicles, bicycles or pedestrians.

**Div. 3.2. Landscaping**

**Sec. 3.2.1. Buffers**

**A. Planting Requirements**

**1. Trees**

Trees planted to meet a buffer requirement must be distributed so that there are no horizontal gaps between trees greater than 30 feet, measured along the property line.

Trees in the parkway shall be spaced accordingly:

1. Small and medium canopy trees: 15'-25' on center
2. Large canopy trees: 30'-40'

**2. Shrubs**

- a. Shrubs planted to meet a buffer requirement must be chosen from the approved native plant list found in §6.301, Table A, Recommended List of Native Plants for Landscape Use in North Central Texas.
- b. All shrubs must be a minimum of 2 feet tall when planted.
- c. 75% of all shrubs planted to meet the buffer requirements must be evergreen.

**3. Walls**

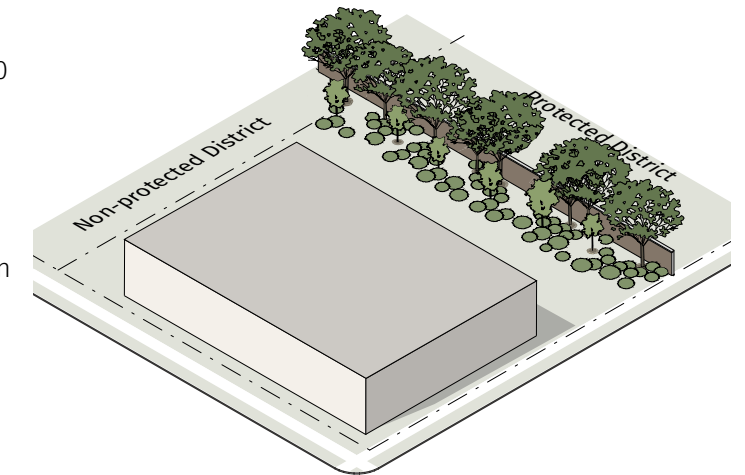
A wall installed to meet a buffer requirement must be opaque and be constructed of decorative block, brick, stone, cast-stone, split-faced block, stucco over standard concrete masonry blocks or glass block.

**4. Fences**

A fence installed to meet a buffer requirement must be opaque and be constructed of wood or composite material.

**B. Location**

1. A required buffer must be located within the outer perimeter of the lot, parallel to and extending to the property boundary line. A required buffer must be provided along the entire frontage immediately abutting the protected district.



2. A required buffer may not be located on any portion of an existing, dedicated or reserved right-of-way.
3. The buffer is not permitted within an easement. The required buffer must abut the easement.

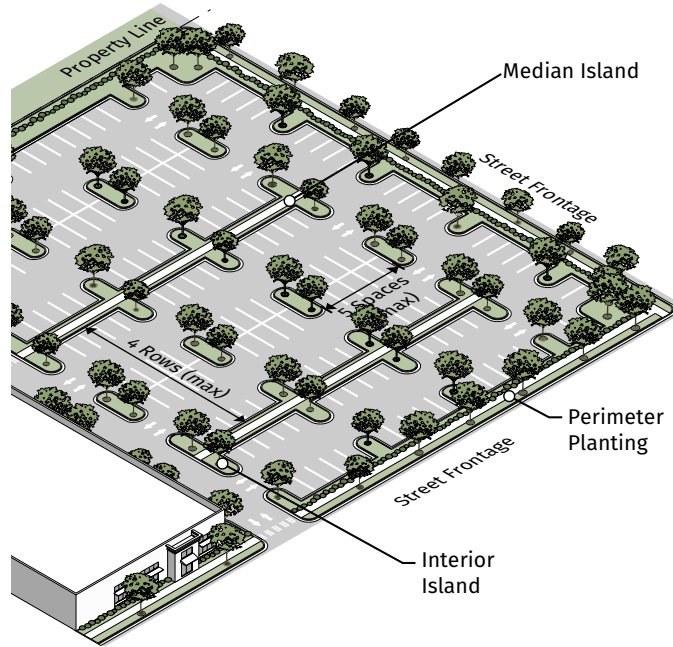
**C. Encroachments**

1. The parking of vehicles and the placement of buildings, signs or structures, except for walls, fences and landscaping, are not allowed in a required buffer.
2. Breaks for pedestrian, bicycle and vehicle access are allowed. Driveways or walkways must cross a buffer at or near a perpendicular angle as practical.

Sec. 3.2.2. Parking Lots

A. Applicability

Parking lot landscaping is required for all on-site vehicle parking areas with more than 10 spaces. Multiple platted lots contained on a single site plan, under one owner or development entity, and any separate parking areas connected with drive aisles are considered a single parking area.



B. Trees in Surface Parking Lots

All new construction projects shall provide at least 40 tree canopy coverage of surface parking lots.

C. All parking areas shall be screened along side lot lines as developed. When building across lot lines, parking areas shall be screened on development boundary.

D. Perimeter Planting

One of the following perimeter screens is required along the outer perimeter of all parking areas (of any size) abutting a public or private street (not including an alley), excluding breaks for pedestrians, bicycles and driveways.

1. Perimeter Planting with Shrubs

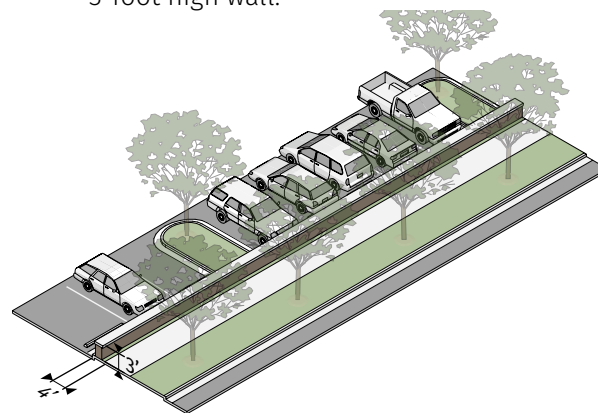
- a. A minimum 6-foot wide landscape strip planted with 3-foot high continuous row of shrubs.
- b. All required shrubs must be of a species that under typical conditions are expected to reach a minimum height and spread of 3 feet within 3 years of planting. All shrubs must be a minimum of 2 feet tall when planted.



- c. All required shrubs must form at least one continuous row of shrubs.

2. Perimeter Planting with Wall

A minimum 4-foot wide landscape strip with a 3-foot high wall.



E. Curbing

Curbing must have openings to allow drainage to enter and percolate through landscaped areas.

Sec. 3.2.3. Plant Material

A. General Provisions

- 1. Plant materials must be able to survive on natural rainfall once established with no loss of health.
- 2. No artificial plants, trees, or other vegetation may be installed as required landscaping.
- 3. Required landscaping must be installed for full root contact with the surrounding sub-grade. Planters planted on paved surfaces are not permitted.
- 4. Shrubs cannot be planted within the critical root zone of any tree.

B. Large Canopy Trees - 30' to 40' spacing.

- 1. Large canopy trees must be selected § 6.302 Table F. Preferred Tree List.
- 2. Large canopy trees planted to meet the landscaping requirements must have a minimum caliper of 3 inches and have a 6-foot clear trunk before branching.

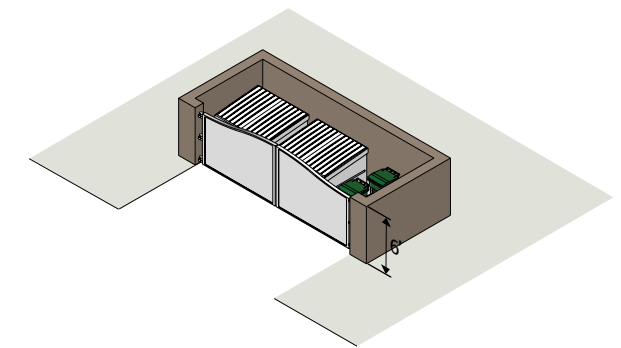
C. Small and Medium Canopy Trees 10' to 25' spacing.

- 1. Small and medium canopy trees must be selected from § 6.302 Table F. Preferred Tree List, except Crepe Myrtles are not allowed.
- 2. Small and medium canopy single-stem trees planted to meet the landscaping requirements must have a minimum caliper of 2 inches and have a 5-foot clear trunk before branching.
- 3. Small and medium canopy multi-stem trees planted to meet the landscaping requirements must have a minimum caliper of 2½ inches and have a 5-foot clear trunk before branching.

Sec. 3.2.4. Screening

A. Service Areas

- 1. Trash and recycling collection and other similar service areas must be located to the rear of buildings.
- 2. Trash and recycling collection and other similar service areas must be screened on 3 sides by a wall a minimum 6 feet in height or to the top of the equipment, whichever is higher up to 8 feet maximum and on the 4th side by a solid gate at a minimum of 6 feet in height.

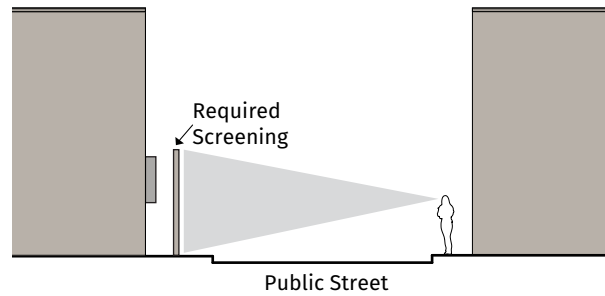


- 3. Trash and recycling collection and other similar service areas must be located on a concrete base.
- 4. The gate and wall must be maintained in good working order and must remain closed except when trash pick-ups occur.

B. Wall-Mounted Equipment



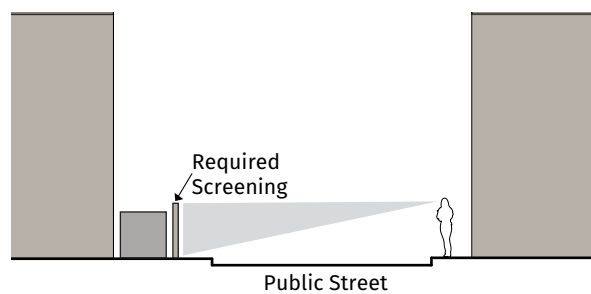
1. When feasible, wall-mounted equipment, not including antennas, must be located on non-street facing building facades or structures.
2. Wall-mounted equipment, not including antennas, located on any building facade or structure that is visible from a public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.



3. Screening must be of a height equal to the height of the mechanical equipment being screened.

**C. Ground-Mounted Equipment**

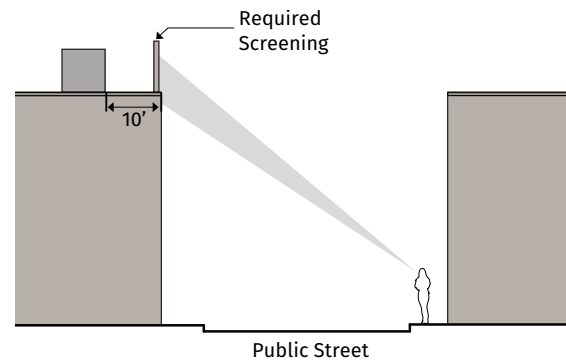
1. When feasible, all ground-mounted mechanical equipment must be located to the rear and side of buildings.
2. Ground-mounted mechanical equipment that is visible from a public street (not including an alley) must be fully screened by landscaping or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.



3. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.

**D. Roof-Mounted Equipment**

1. Roof-mounted equipment must be set back at least 10 feet from the edge of the roof and screened from ground level view from abutting property or abutting public street (not including an alley).
2. New buildings must provide a parapet wall up to 6 feet in height or other architectural element that is compatible with the principal building in terms of texture, quality, material and color that fully screens roof-mounted equipment from ground level view.



3. For buildings with no or low parapet walls, roof-mounted equipment must be screened on all sides by an opaque screen compatible with the principal building in terms of texture, quality, material and color.

**Sec. 3.2.5. Walls and Fences**

**A. Materials**

1. Walls must be constructed of high quality materials including decorative blocks, brick, stone, cast-stone, split-faced block, stucco over standard concrete masonry blocks, glass block; or other material approved by the FBC Administrator.

2. Fences must be constructed of high quality materials including; wrought iron; composite fencing; aluminum; metal; or other material approved by the FBC Administrator.
3. No wall or fence may be constructed of tires, junk, or other discarded materials.
4. Chain-link fence, barbed wire or concertina wire is prohibited.

**B. Location**

1. Walls and fences may be located on the lot line, except for the following:
  - a. In BU-RA, a wall or fence must be set back at least 5 feet from a rear lot line that abuts a public alley.
  - b. In BU-IX, a wall or fence may not be located in the Berry Street primary street yard.
2. No wall or fence may be located within any required easement.
3. The finished face of all walls and fences must be located toward the abutting property.
4. For walls and fences located outside of a required buffer, the maximum length of a continuous, unbroken and uninterrupted fence or wall plane is 50 feet. Breaks must be provided through the use of columns, landscaped areas, transparent sections or a change in material.

**C. Height**

1. A wall or fence located in an interior side yard or rear yard may be no more than 6 feet in height, unless used as part of a required buffer.
2. A wall or fence located in a primary street or side street yard may be no more than 4 feet in height.
3. Wall or fence height is measured from the subject property grade to the highest point of the wall or fence.

**Div. 3.3. Site Lighting**

**Sec. 3.3.1. Applicability**

**A. New Fixtures**

All lighting fixtures installed after the effective date of this Code must conform to all applicable standards and requirements of this Division.

**B. Existing Fixtures**

1. Routine maintenance, including changing the lamp, ballast, starter, photo control, fixture housing, lens and other required components, is allowed for all existing fixtures.
2. The installation of site lighting, replacement of site lighting and changes to existing light fixture wattage, type of fixture, mounting or fixture location must be made in compliance with this Division.

**Sec. 3.3.2. Lighting Standards**

**A. Light Level Measuring**

1. Light levels are specified, calculated and measured in footcandles. All footcandles values are maintained footcandles.
2. Measurements are to be made at ground level, with the light-registering portion of the meter held parallel to the ground pointing up.

**B. Prohibited Sources**

The following light fixtures and sources cannot be used:

1. Cobra-head-type fixtures having dished or drop lenses or refractors, which contain sources that are not incandescent;
2. Temporary searchlights and other high-intensity narrow-beam fixtures; and
3. Light sources that lack color correction or do not allow for uniform site lighting.