

# Infrastructure Overview

Development 101 Workshop

# Development 101 Survey

- Let us know your thoughts about the class!

Scan the QR code



**OR**

use [www.surveymonkey.com/r/DEV101](http://www.surveymonkey.com/r/DEV101)



# Infrastructure Overview

- Subject Specialties:
  - Platting
  - Infrastructure Plan Review Center (IPRC)
  - **Break**
  - Contracts
  - Grading

# Platting

Lynn Jordan

# Platting Team

Planning  
Manager

• **Stuart Campbell**

Senior  
Planner

• **Alex Parks**

Senior  
Planner

• **Lynn Jordan**

Planner

• **Lindsay Mesa**

Planner

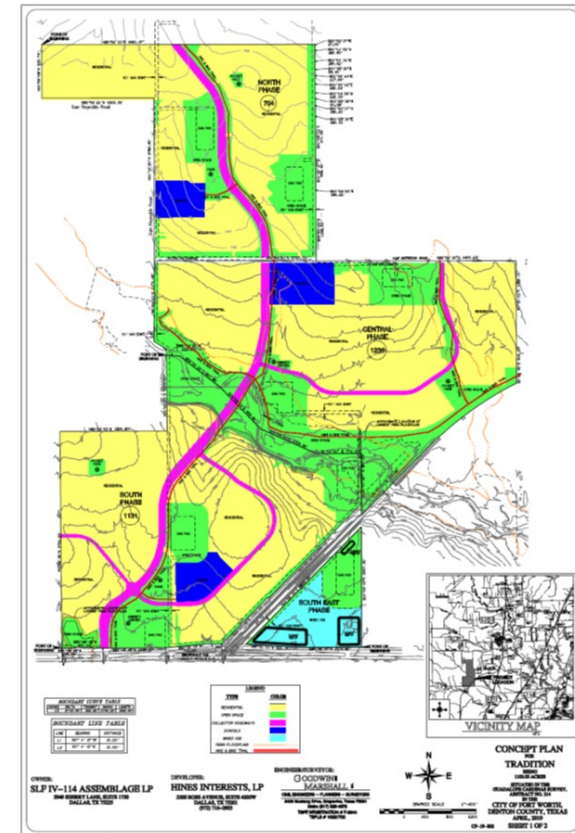
• **Diana Lopez**

# What Is A Plat?

- A map of a specific land area such as a subdivision, showing the location and boundaries of individual parcels of land subdivided into lots with streets, alleys, easements, etc. drawn to scale
- When approved by the appropriate governing authority, a plat:
  - Creates legal lots of record to secure a building permit
  - Assigns legal descriptions
  - Dedicates public open spaces (parks and trails)
  - Establishes easements (water, sewer, drainage, streets)
  - Allows connection of utilities

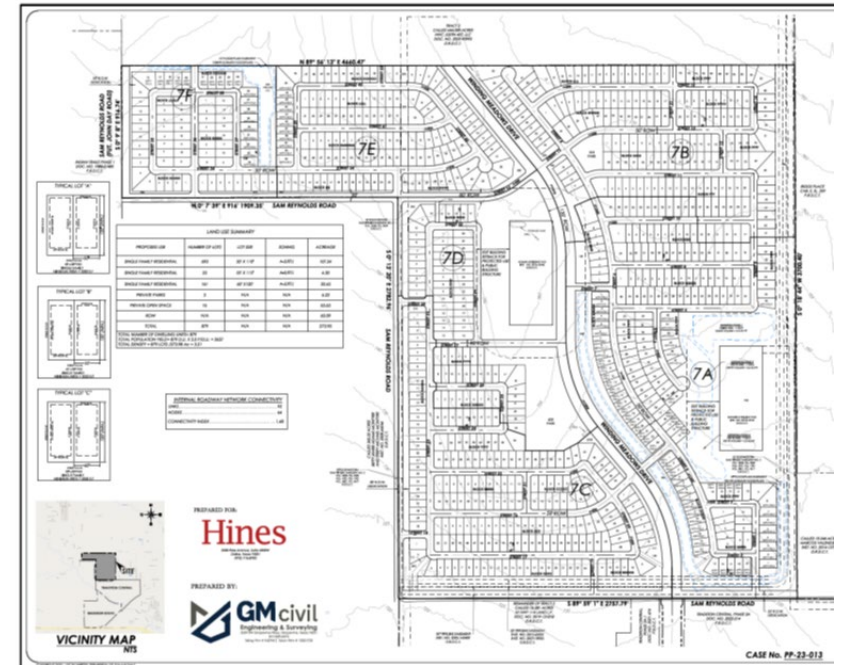
# Plat Types

- Concept Plan:
  - At least 640 acres or 1 square mile of land indicating land uses and major roadways allows for phasing of preliminary plats



# Plat Types

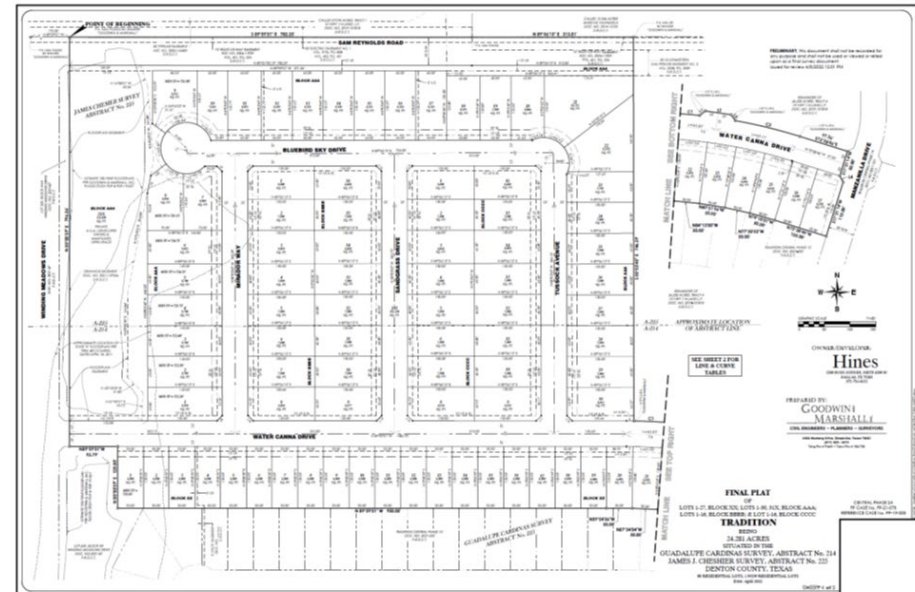
- Preliminary Plat:
  - Consistent with approved preliminary plat. When platting more than four lots, phasing the final platting of the property or dedicating new public or private street right-of-way necessary for access





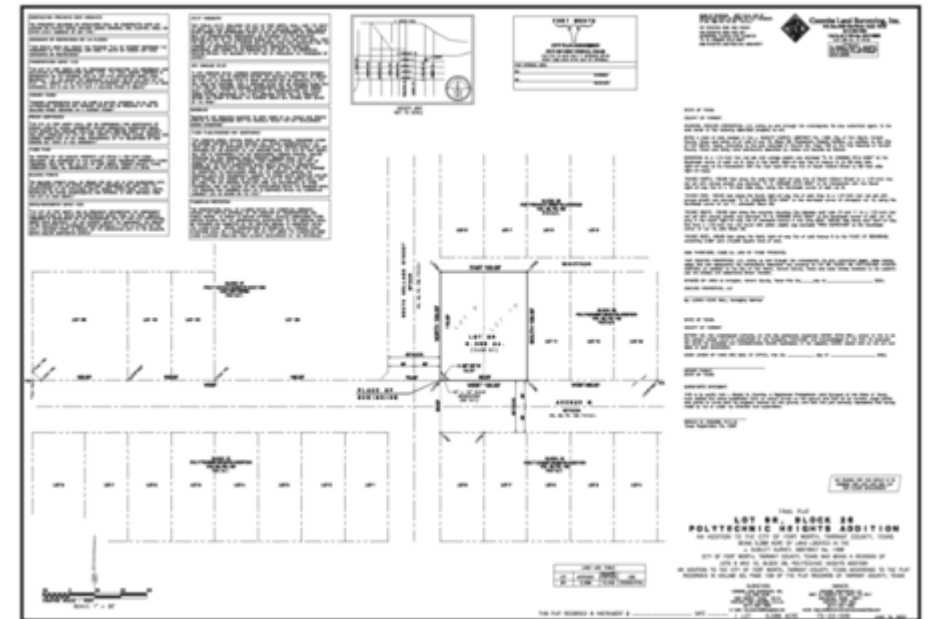
# Plat Types

- Final Plat:
  - Must be based upon and consistent with the layout of the approved preliminary plat



# Plat Types

- Final Short Plat/Minor Plat/Replat:
  - Four lots or fewer lots with no dedication of right-of-way necessary for access not associated with an approved preliminary plat



# Platting Process

- Review:
  - Once an application has been deemed complete the Development Review Committee (DRC) has 30 calendar days to review the plat and make comments.
  - Decision Letter provided after 30 days indicating conditional approval or disapproval along with attached comments that must be addressed prior to recordation or approval of the plat
  - Only plat applications that require waivers from the Subdivision Ordinance or actions that will extend beyond the 30-day shot clock are required to go to City Plan Commission for dispensation
  - Once revisions are provide by the consultant DRC has one week to review and update their comments and workflow accordingly
  - Once all comments and conditions are addressed the plat is eligible for recording

# Platting Process

- Recordation:

- Plats may be recorded either on paper or electronically. Electronic recordings are limited to plats in the City Limits in Tarrant County
- Plats must be provided to the platting office by Wednesday at noon to be recorded the following Friday
- Plats not located in Tarrant County will have to be hand delivered by the consultant/owner to the respective county for recording and a recorded copy must be returned to the platting office to update our records
- All recorded plats in the City Limits or within City jurisdiction for permitting will be sent to the Fire Department for issuance of addresses
- An AUTOCAD file of all recorded plats will be provided to GIS team for uploading of the plat to the City Layer and associating the approved addresses

# Other Platting Functions

- Master Thoroughfare Plan (MTP) Amendments/Waivers
- Infrastructure Plan Review (IPRC) Plan Review Team
- Planned Development (PD) Site Plan Review
- Multifamily Development (MFD) Site Plan Review
- Legal Lot of Record
- Street and Alley Vacations
- Plat Verification Letters or County Developments

Thank You



# IPRC

Victor V. Tornero Jr., P.E.

# IPRC Team

Engineering Manager	• <b>Victor V. Tornero Jr.</b>	Sr. Professional Engineer	• <b>Ram Tiwari</b>
Development Project Coordinator	• <b>Tablisha Taylor</b>	Sr. Professional Engineer	• <b>Vacant</b>
Sr. Professional Engineer	• <b>Andrew Goodman</b>	Professional Engineer	• <b>Khal Jaafari</b>
Sr. Professional Engineer	• <b>Debbie Wilhelm</b>	Professional Engineer	• <b>Arash Emami Saleh</b>
Sr. Professional Engineer	• <b>Sandip Adhikari</b>	Professional Engineer	• <b>Mosadage Mohammdeen</b>
Sr. Professional Engineer	• <b>George Marquez</b>	Engineering Technician II	• <b>Jose Mendez Vargas</b>



# Standard Review: H.B. 3167 Process

- **Construction Plan Review:**
- Optional **Pre-Submittal** Meeting
  - Allows consultants to submit construction plans for review prior to filing their application in an attempt to seek approval on the 30-Day Shot Clock
- **30-Day Shot Clock Review** (1<sup>st</sup> Review)
- Optional **Post Submittal** Meeting
  - Allows consultants to discuss construction plans with City Staff that were disapproved at City Plan Commission before filing their Response to Disapproval or Conditional Approval Application in an attempt to seek approval on the 15-Day Shot Clock review
- **15-Day Shot Clock Review** (Compliance Review)
- **Construction Plan Approval** (Cover sheet routed for signatures)

# Standard Review: H.B. 3167 Process

- **Document Review Process:**
- IPRC Document Package Review
  - Review of Project Manual, Offsite Easements, CFA Exhibits, Material & Inspection Fee worksheet provided
- Execution of CFA
- Electronic Documentation Package Review
  - Review of executed Project Manual, Easements, Permits, Bid Proposal Tool
- Construction Fund Accounts Setup
- Pre-Construction Meeting

# Standard Review: Legacy Process

- Mandatory Pre-Submittal Meeting
- 1<sup>st</sup> Review
  - Review of Construction Plans, Project Manual, CFA Exhibits
- Compliance Review
  - Review of revised Construction Plans, Project Manual, CFA Exhibits
- Cover sheet routed for signatures
- Execution of CFA
- Electronic Documentation Package Review
  - Review of executed Project Manual, Easements, Permits, Bid Proposal Tool
- Construction Fund Accounts Setup
- Pre-Construction Meeting

# Definition of 100% Construction Plan Set

- IPRC defines a 100% construction plan set as having all the required components in a set of plans for review
- Basic required components in a plan set are a cover sheet, draft horizontal control plan, general notes (CFW), water, sanitary sewer, grading, erosion control, drainage, pavement, street light plans, traffic control and construction details (whichever is applicable for the project)
- All Construction plans submitted for review shall comply with all federal, state, and recent design manuals/ordinances approved May 07, 2019 and June 04, 2019
- Only include public improvements in the construction plan set. If there are private utilities that are crossing existing or proposed public infrastructure, those items need to be shown in the construction plans and an encroachment agreement will need to be executed
- Residential developments that contain private streets, alleys and streets lights shall be included in the construction plans for reference

Thank You



# 10-Minute Break



# Contracts

Rebecca Owen

# Contract Management Team

Contract Manager	• <b>Rebecca Owen</b>
Contract Compliance Specialist	• <b>Dwayne Hollars</b>
Contract Compliance Specialist	• <b>Bichson Nguyen</b>
Project Assistant	• <b>Wendy Beardslee</b>
Project Assistant	• <b>Brooke Bonnell</b>
Project Assistant	• <b>Adair Bradford</b>
Land Agent	• <b>Tiffany Bacon</b>
Land Agent	• <b>Andy Castillo</b>
Planning Assistant	• <b>Randy Smith</b>



# What Contracts May Be Necessary?

- Community Facility Agreement
- Easement Abandonment, Dedication, and/or Vacation
- Encroachment
- Maintenance Agreement
- Stormwater Facility Maintenance Agreement
- Unified Sign Agreement

# Community Facility Agreement

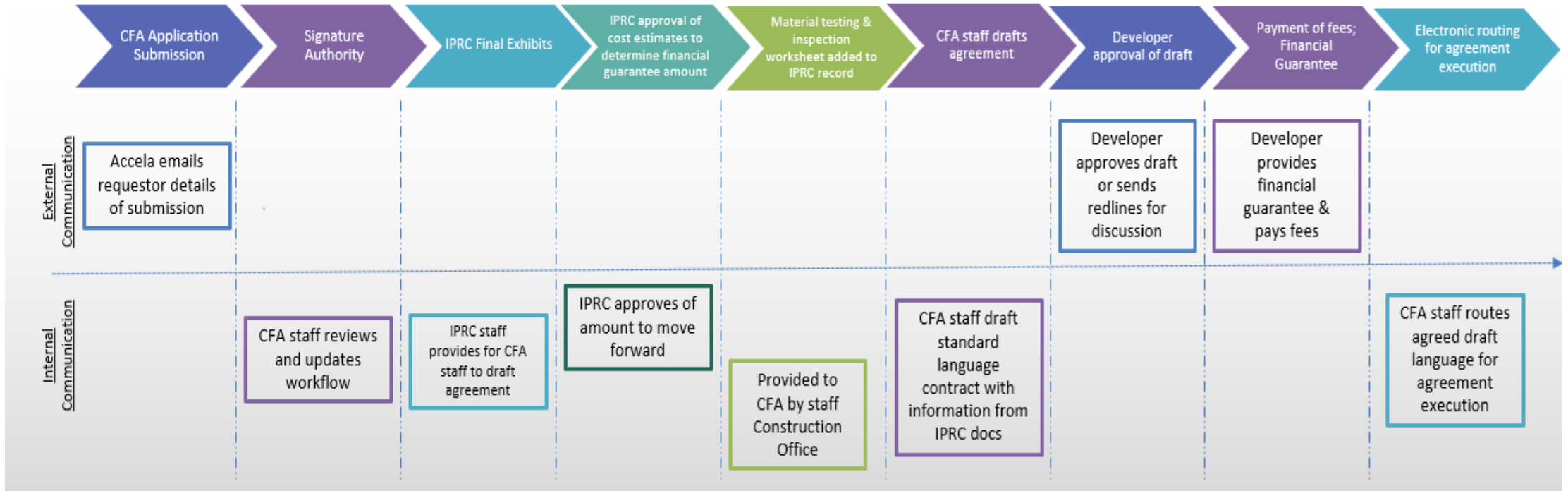
Secures public infrastructure improvements through a legally binding contract enforced with a financial guarantee

## Financial Guarantee Types

- Development Bond
- Cash Deposit
- Letter of Credit
- Escrow Agreement
- Completion Agreement
- Statement of appropriated funds

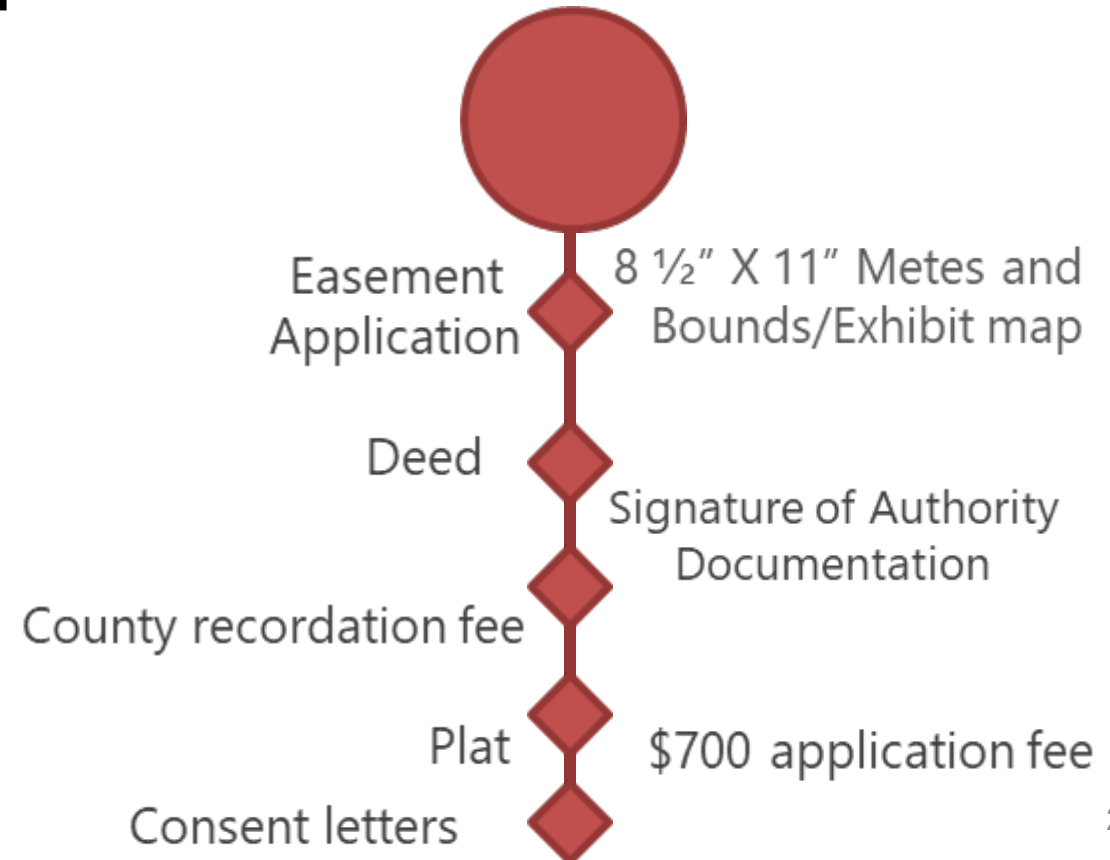
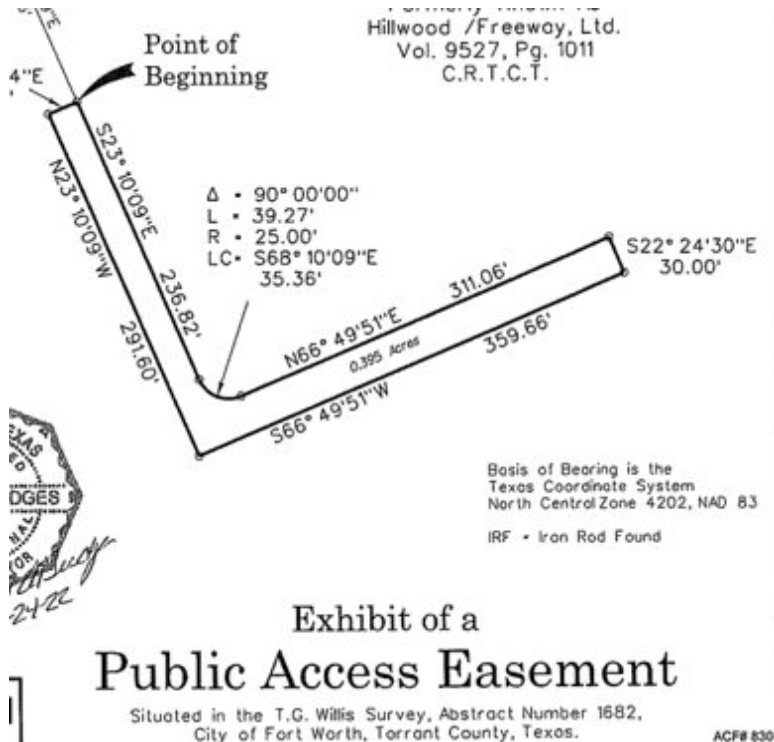


**CONTRACT MANAGEMENT CFA CUSTOMER EXPERIENCE TOUCHPOINTS**



[New development ordinance, regulations and standards revisions – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](http://fortworthtexas.gov)

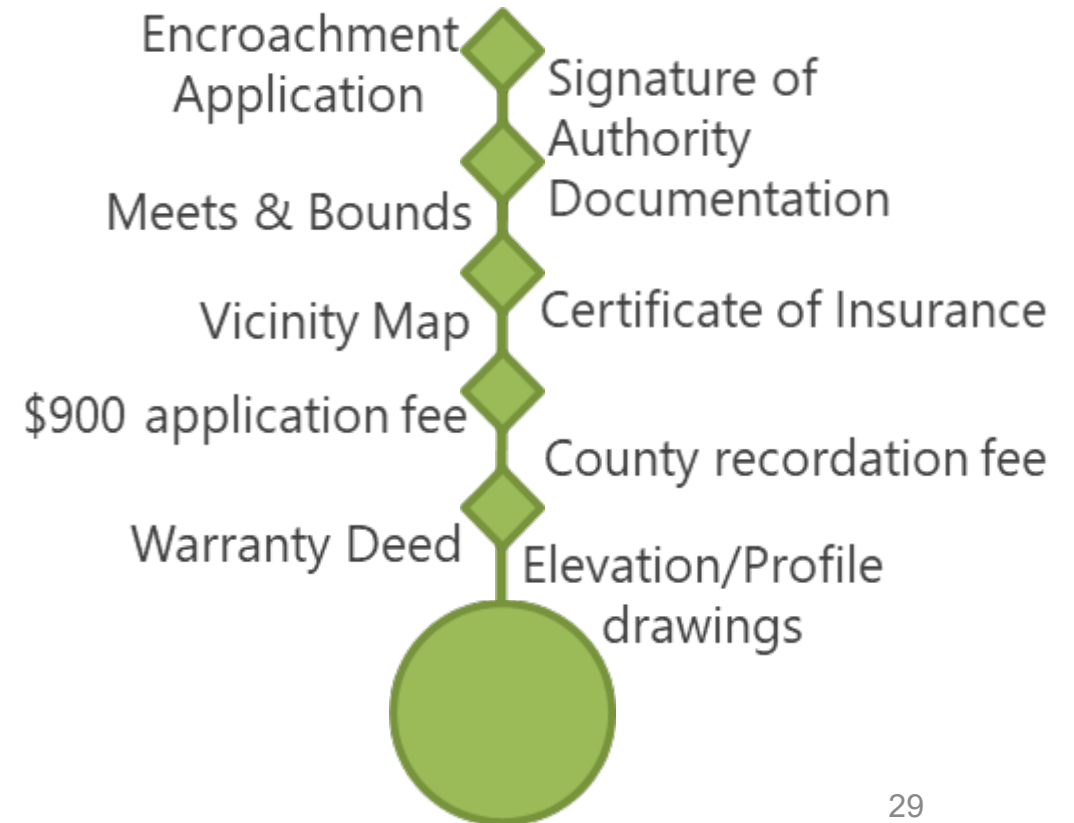
# Easements – Abandonment, Dedication, Vacation by Separate Instrument



# Encroachments – Right-of-Way/Easement

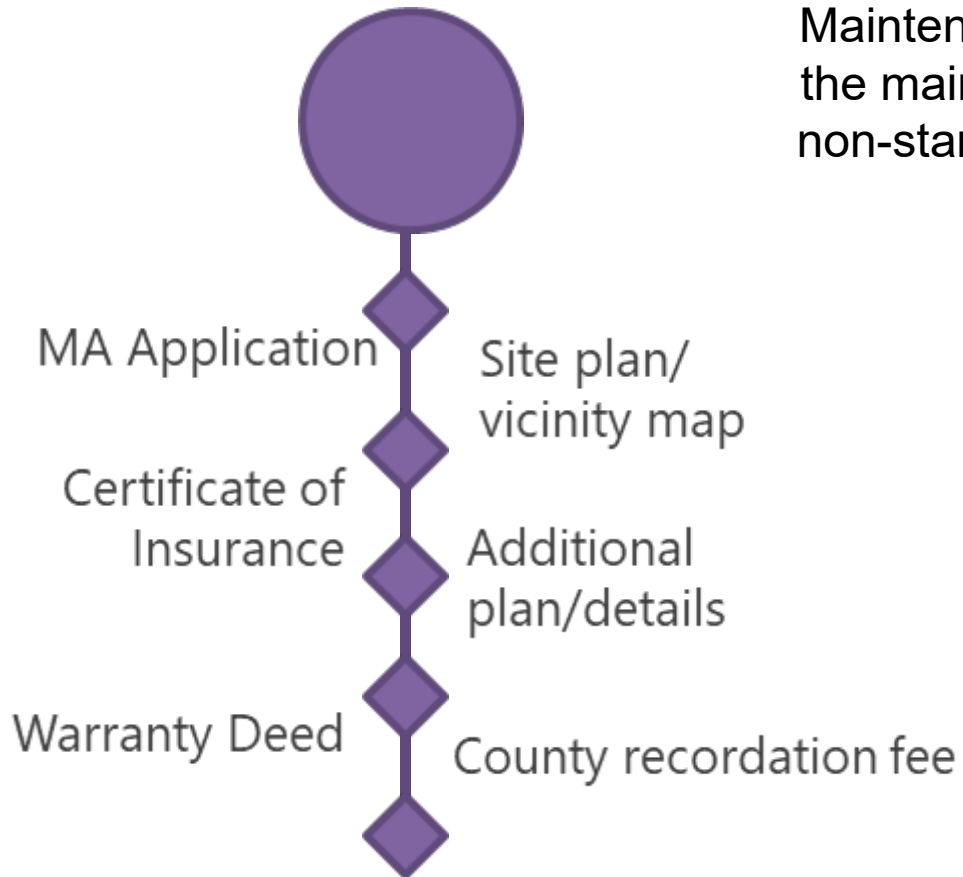


An encroachment is an intrusion onto city property; can be physical, aerial, or even casting a shadow



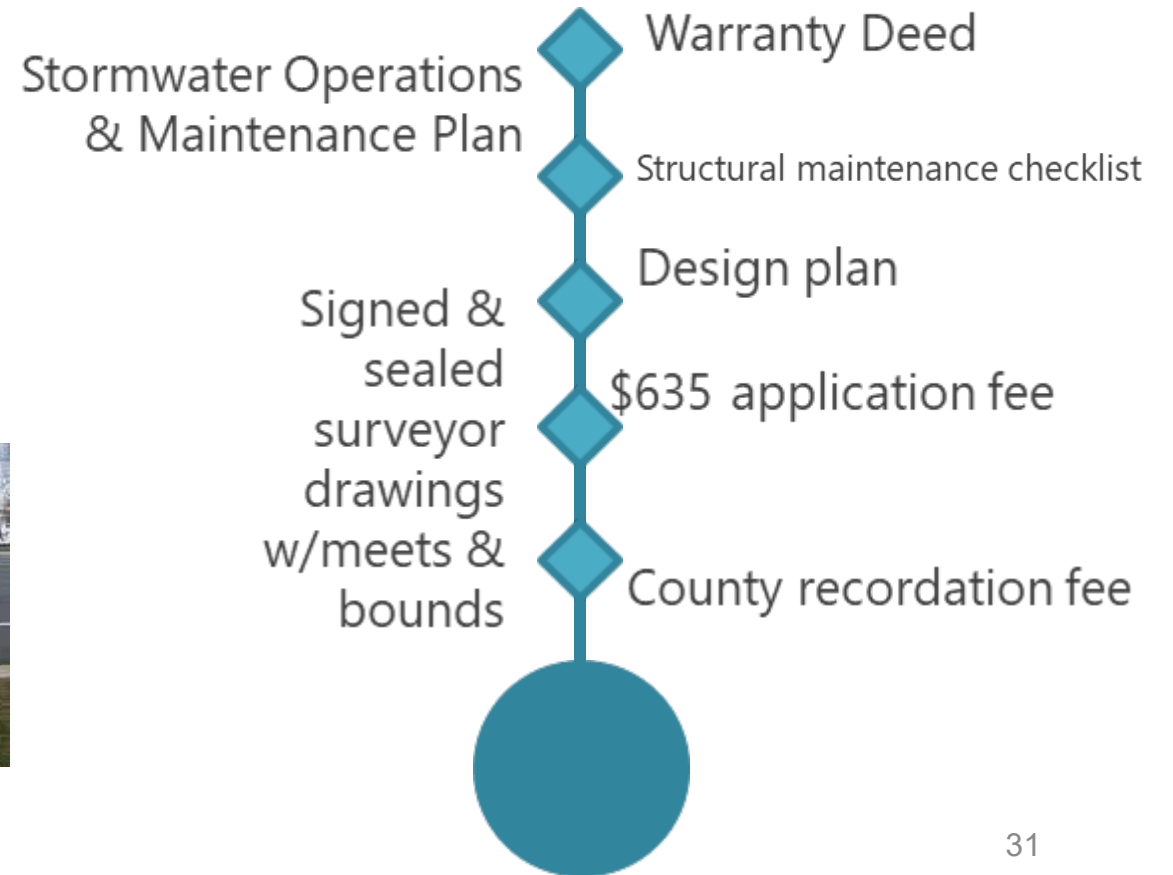
# Maintenance Agreements

Maintenance Agreements secure the maintenance responsibility of non-standard assets accepted by the City

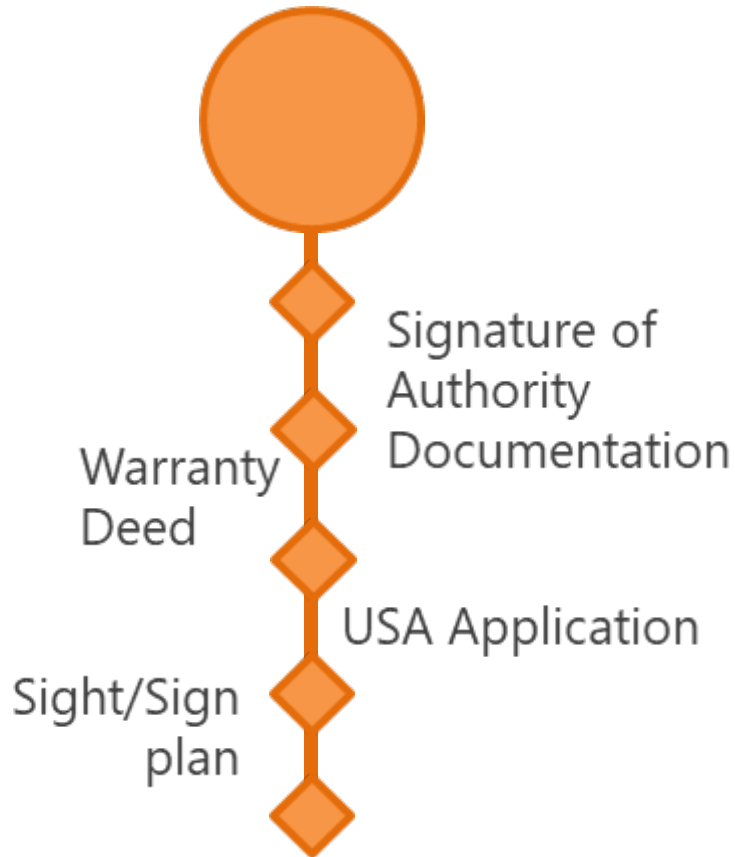


# Stormwater Facility Maintenance Agreements

Stormwater Facility Maintenance Agreements secure the maintenance responsibility of Stormwater Facilities and provide the City the authority to conduct maintenance if necessary



# Unified Sign Agreements (USA)





Thank You



# Grading Permits

Leon Wilson, Jr., P.E.

## Stormwater Development Team

Engineering Manager

• Leon Wilson, Jr.

Senior Professional  
Engineer

• Nolan Schomer

Professional Engineer

• Saifuddin Ahmed

Graduate Engineer

• Robin Stevens

Development Project  
Coordinator

• Ron Nason

Senior Engineering Tech

• Daniel Shultz

Senior Engineering Tech

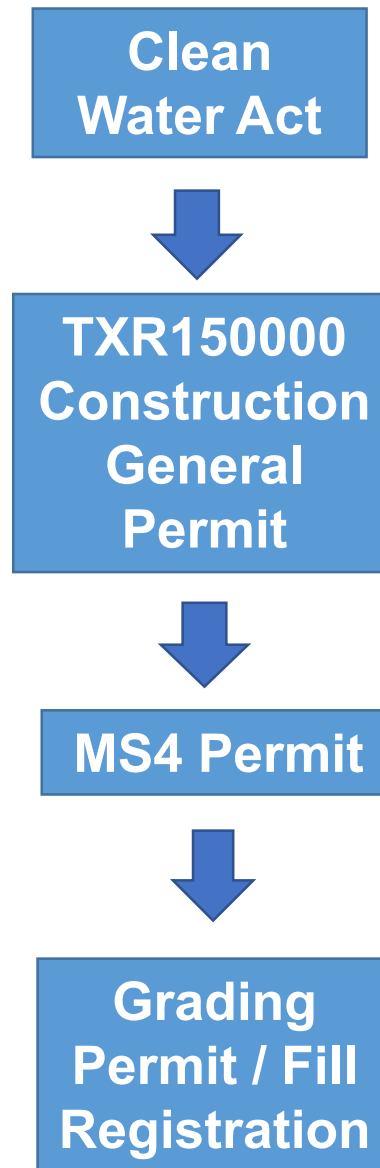
• Parth Patel

Senior Customer Service  
Rep

• Genuine Hunt

# Why Do We Need To Review Grading/Fill Permits?

- State mandate
- Review project details prior to beginning construction activities to ensure local/state/federal compliance
- Ensures applicants meet the **minimum** requirements for the Texas Commission of Environmental Quality (TCEQ)



# When Do I Need A Grading Permit

- Land disturbance of 1 acre or more requires a grading permit
- Land disturbance less than 1 acre when part of a common land plan of development of 1 acre or more
- Grading permits are not required for the construction of detached single-family or duplex homes. However, the ordinances requires conformance with lot grading standards



# Types of Grading Permits

- Early Grading Permit:
  - Clearing, grubbing, and grading only. Building and/or infrastructure construction is **not** allowed, including excavation for utilities, detention structures, and cutting streets
- Final / Commercial Grading Permit
  - Authorized to “go vertical” with a building permit from a Stormwater perspective
  - Website:
  - [Grading Permit Process](#)



# Potential Impacts of Grading

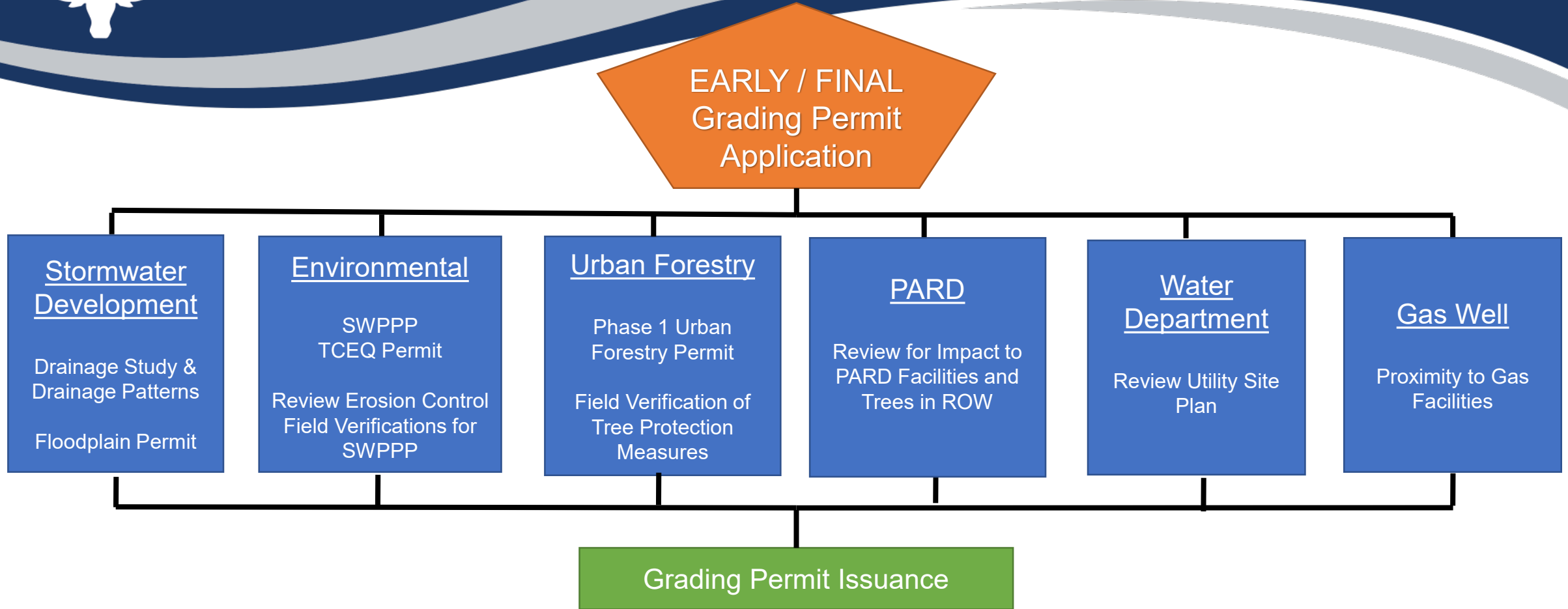
The disturbance of land can create flooding and erosion conditions when done improperly.



# Grading Permit References

- City of Fort Worth Code of Ordinances
- Part II: City Code
- Chapter 12.5: Environmental Protection and Compliance
  - [Article X: Grading Permit](#)
  - [Ordinance No. 21876-09-2015](#)
- Other Resources:
  - [City of Fort Worth Stormwater Criteria Manual](#)



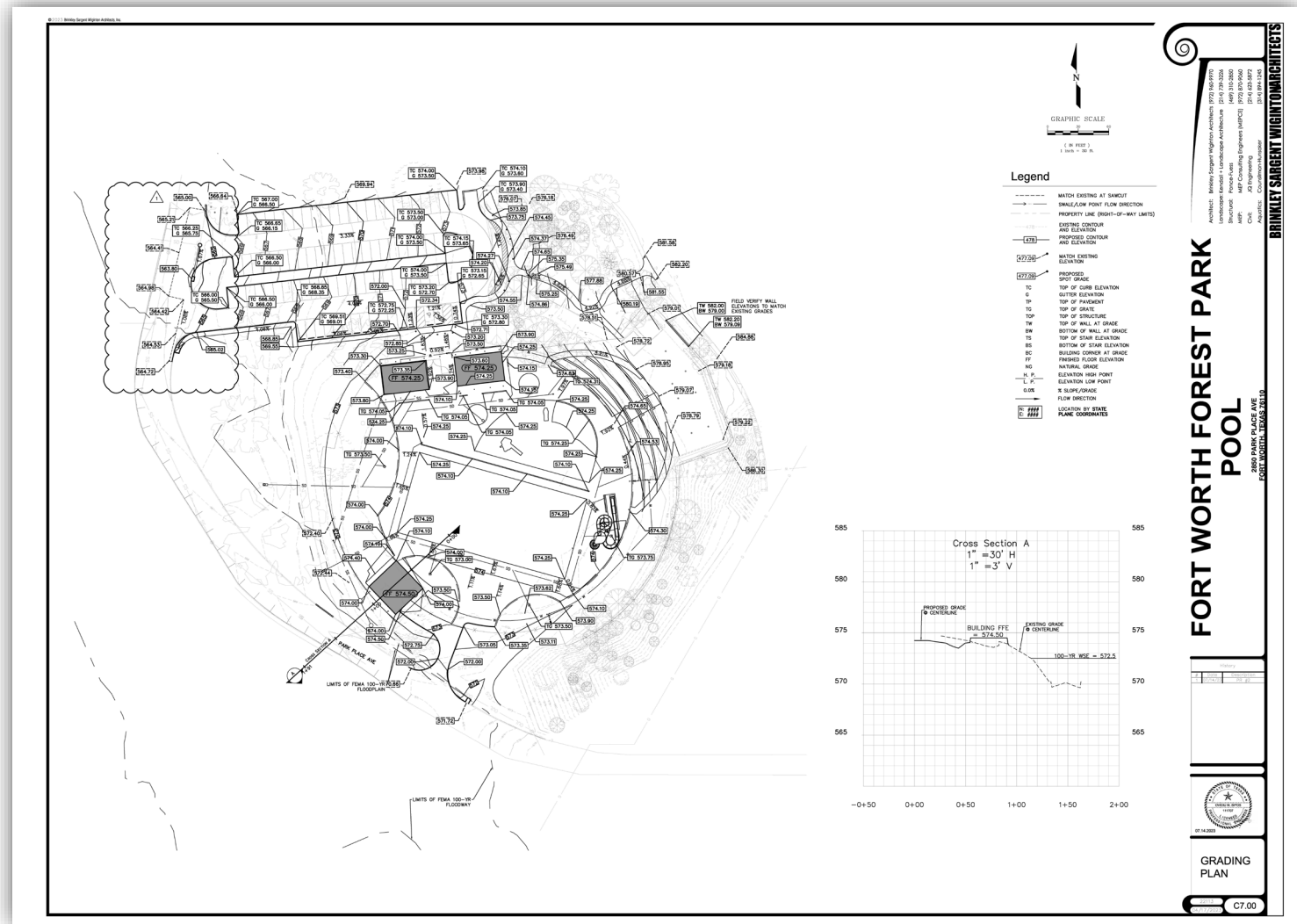


SWPPP: Stormwater Pollution Prevention Plan  
 TCEQ: Texas Commission on Environmental Quality  
 PARD: Park & Recreation Department  
 ROW: Right-of-Way

# Submittal Requirements

- **Current Fees**
  - Application fee: \$50
  - Technology fee: \$15
  - Permit fee: \$450 + \$10 per acre
- **Accepted drainage study**
  - For early grading drainage study must be submitted and at an acceptable level
- **Urban Forestry Permit**
- **Floodplain Development Permit (FDP)**
  - If applicable
- **Civil Sheets (signed & sealed)**
  - Grading, drainage, erosion control, water, sewer, & storm drain sheets
- **Storm Water Pollution Prevention Plan (SWPPP)**

# Example Grading Plan Sheet



# Civil Plan Checklist

- Civil plan checklist included in grading permit application



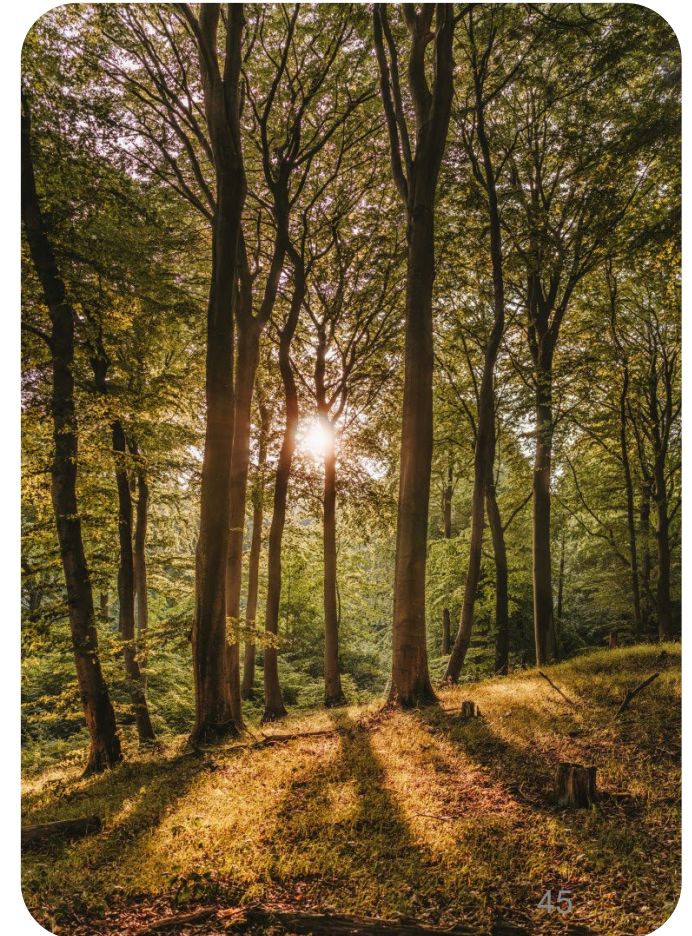
## Civil Plans – GRADING PERMIT CHECKLIST

*\*Plans should be submitted as two (2) compiled sets: Civil Plans and Storm Water Pollution Prevention Plan (SWPPP)\**

Item	Included or N/A: Page(s)/Permit #
Civil plans must be signed and sealed.	
Civil set should include: 1. Grading and Drainage 2. Erosion Control 3. Utility plan sheets. Delineation of tree protection fencing must be shown on demolition, grading, and erosion control plan sheets.	
Grading, drainage, and utility sheets shall show: 1. Existing water, sewer, and storm mains 2. Existing water, sewer, and storm easements 3. Contours at 2' and 10' (Existing contours to be shaded back) 4. Notes regarding temporary removal of tree protection, if applicable 5. Other notes as applicable 6. Proposed water, sewer, and storm mains a. <b>IMPORTANT:</b> Must include city project number 7. Proposed water, sewer, and storm easements 8. Private water, sewer, and storm drain 9. If applicable, detention Ponds 10. If applicable, retaining walls within 10' of water/sewer/storm main centerlines. Show spot elevations at top of wall and bottom of wall. a. <b>IMPORTANT:</b> Include retaining wall permit number 11. Spot Elevations where grading, detention ponds, private storm drain, and retaining walls encroach into existing or proposed water/sewer/storm mains & easements 12. Ensure commercial driveway grades are consistent with Figure 2, High Volume Approach (attached for reference).  <b>Items 1-5 are applicable to early grading permits.</b> <b>Items 1-12 are applicable to final grading permits.</b>	
Demolition, Grading, and Erosion Control Sheets shall show 1. Locations of protective fencing for all preserved trees located within 50 feet of development activity, consistent with Urban Forestry Tree Protection Plan and Park and Recreation Dept (FARD) permits for trees on City property. 2. Demolition and Grading sheets shall include notes pertaining to temporary removal of protective fencing, <b>if approved</b> by City Forester (see No. 6 under "Important Information" at end of checklist).	
Urban forestry permit number. (An approved Phase 1 permit is required for grading permit approval)	UFC _____
Floodplain Development Permit (FDP) from floodplain group (Indicate FDP # in box to right or provide documentation from Floodplain Group an FDP is not required for grading activities.	


# Urban Forestry or Forestry?

- **Urban Forestry (Development Services)**
  - Regulate tree removal and planting on private property
  - City property if plans include a structure or parking lot
- **Forestry (Park & Recreation)**
  - Manage tree canopy on City-owned property



# Urban Forestry Checklist

- Urban Forestry checklist can be located on the City website at:
  - [Urban Forestry Management](#)



**Urban Forestry Plan Checklist**

Note: The following plan checklist is provided as a service to applicants in order to expedite review by the department. All plans submitted for review are to include a copy of the checklist, calculations, and signed Certification. Submittals made that do not include these items or required plans will be marked as incomplete and will not be routed for review until required elements have been submitted.

**A. REQUIRED EXHIBITS (pdf)**

- 1. Phase 1 (Existing Conditions) Plan, including easements, right-of-way, and tree protection detail and delineation.
- 2. Phase 2 (Proposed Development) Plan, including easements, right-of-way, and tree protection delineation.
- 3. Copy of Plat or Horizontal Control Plan unless applying for Phase 1 permit only.

Note: Phase 1 and 2 plans may be combined if all required elements can be clearly shown on one plan.


PI	PII	Note: PI (Phase One) – Existing Conditions Plan	PII (Phase Two) – Development Plan
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**B. PLAN FACE ITEMS**

<input type="checkbox"/>	<input type="checkbox"/>	1. Land owner, developer, and preparer names/addresses/phone numbers/other contact info	
<input type="checkbox"/>	<input type="checkbox"/>	2. Project name (lower right corner)	
<input type="checkbox"/>	<input type="checkbox"/>	3. Project address (existing or temporary) or legal description of property	
<input type="checkbox"/>	<input type="checkbox"/>	4. Vicinity map outlining location with North arrow	
<input type="checkbox"/>	<input type="checkbox"/>	5. Plan scale (acceptable options: 1 inch = 10,20,30,40,50, or 60 feet)	
<input type="checkbox"/>	<input type="checkbox"/>	6. Graphic plan scale & North arrow.	
<input type="checkbox"/>	<input type="checkbox"/>	7. Corporate City Limits line (if adjacent to property)	
<input type="checkbox"/>	<input type="checkbox"/>	8. Date of preparation and any revisions. (lower right corner of plan)	
<input type="checkbox"/>	<input type="checkbox"/>	9. All adjacent or interior street names (existing or proposed)	
<input type="checkbox"/>	<input type="checkbox"/>	10. Plat name and number	
<input type="checkbox"/>	<input type="checkbox"/>	11. Legal Lot or Artificial Lot boundaries (clearly labeled) with declared measurements	
<input type="checkbox"/>	<input type="checkbox"/>	12. Scaled depiction of all existing structures and paving	
<input type="checkbox"/>	<input type="checkbox"/>	13. Scaled depiction of all existing structures/paving to remain and proposed new structures/paving	
<input type="checkbox"/>	<input type="checkbox"/>	14. All existing or proposed regulated utility and drainage channel easements labeled per the plat	
<input type="checkbox"/>	<input type="checkbox"/>	15. Individual Existing Tree locations and/or outline of tree canopy	
<input type="checkbox"/>	<input type="checkbox"/>	16. Individually labeled Significant Tree locations	
<input type="checkbox"/>	<input type="checkbox"/>	17. Individual locations of all new tree plantings	
<input type="checkbox"/>	<input type="checkbox"/>	18. Existing Tree Legend with separate Significant Tree Calculations: tree #; species; dbh; canopy area; removed/preserved status; totals	
<input type="checkbox"/>	<input type="checkbox"/>	19. New Tree Legend: species; caliper; quantity	
<input type="checkbox"/>	<input type="checkbox"/>	20. Sheet Key if multiple sheets	
<input type="checkbox"/>	<input type="checkbox"/>	21. Calculations from Pages 2 and 3 of application	
<input type="checkbox"/>	<input type="checkbox"/>	22. Tree protection detail and delineation.	

# SWPPP Checklist

- SWPPP checklist included in grading permit application



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**SWPPP - Grading Permit Checklist**

Item	Included or N/A: Page(s)/Permit #
Stormwater Pollution Prevention Plan (SWPPP) including: <ol style="list-style-type: none"> <li>1. Description of the nature of activity</li> <li>2. Schedule of the sequence of activities</li> <li>3. Total number of acres of disturbance</li> <li>4. Name of receiving waters</li> <li>5. Detailed erosion control plan/BMP map</li> <li>6. Description of BMPs to be utilized</li> <li>7. Inspection schedule</li> <li>8. Inspector qualifications</li> </ol>	
SWPPP Signed Certification Page <i>Please indicate page numbers in box to right</i>	
Copy of current TPDES TXR150000 Permit <i>Please indicate page numbers in box to right</i>	
Delegation of Authority Page, if applicable	
Delegation of Responsibilities for Operators, if applicable	
Copy of the signed Small or Large* Construction Site Notice (CSN) for each operator	
Copy of the signed Secondary Operator's Construction Site Notice (CSN), if applicable	
Copy of Notice of Intent (NOI) signed and executed, if applicable - a copy of electronic submittal to TCEQ is acceptable <i>Please indicate page numbers in box to right</i>	
Sedimentation Basin or justification statement if not included **	

**\*NOTE: Common Plan of Development:** *Projects that are being developed alongside other projects that disturb greater than 5 acres in total must be permitted as a large site. Projects are also considered a part of a larger Common Plan of Development if they are completed in separate stages or phases. Development can include one or multiple operators.*

**\*\*NOTE:** *A sedimentation basin or equivalent control measure is required as a BMP measure for areas draining 10 acres or more, per the TPDES permit – if this is not included, a statement must be included detailing why it was not included and what additional BMPs are being implemented.*

**For additional information and resources, please visit: the [Texas Commission on Environmental Quality \(TCEQ\) website](#) or the [City of Fort Worth Environment Quality website](#)**

I certify the Environmental Plans Checklist and referenced documents were prepared under my responsible supervision and that the information presented on the checklists and attachments is correct to the best of my knowledge. I also understand that an acceptance of this plan by the City does not waive any City standards or requirements unless a specific waiver request has been submitted and approved.

Signed: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

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## What Does Grading Have To Do With Water & Sewer

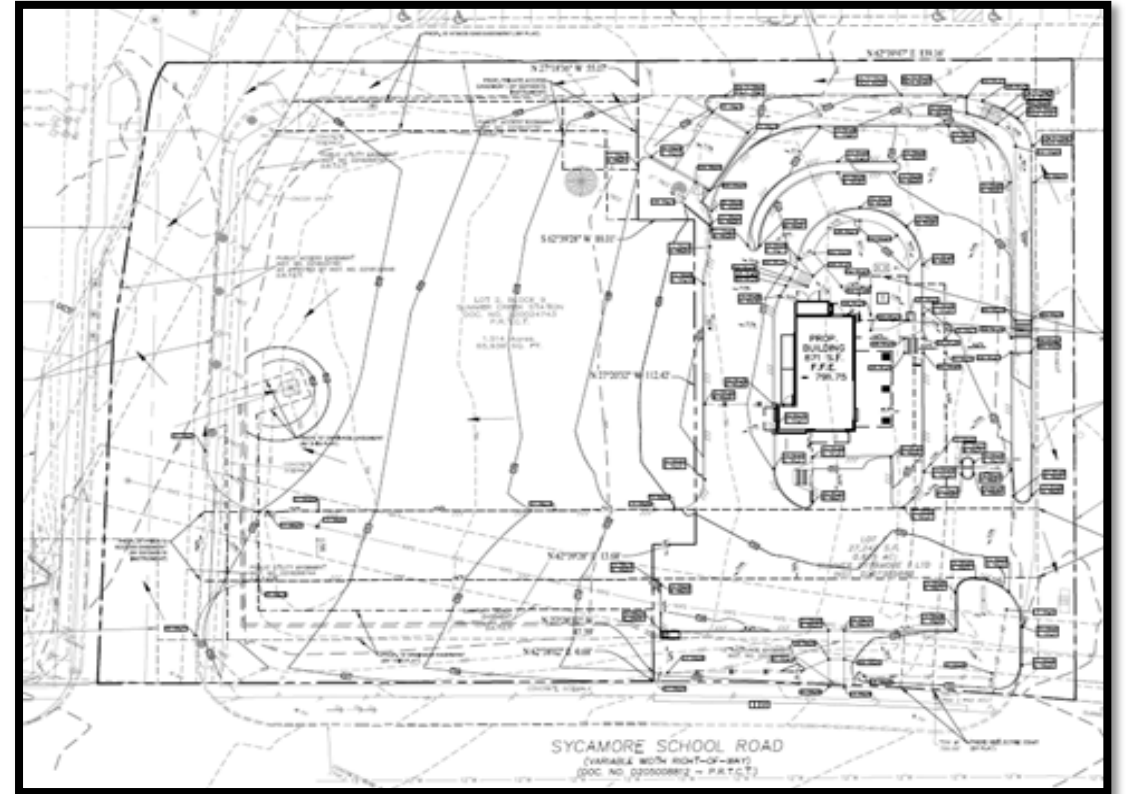
Some properties have a water and/or sewer main that run through the property and our team verifies the impact of the fill that is proposed to be added or removed from over the public main(s) and for any encroachments.



- All appurtenances to the public mains such as manholes for sewer; valves and water services for water should be brought up to the new grade for accessing & maintenance
- Too much fill could damage the public water/sewer main depending on the age and material of the main.
- Removing too much fill would cause the main to be at risk of damage
- The additional fill added above a main may require a larger easement




# Utility Plan Example



# Water Department Review Items

- Minimal and maximum fill amount- possible CCTV may be required before and after fill by a city approved contractor.
- Depth of fill may require a wider easement
- Encroachments must be executed- any private storm drain, electric, plumbing crossing
- Do not allow ditch, swell, channel, detention pond over water/sewer mains.
- Adjustments to valves, manholes, water/sewer mains.



Note: Plans should be submitted as two (2) compiled sets: Civil Plans and Storm Water Pollution Prevention Plan (SWPPP)

### Civil Plans - Grading Permit Checklist

Items	Included or N/A; Page(s)/Permit #
<small>Civil plans must be signed and sealed.</small>	
<small>Civil set should include: Grading and Drainage, Erosion Control, and Utility plan sheets. Definition of tree protection fencing must be shown on demolition, grading, and erosion control plan sheets.</small>	
<small>Grading, drainage, and utility sheets shall show</small>	
<small>1. Existing water, sewer, and storm mains</small>	
<small>2. Existing water, sewer, and storm easements</small>	
<small>3. Contours at 2' and 10' (existing contours to be shaded back)</small>	
<small>4. Notes regarding temporary removal of tree protection, if applicable</small>	
<small>5. Other notes as applicable</small>	
<small>6. Proposed water, sewer, and storm mains</small>	
<small>IMPORTANT: Must include city project number</small>	
<small>7. Proposed water, sewer, and storm easements</small>	
<small>8. Private water, sewer, and storm drain</small>	
<small>9. If applicable, detention ponds</small>	
<small>10. If applicable, retaining walls within 10' of water/sewer/storm main centerlines. Show spot elevations at top of wall and bottom of wall.</small>	
<small>IMPORTANT: Include retaining wall permit number</small>	
<small>11. Spot Deviations where grading, detention ponds, private storm drain, and retaining walls encroach into existing or proposed water/sewer/storm mains &amp; easements</small>	
<small>12. Ensure commercial driveway grades are consistent with Figure 2, High Volume Approach (attached for reference).</small>	
<small>Items 1-5 are applicable to early grading permits.</small>	
<small>Items 1-12 are applicable to final grading permits.</small>	
<small>Demolition, Grading, and Erosion Control Sheets shall show</small>	
<small>1. Locations of protective fencing for all preserved trees located within 50 feet of development activity, consistent with Urban Forestry Tree Protection Plan and Park and Recreation Dept (PARC) permits for trees on City property.</small>	
<small>2. Demolition and Grading sheets shall include notes pertaining to temporary removal of protective fencing, if approved by City Forester (see No. 6 under "important information" at end of checklist).</small>	
<small>Urban forestry permit number. (An approved Phase 1 permit is required for grading permit approval)</small>	UFC -
<small>Floodplain Development Permit (FDP) from Floodplain group (indicate FDP # in box to right or provide documentation from Floodplain Group an FDP is not required for grading activities)</small>	

Page 1

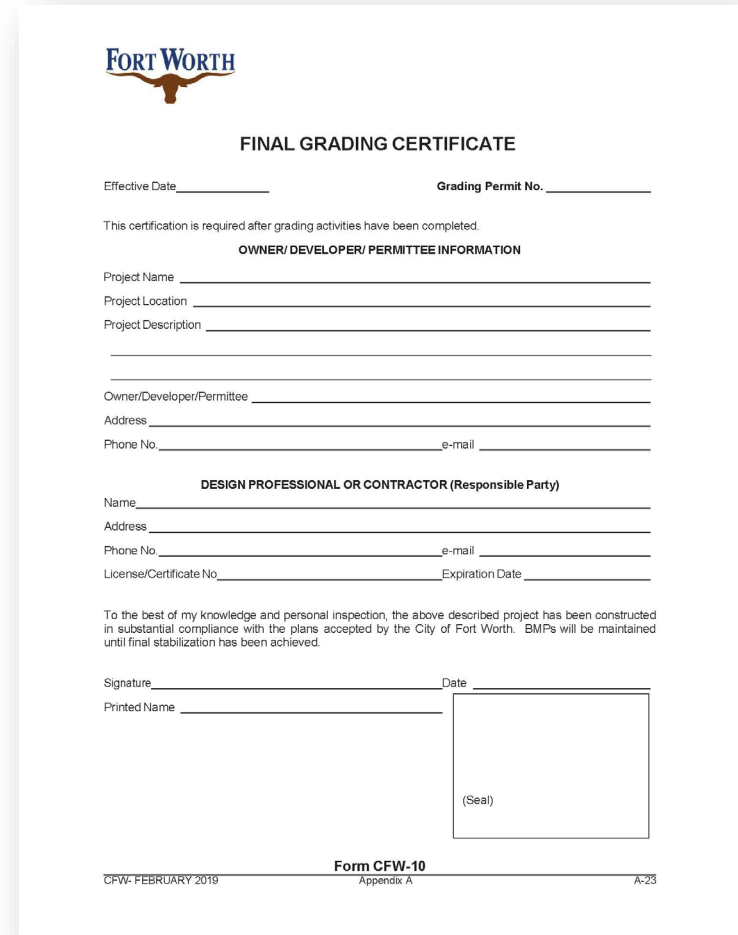
# Gas Well Review Items

- Ensure no grading will be conducted on the gas well pad site
- Ensure grading flow will be done away of the direction of the gas well pad site
- Ensure access to the gas well pad sites is available 24/7



# Final Grading Certificate

- Signed and sealed certificate required.
- Future process improvements to ensure submittal.



**FORT WORTH**

**FINAL GRADING CERTIFICATE**

Effective Date \_\_\_\_\_ Grading Permit No. \_\_\_\_\_

This certification is required after grading activities have been completed.

**OWNER/ DEVELOPER/ PERMITTEE INFORMATION**

Project Name \_\_\_\_\_  
 Project Location \_\_\_\_\_  
 Project Description \_\_\_\_\_  
 \_\_\_\_\_  
 Owner/Developer/Permittee \_\_\_\_\_  
 Address \_\_\_\_\_  
 Phone No. \_\_\_\_\_ e-mail \_\_\_\_\_

**DESIGN PROFESSIONAL OR CONTRACTOR (Responsible Party)**

Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 Phone No. \_\_\_\_\_ e-mail \_\_\_\_\_  
 License/Certificate No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

To the best of my knowledge and personal inspection, the above described project has been constructed in substantial compliance with the plans accepted by the City of Fort Worth. BMPs will be maintained until final stabilization has been achieved.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name \_\_\_\_\_

(Seal)

**Form CFW-10**

CFW- FEBRUARY 2019 Appendix A A-23

# Related Permit: Floodplain Development Permit(FDP)

- Proposed development within the FEMA regulatory floodplain or floodplain easement will require a Floodplain Development Permit (FDP)
  - Example: proposed grading, headwalls, fences, etc.
- Please submit your application package on-line in Accela.
- For questions or concerns, please contact the Stormwater Development Services department at [SDS@fortworthtexas.gov](mailto:SDS@fortworthtexas.gov)

APPLICATION FOR FLOODPLAIN DEVELOPMENT PERMIT		PLEASE TYPE	
Name of Owner or Applicant: <i>Scott Penn</i>		Date: _____	Permit No: FDP-23-00102
Address of Owner: <i>4200 S. Freeway, Suite 2200 PARD Fort Worth, TX 76115</i>		Telephone No: <i>817-392-5750</i>	Office Use Only <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved With Conditions*
Location of Permit Area (Address or Legal Description): 2850 Park Pl Ave, Fort Worth, Tx 76110		Nearest Stream: Stream CF-3C (Zoo Creek)	Date In: 7.12.23 Date Out: 7.21.23
PURPOSE OF REQUEST:		Processed By: DS Approved By: _____	
<input checked="" type="checkbox"/> Building Permit <input checked="" type="checkbox"/> Grading <input type="checkbox"/> Filling <input type="checkbox"/> Paving <input type="checkbox"/> Dredging or Mining <input type="checkbox"/> Drilling Operations <input type="checkbox"/> Utility Construction			
BRIEF DESCRIPTION OF PROPOSAL (Attach separate sheet if needed)			
Replacing the existing pool and pump house in the same approximate location. Minor grading outside the pool limits. No fill. Site appears to be located outside the 100yr floodplain per FEMA map 48439C0305L. Small portion of the site (SE) located within the 500 year flood hazard area.			
COMPLETE APPLICABLE QUESTIONS:			
1. Total drainage area of watercourse _____ 0 _____ acres.		2. Regulatory flood elev. _____ <input checked="" type="checkbox"/> Not available.	
3. Has site previously flooded? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		4. Is site subject to flooding? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
5. Is safe access available during times of flood? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown			
6. Is the proposal within the designated floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown			
7. Have all necessary prior approval permits been obtained from federal, state or local governmental agencies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if no, explain, if yes, provide copies of approval letters or permits.)			
ATTACH THE FOLLOWING IF APPLICABLE:			
1. Two (2) sets scale drawings showing location, dimensions, elevations of existing and proposed topographic alterations, existing and proposed structures, location relative to floodplain area.			
2. Extent to which watercourse or natural drainage will be altered or relocated.			
3. Supporting hydraulic calculations, reports, etc., used as a basis for proposed improvements.			
4. Lowest floor elevation (including basement) of all proposed structures.			
5. Elevation to which any non-residential structure shall be flood proofed.			
6. Certification by registered professional engineer or architect that flood proofing criteria are met as set forth in Section 7-347, Sub-Section b, Ordinance No. 11998.			
DURING THE OCCURRENCE OF A 100-YEAR FREQUENCY FLOOD WILL THE PROPOSAL:			
	Yes	No	Info. Not Available
1. Reduce capacity of channels/floodways/watercourse in floodplain area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Measurably increase flood flows/heights/damage on off-site properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Individually or combined with other existing or anticipated development expose adjacent properties to adverse flood effects?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Increase velocities/volumes of flood waters sufficiently to create significant erosion of floodplain soils on subject property or adjacent property upstream/downstream?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Encroach on floodway causing increase in flood levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Provide compensatory storage for any measurable loss of flood storage capacity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

# Related Permit: Fill Permit

- An approved Fill permit is required prior to placement of fill material in accordance with [Ordinance No. 15789](#)
- **Exemptions**
  - Valid building permit has been issued by the City for construction activity on the property
  - Fill material is placed on a landfill permitted by the State of Texas
  - Fill material is incidental to on-site filling operations necessary for a governmental or utility construction project
  - Fill material is part of a development that is final platted, has approved infrastructure plans or being developed under an active Community Facilities Agreement



Thank You



# Development Process Charts

- Navigate the City's different Development Review processes:
  - [Development process charts](#)



# Wrap Up

## For Additional Information, Please Access:

- [Development Services](#)
- [City Staff Contact Information](#)



# Development 101 Survey

- Let us know your thoughts about the class!

Scan the QR code



**OR**

use [www.surveymonkey.com/r/DEV101](http://www.surveymonkey.com/r/DEV101)