

Permit Applications & Inspections Overview

Development 101 Workshop

Development 101 Survey

- Let us know your thoughts about the class!

Scan the QR code



OR

use www.surveymonkey.com/r/DEV101

Permit & Inspections Overview

- Subject Specialties:
 - Plan Submittal & Review
 - Land Use and Multifamily Review
 - **Break**
 - Water Applications
 - Backflow
 - Inspections
 - Consumer Health

Building Permit Plan Review

Cody Hughes

Building Plan Review Team

Chief Building
Official

- Evan Roberts

X-Team
Supervisor

- Ann Nace

Supervisor

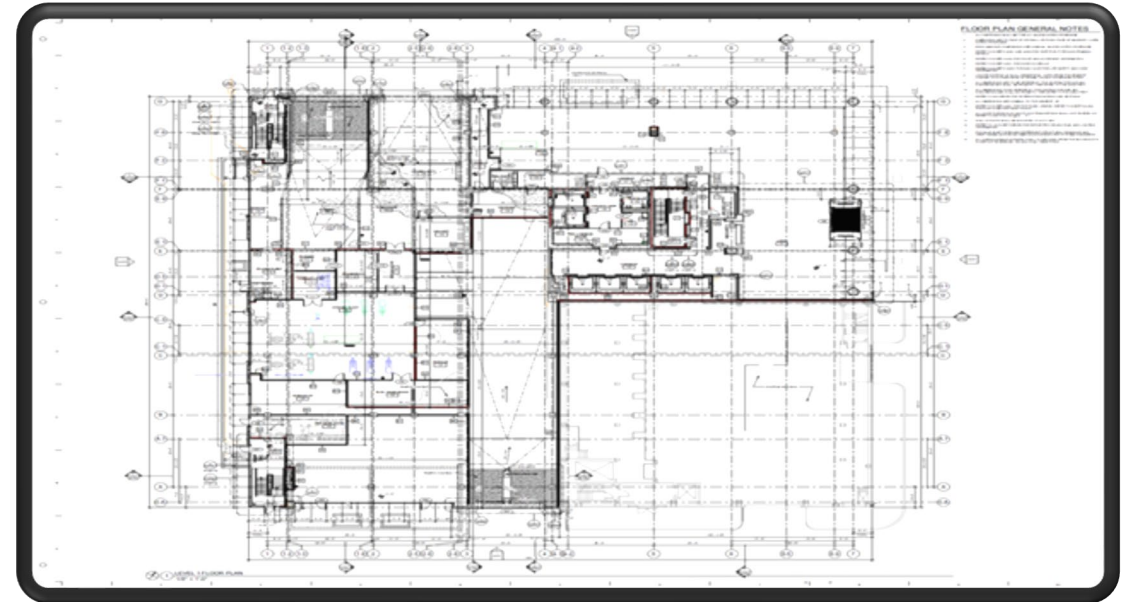
- Cody Hughes

Supervisor

- Don Guy

Building Permits

- **Building**- A full review of the building, electrical, mechanical, and plumbing plans will be reviewed within 7 business days.
- **Mechanical, Electrical, Plumbing**- MEP permits are still required for the MEP work to be done.



What Do We Need To Apply For?

Commercial Building Permit (What do I need?)						
Included in the Application Packet	New Construction	Additions	Remodels	Accessory Structures	Change of Use	
	Online	Online	Online	Online	Online	
Application (not required)	✓	✓	✓	✓	✓	
Checklist/Requirements (not required)	✓	✓	✓	✓	✓	
Use Verification Form	✓		✓		✓	
Remodel/Change of Use Questionnaire			✓		✓	
Complete Set of Plans (Building, Mechanical, Electrical, and Plumbing)	✓	✓	✓	✓	✓	
Plat (certified copy)	✓	✓		✓		
Site Plan	✓	✓		✓	✓	
Energy Code Compliance (if adding conditioned/heated space, or lighting)	✓	✓	✓	✓	✓	
NEW & UPDATED How to Apply Video:	✓	✓	✓	✓	✓	

[Find Application Here](#)

Building Permits

What Types of Projects Is a Permit Needed For?

- **Residential**

Single family homes

3rd party zoning

Pools

Additions

Walk-in permits (fences, shed etc.)

Remodels

- **Commercial**

High rises

Remodels

Restaurants

Walk-in Permits

Change of use

Multi-Family

Mixed use building

Warehouses

Additions

Hospitals

Industrial

One Day small business



Building Permits

What Items do not require permits?

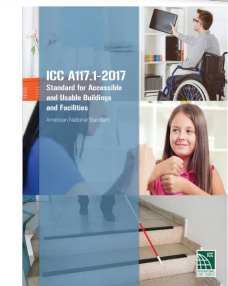
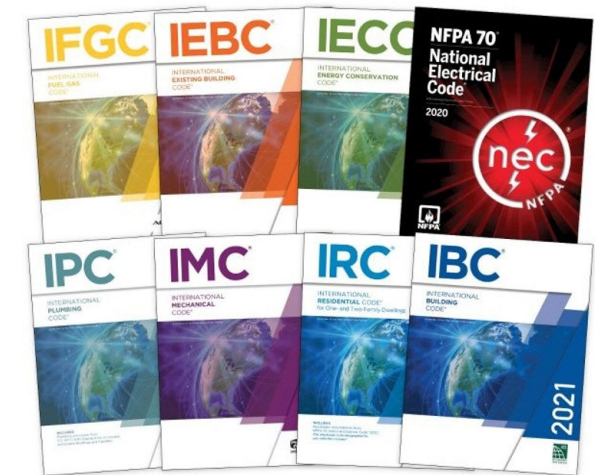
- Flagpoles less than 20'
- Fences not over 7'
- Oil derricks
- Retaining walls not over 4'
- Water tanks & Pools less than 5,000 gallons
- Cosmetic work
- Concrete equip pads
- Playground equip for single-family lots
- Awnings that project <54"
- Movable partitions/counters <5'
- Re-roof (*above deck*) houses



Building Permits

What Adopted Codes Need to Be Complied With?

- Review under the 2021 ICC codes
 - International Building Code
 - International Residential Code
 - International Mechanical Code
 - International Plumbing Code
 - International Fuel Gas Code
 - International Energy Conservation Code (*state adopted*)
 - International Existing Building Code
- 2020 National Electrical Code (*state adopted*)
- 2017 ICC/ANSI A117.1
- 2018 International Swimming Pool & Spa Code
 - * Codes on a 3 years cycle & adapted on 6 year cycle*



What Is The X Team?

The X Team offers an expedited plan review service for building permit review on projects of all sizes, commercial and residential.



What The X Team Features

The X Team service allows the client to:

- Schedule a meeting with the plan review team and the design professionals
- Resolve any issues identified on the spot
- Potentially issue a building permit in one meeting
- Work with a consistent point of contact from submission to final

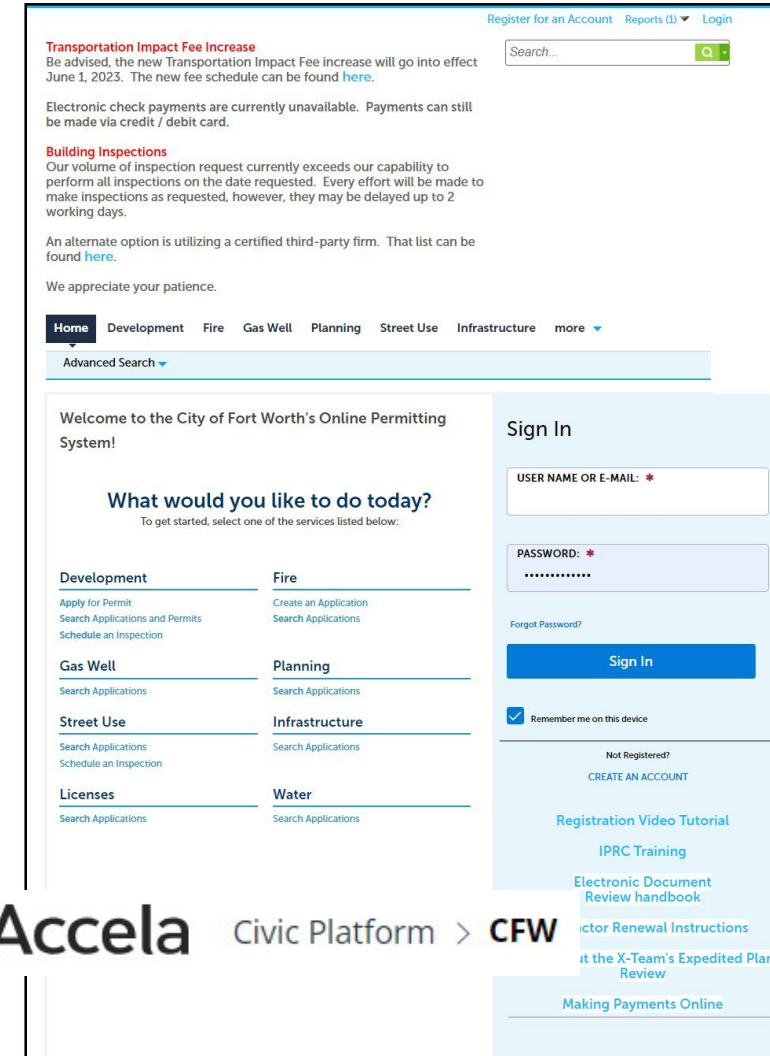
Problem Solving – X Team

- Because the X Team works directly with the customer, they can tailor the process to meet a customer's needs and problem solve in real-time
- The team's Senior Plans Examiners work one-on-one with the design professionals to discuss and work through issues

Building Permits

Submitting a Permit Application

- Apply online through [Accela Citizen Access](#)



The screenshot shows the Accela Citizen Access website for the City of Fort Worth. At the top, there are navigation links for "Register for an Account", "Reports (1)", and "Login". A search bar is located in the top right corner. The main content area features several announcements: "Transportation Impact Fee Increase" (effective June 1, 2023), "Building Inspections" (delayed due to high volume), and an alternate option for inspections using a certified third-party firm. Below the announcements is a navigation menu with links for Home, Development, Fire, Gas Well, Planning, Street Use, Infrastructure, and more. An "Advanced Search" dropdown is also present. The main heading reads "Welcome to the City of Fort Worth's Online Permitting System!" followed by "What would you like to do today?". Below this, there are several service categories with sub-links: Development (Apply for Permit, Search Applications and Permits, Schedule an Inspection), Fire (Create an Application, Search Applications), Gas Well (Search Applications), Planning (Search Applications), Street Use (Search Applications, Schedule an Inspection), Infrastructure (Search Applications), Licenses (Search Applications), and Water (Search Applications). On the right side, there is a "Sign In" section with input fields for "USER NAME OR E-MAIL" and "PASSWORD", a "Forgot Password?" link, a "Sign In" button, and a "Remember me on this device" checkbox. Below the sign-in section are links for "Not Registered? CREATE AN ACCOUNT", "Registration Video Tutorial", "IPRC Training", "Electronic Document Review handbook", "Inspector Renewal Instructions", "Join the X-Team's Expedited Plan Review", and "Making Payments Online". At the bottom of the page, the Accela Civic Platform logo is displayed next to the City of Fort Worth (CFW) logo.

Building Permits

- **What Additional Information Permit Information is Needed at Submittal?**
 - Urban Forestry Permit Number (UFC#)
 - Texas Architectural Building Systems Registration Number (TABS)
 - Certificate of Appropriateness (COA)
 - Grading Permit
 - Registered Contractor with the City of Fort Worth RB# or Out To Bid (OTB)

Plan Review

What Are The Different Tasks Plan Reviewers Are Responsible For?

- Customer Service
- Walk-ins; One day small business permits
- Plan Review of Building, Mechanical, Electrical,
- Plumbing, Accessibility, and Energy Codes
- Project Coordination (*opening permits for additional reviews*)
- Expediting



Thank You



Zoning Plan Review

Lynn Goforth & Marybel Pina

Zoning Plans Exam Team

Zoning Plans Exam
Supervisor

• Lynn Goforth

Sr. Plans Examiner
- Commercial

• Marybel Piña

Plans Examiner -
Commercial

• Inkah Reviere

Plans Examiner –
Commercial

• Aide Pocasangre-Garay

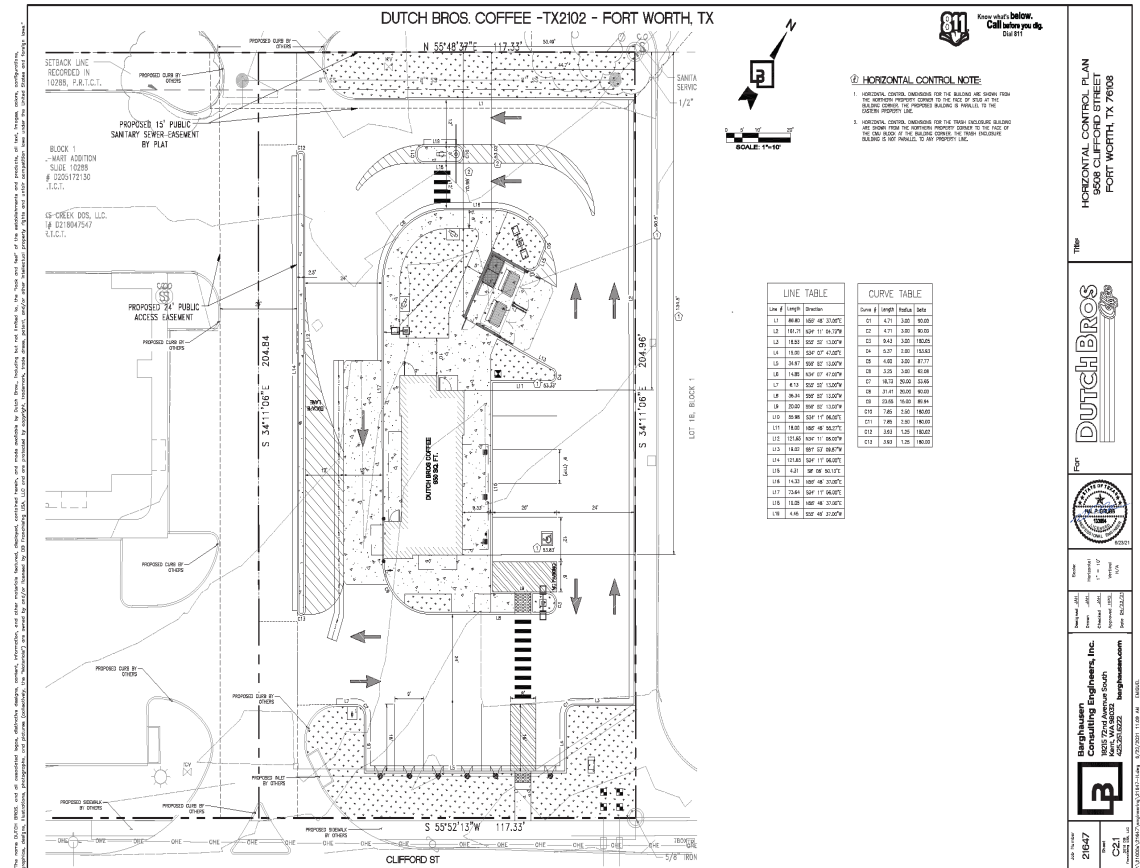
Plans Examiner -
Residential

• Lizeth Guajardo

Zoning Plan Review

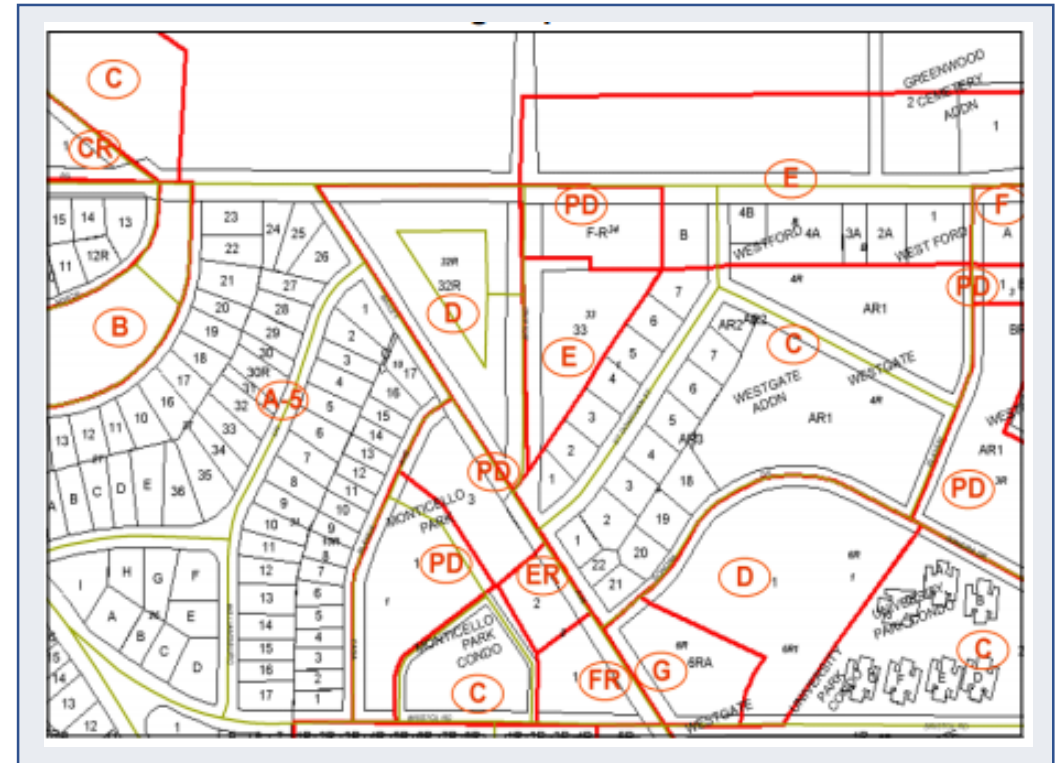
When determining if a project complies with the Zoning regulations, we consider the following:

- Zoning District
- Proposed Use
- Plat
- Adjacent Districts
- Design requirements
- Overlays
- Planned Developments (PD) - Conditional Use Permits (CUP)



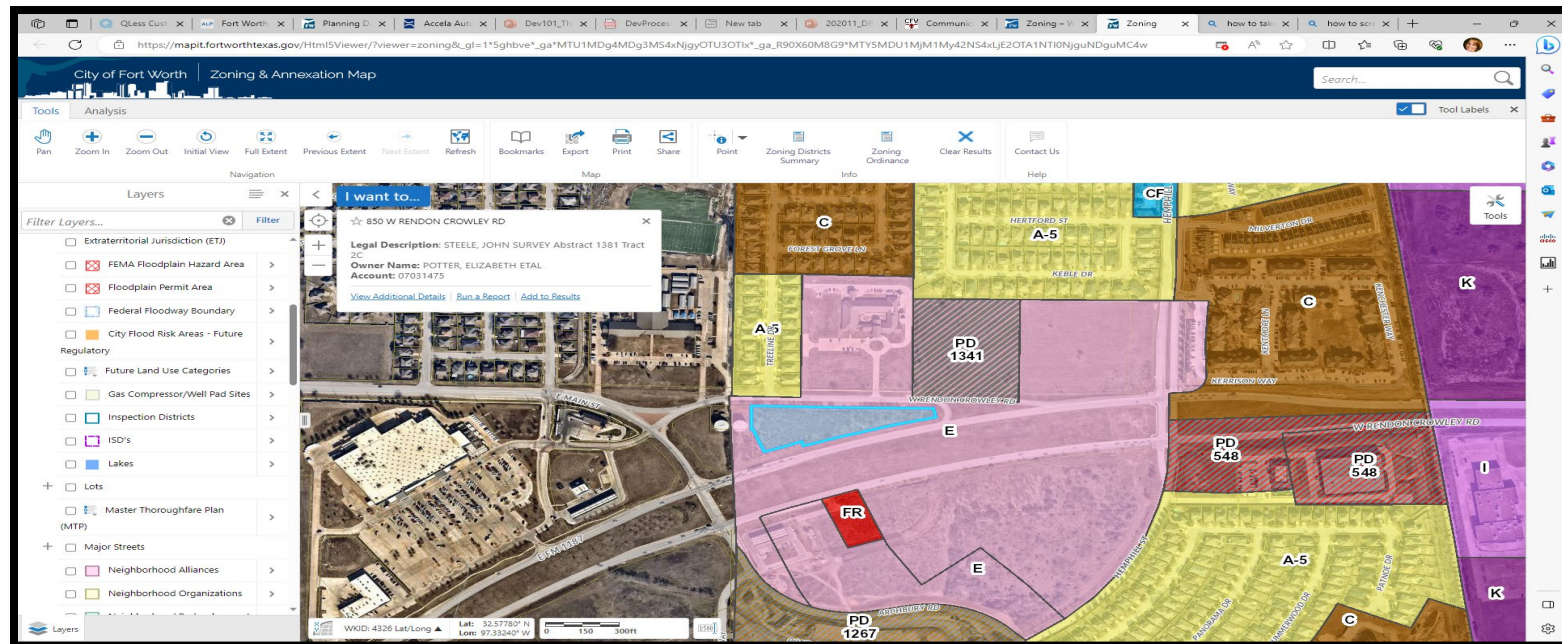
Zoning Map – Plan Review information

- Provides Zoning District of each parcel to determine what regulations will be applied during plan review
- Master Thoroughfare Plan – street types
- Overlays
- Planned Development/Conditional Use Permits
- Platting information
- Urban Forestry Permits



How To Find The Zoning For A Property

- Visit: [Zoning \(fortworthtexas.gov\)](https://www.fortworthtexas.gov/zoning)



Zoning Ordinance

The [Zoning Ordinance \(Appendix A of the Fort Worth City Code\)](#) is available through American Legal Publishing. Use the links below to access the various sections directly, or view instructions at the bottom of the page on how to use the ordinance.

- [Chapter 1: General Provisions](#)
- [Chapter 2: Review Bodies](#)
- [Chapter 3: Review Procedures](#)
- [Chapter 4: District Regulations](#)
- [Chapter 5: Supplemental Use Standards](#)
- [Chapter 6: Development Standards](#)
- [Chapter 7: Nonconformities](#)
- [Chapter 8: Enforcement](#)
- [Chapter 9: Definitions](#)
- [Appendix A: Legislative History](#)
- [Appendix B: Maps](#)
- [Appendix C: Use Index](#)

 [View form-based codes \(PDF, 6MB\)](#)



[Zoning Ordinance – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](#)

Zoning District Classifications*

- **Residential** - A's, B's, R's
- **Multi-Family (MFD)** - CR, C, D, UR, H, MU-1, MU-2, Near South, Panther Island, Camp Bowie, Trinity Lakes & Berry University
- **Commercial** - ER, E, F, G & H
- **Industrial** - I, J & K
- **Form Based Code** -Near South, Panther Island, Camp Bowie, Trinity Lakes & Berry University
- **Special Purpose Districts** -AG, CF, O-1, & O-2 (Flood Plain) & PD/CUP

*Tarrant County district classifications are for taxing purposes and not a Zoning district

Cumulative Zoning

Sometimes a less intense land use is permitted in a more intense Zoning District, but the reverse is not true.

- **Residential Example**: You can build a single-family home in a "C" Multi-Family District; however, you can't build a multi-family project in an "A" Single Family Residential District.
- **Commercial Example**: Building a retail store in "J" Medium Industrial is permitted; however, in reverse, you can't build a Metal Fabricating plant in "E" Neighborhood Commercial as it is too intense of a use.

Residential Districts

- **One/Two-Family Districts**
 - **"A-Districts"**: Single-family uses; classified based on lot size – single family homes
 - **"B-Districts"**: Duplex and single-family uses
 - **"R-Districts"**: Townhouses
- **Multifamily Districts**
 - **CR, C, D, UR & MU** Districts - Multifamily Districts regulated by Density



Commercial Districts

- **"E-District"** allows Neighborhood commercial uses
 - Example: Convenience stores, restaurants, offices, and other land uses
- **"F-District"** allows general commercial uses
 - Allows the land uses listed within "E" Zoning, plus bars, automotive uses, tattoo parlors and other land uses
- **"G-District"** allows intense commercial uses
 - Allows the land uses listed within "E-F" Zoning, plus appropriates a maximum height of 120' and other land uses
- **"H-District"** Central Business District - more intense commercial uses
 - Allows less restrictive height and area requirements



Industrial Districts

- **"I-Districts"** (Light Industrial)
 - Warehouse and other light industrial uses
- **"J-Districts"** (Medium Industrial)
 - Allows land uses listed within "I"
 - Includes heavier industrial uses
- **"K-Districts"** (Heavy Industrial)
 - Allows outdoor industrial uses
 - Based on the land use chart some land uses are too intense and may require a Planned Development (PD) or Conditional Use Permit (CUP)



Zoning Use Table

§ 4.803 NON-RESIDENTIAL DISTRICT USE TABLE.



Note: To view 4.803 Uses Table in PDF, click 4.803 [TABLE](#)

4.803 Uses		4.803 Nonresidential District Use Table															
Nonresidential Uses		Commercial					Industrial			Special Districts					In Res. Table	Supplemental Standards	
↓		ER	E	FR	F	G	H	I	J	K	AG	Cf	O-1	O-2	PD/CUP		↓
Amusement, outdoor				P	P	P	P	P	P	P				CUP			
Baseball/softball facility; other ball fields (commercial)								P	P	P							
Bowling alley				P	P	P	P	P	P	P							
Bar, tavern, cocktail lounge, club, private or teen, dance hall					P	P	P	P	P	P							
Circus									P	P				CUP			
Club, commercial or business				P	P	P	P	P	P	P							
Drive-in restaurant or business		CUP	P*	P*	P*	P*	P*	P*	P*	P*							5.112
Entertainment and Eating																	
Event center or rental hall			P	P	P	P	P	P	P	P							

Zoning plans examiners verify that the **Land Use** of buildings, structures, or land is permitted based upon the **Zoning District** of the subject property. This may include additional supplemental standards to ensure compatibility with adjacent properties.

What are Zoning District Regulations

- Each zoning district has a page with setbacks, height, parking, landscaping and other standards.
- The ordinance also provides information on supplemental standards and bufferyards when commercial or industrial is adjacent to residential.

4.901 Neighborhood Commercial ("E") District

A. Purpose and Intent

The purpose of the Neighborhood Commercial ("E") District is to provide areas for neighborhood-serving commercial, institutional and office uses.

B. Uses

1. In the Neighborhood Commercial ("E") District, no building or land shall be used and no building shall be hereafter erected, reconstructed, altered or enlarged, nor shall a Certificate of Occupancy be issued, except in accordance with the use tables in Chapter 4, Articles 6 and 8 and the supplemental use standards of Chapter 5.
2. Limitations on Commercial Development in "E" District.
Retail stores with a footprint exceeding 60,000 square feet are prohibited.

C. Property Development Standards

The minimum dimension of lots and yards and the height of buildings in the Neighborhood Commercial ("E") District shall be as shown in the accompanying table.

Neighborhood Commercial, "E" District	
Front Yard*	20 feet minimum
Rear Yard*	10 feet minimum unless adjacent to residential district, where 15 feet minimum required
Side Yard*	
Interior lot	5 feet minimum adjacent to residentially zoned lot, none otherwise. If provided, side yard must be 3 feet minimum
Corner lot**	None required unless through lot, then 10 feet minimum required
Height	3 stories or 45 feet maximum provided, however, Stealth Telecommunication Towers are permitted to a height of 60 feet. The Urban Design Commission must approve the design of all Stealth Telecommunication Towers. Telecommunication Towers are permitted to a height of 45 feet as a Special Exception approved by the Board of Adjustment.

Notes: * Additional setback may be required refer to Development Standards, Chapter 6.300 Bufferyard and Supplemental Building Setback. **May be subject to projected front yard (Section 6.101F)

D. Other Development Standards

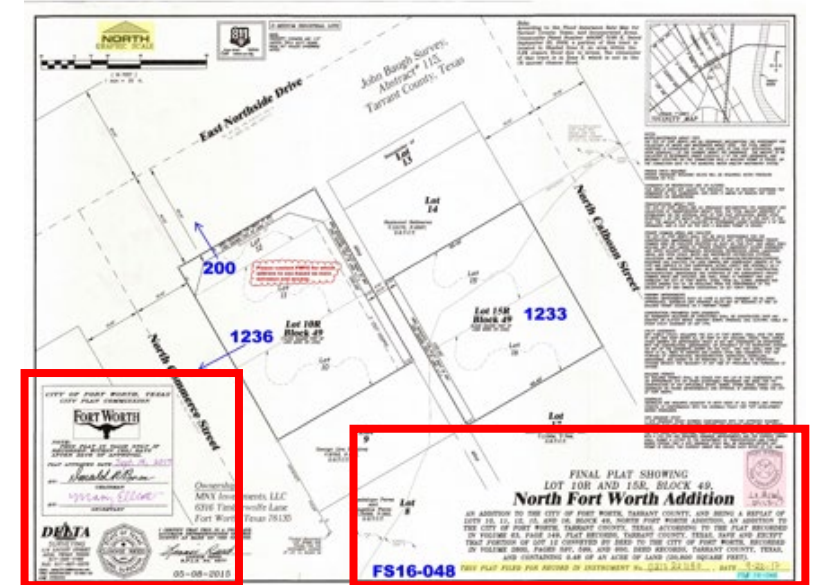
Development in the Neighborhood Commercial ("E") District may be subject to a variety of general development standards, including, but not limited to:

1. **Off-Street Parking and Loading.** Commercial buildings require one space per 250 square feet. Office or professional buildings require one space per 400 square feet. Restaurants require one space per 100 Square Feet of gross floor area. For further details, other uses, and loading areas, refer to Development Standards, Chapter 6.200 Off Street Parking and Loading.
2. **Landscaping and Buffers.** Generally, ten percent of net site area. Refer to

Recorded Plat

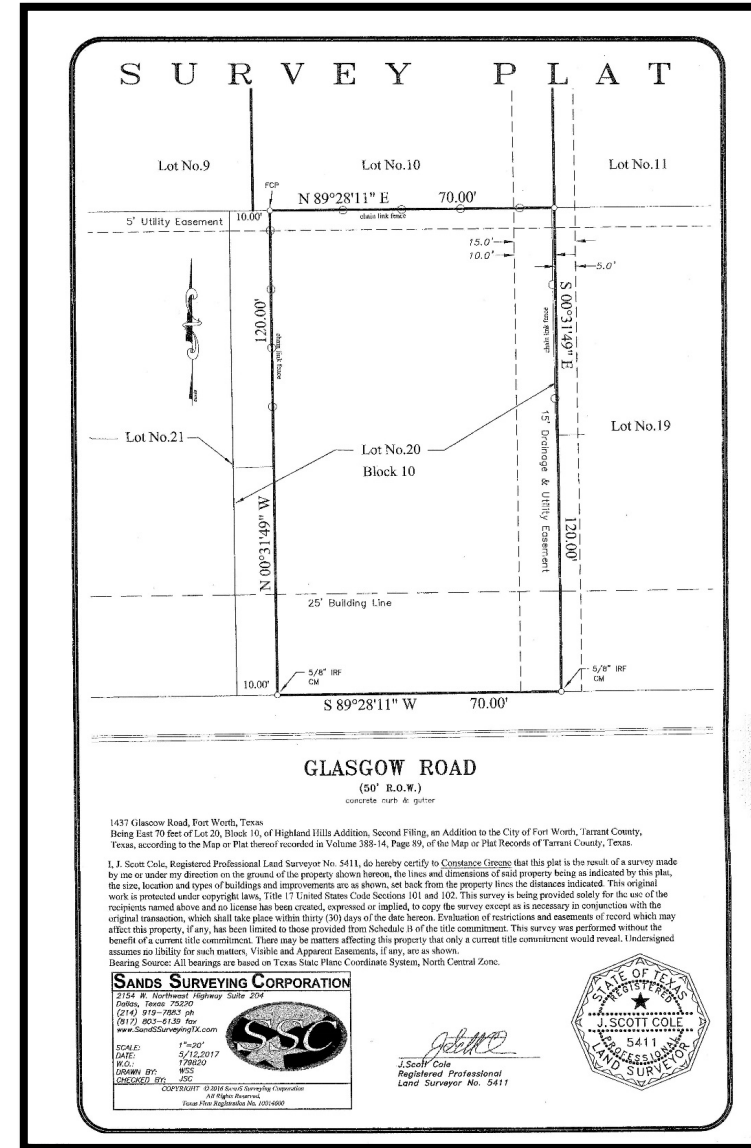
Official signed and recorded Plats are required for most new construction and additions and identifies:

- Subject property location, ROW's, boundary dimensions, lot lines, platted setbacks and easements
- Aides zoning review in the determining if the site layout is in compliance with District standards.
- City of Fort Worth Plat Directory link: [City of Fort Worth Plat Directory \(fortworthtexas.gov\)](http://fortworthtexas.gov)



What Is A Survey?

- Completed by a surveyor to show boundaries
- Is **NOT** a plat and does not show the legal lot. Only shows the boundaries of a project
- Is not recorded with the county – only sealed by the surveyor



Residential Permits

- **New Construction, Additions, and Interior Remodel/Renovations**
 - Single Family Residences
 - Two Family Units
 - Attached and Detached Units
- **Accessory Uses**
 - Example: Garages, Storage Sheds, Porches, Fences, Retaining Walls, Detached Garages

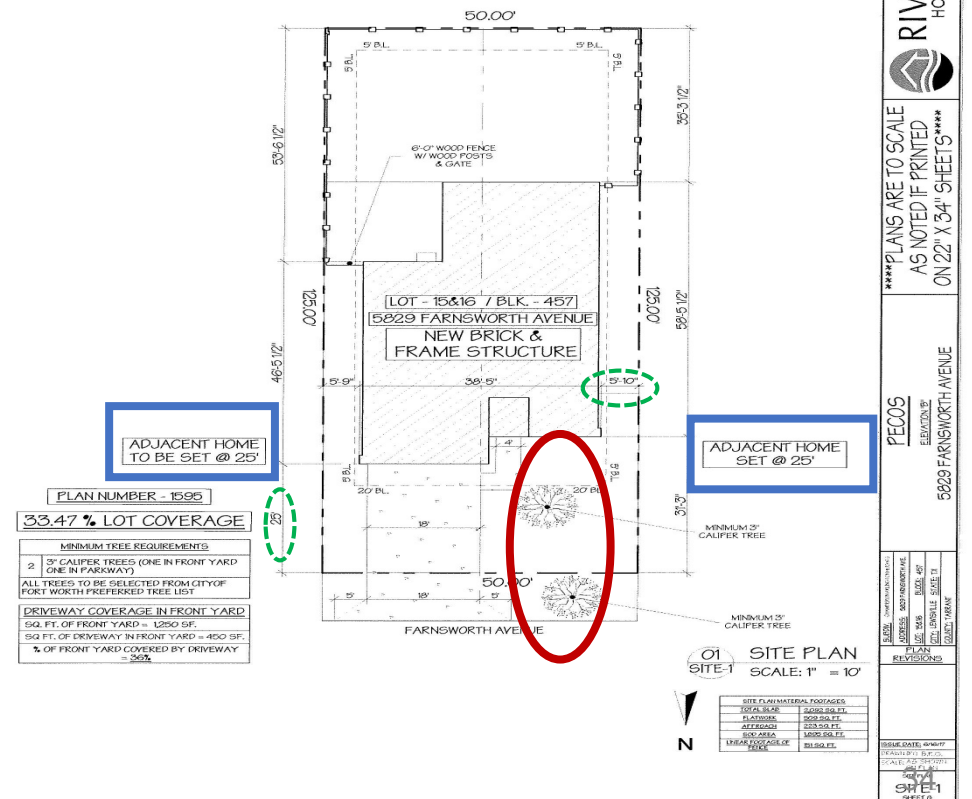


Developing In Residential Districts

Example: A-5 Zoning

District regulations:

- Use
- Setbacks – Adjacent home setbacks, porches
- Plat
- Corner lot projected yards
- Maximum lot coverage
- Height
- Parking
- Attached Garages – Snout Houses
- Infill Housing - Trees
- Monotony Design requirements – Exterior Facade

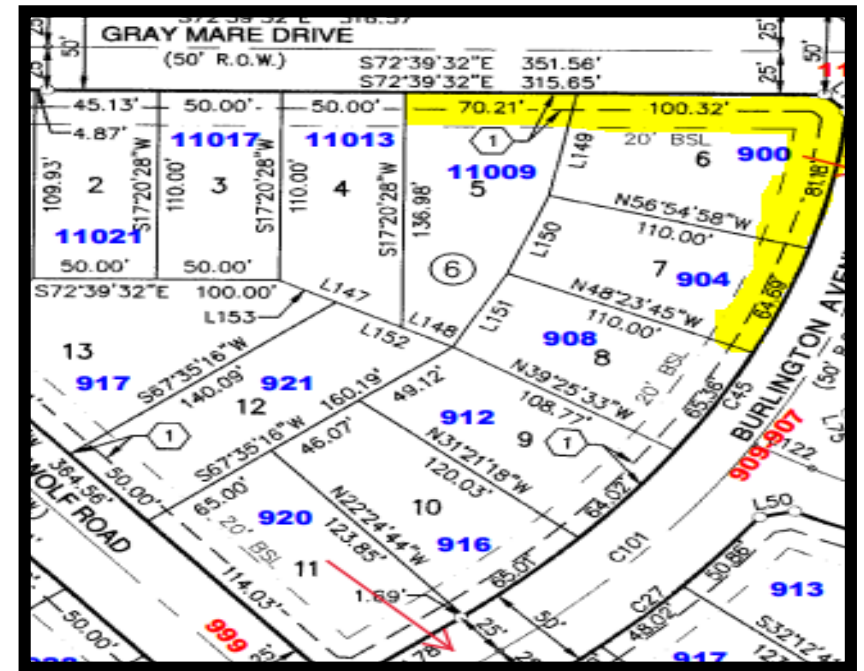


Front Yard Setbacks

Residential Districts shall be the Greatest of:

- **Platted Building Line**
- **Setback** required by **Zoning District**; or
- **Established Setback**: the setback of the nearest building on either side closest to the street up to maximum setback of 50'.

*Residential open porches/patios (3 sides open) may be set up to 15' from the front property line with a 20' required building setback



Monotony

The intent is to ensure that a change in elevation provides 3 **substantive changes** when compared to houses within the six-lot pattern. These changes should limit the effect of repetition and uniformity and instead shall provide a variation and diversity in bulk, rooflines, and general appearance.

Some Substantive Changes include:

- Different number of stories
- Side-loaded garages, except where there are 2 or more within the lot pattern
- Change in roof pitch
- Change in roofline minimum 50% of width of front elevation
- Inclusion/exclusion of a front porch or entry; change in height – minimum 4' in depth required
- Number of dormers, garage bay doors, windows with minimum 2' separation

Items not included:

Paint or material colors, pitch less than 2 vertical units, roofline less than 50% of the width of front elevation, changes in window brows, flipped or mirrored façade elevation, and changes in roof material; including composition and metal roofs.



Image above: Same floor plan, however varied porches, windows and roofline – **permitted**

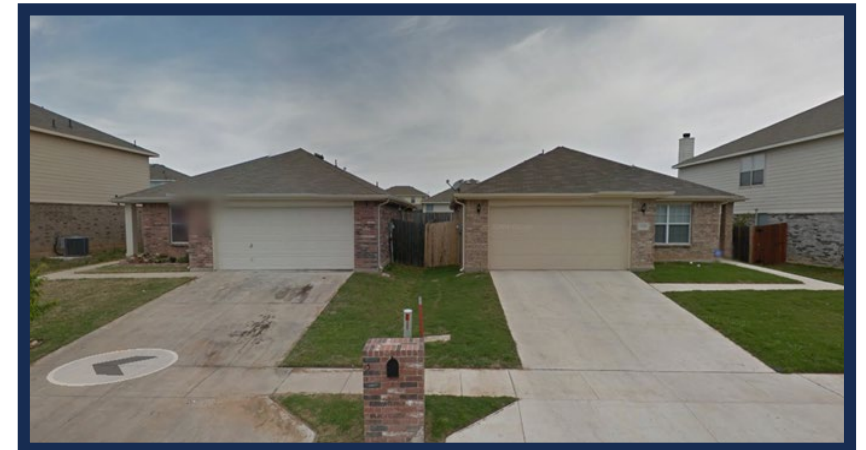


Image above: Identical house, flipped – **not permitted**

Non-Habitable Accessory Structures

- Must meet side and rear setbacks
- Lot size determines the maximum square feet permitted for storage sheds
- Limited to a height of 10'; max. 12' with an additional 1' setback for each 1' in height (2:1)
- Shall be located behind rear wall of primary structure
- Shall not be constructed or placed on a lot without a primary use or across platted property lines where the primary use does not cross the property line.



Non-Residential Permits

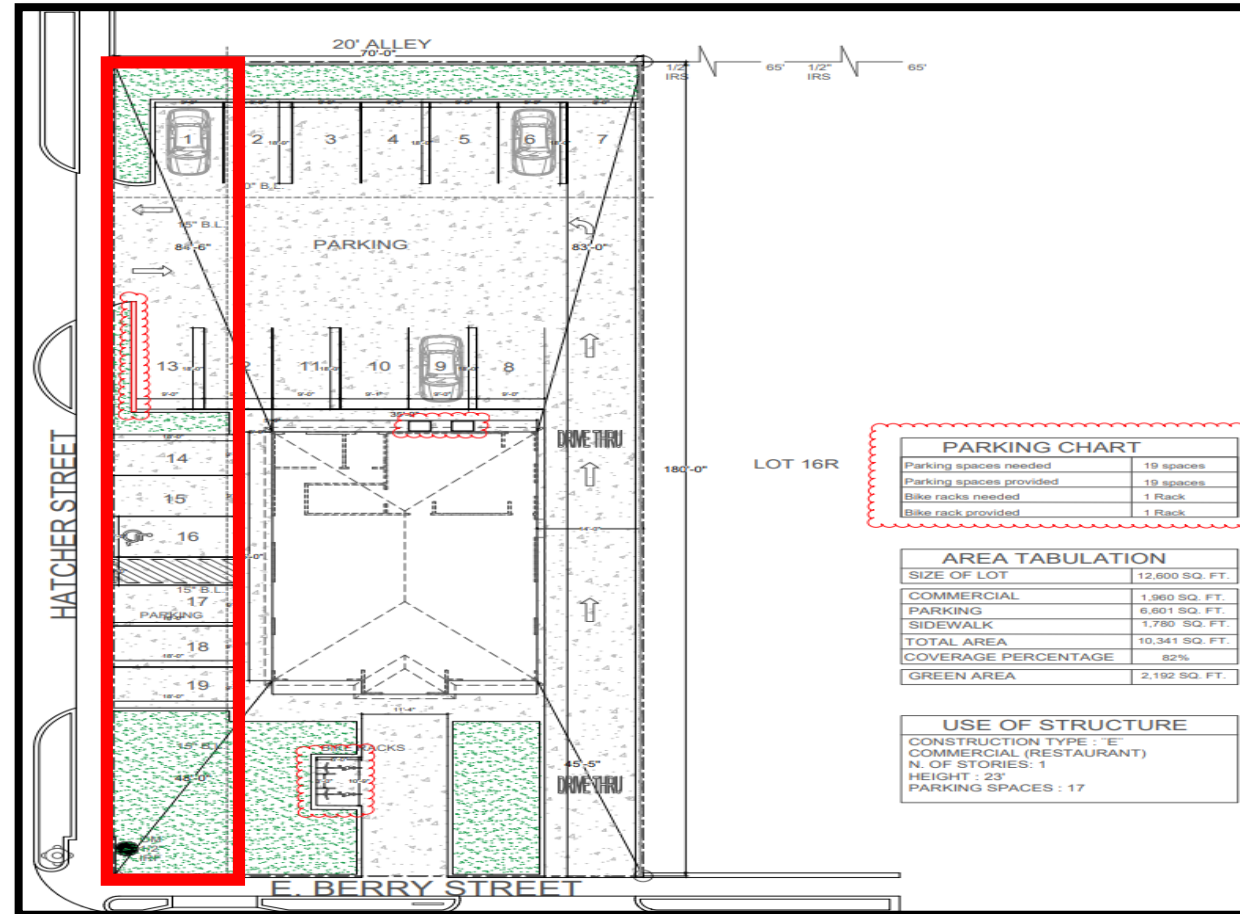
- New Commercial Buildings, Additions, and Remodels
- Accessory permits: Fences, Dumpsters, Storage Sheds, Pools, Retaining Walls
- MFD – Multifamily Developments
- Change of Use



Developing In Non- Residential Districts

Development Standards:

- Use
- Setbacks; projected front yards
- Supplemental setbacks - Bufferyards
- Height
- Parking – based on Use
- Landscaping
- Urban Forestry
- Design Requirements



Additional Block Face Requirements

- **Non-Residential Projects** (Commercial and Industrial) are influenced by their surroundings
 - **Restrictions may apply** according to **adjacency or proximity** to One-Family (“A”); or Two-Family (“B”) districts
 - 20' Projected front yards when adjacent to residential; **No parking in Front yard**

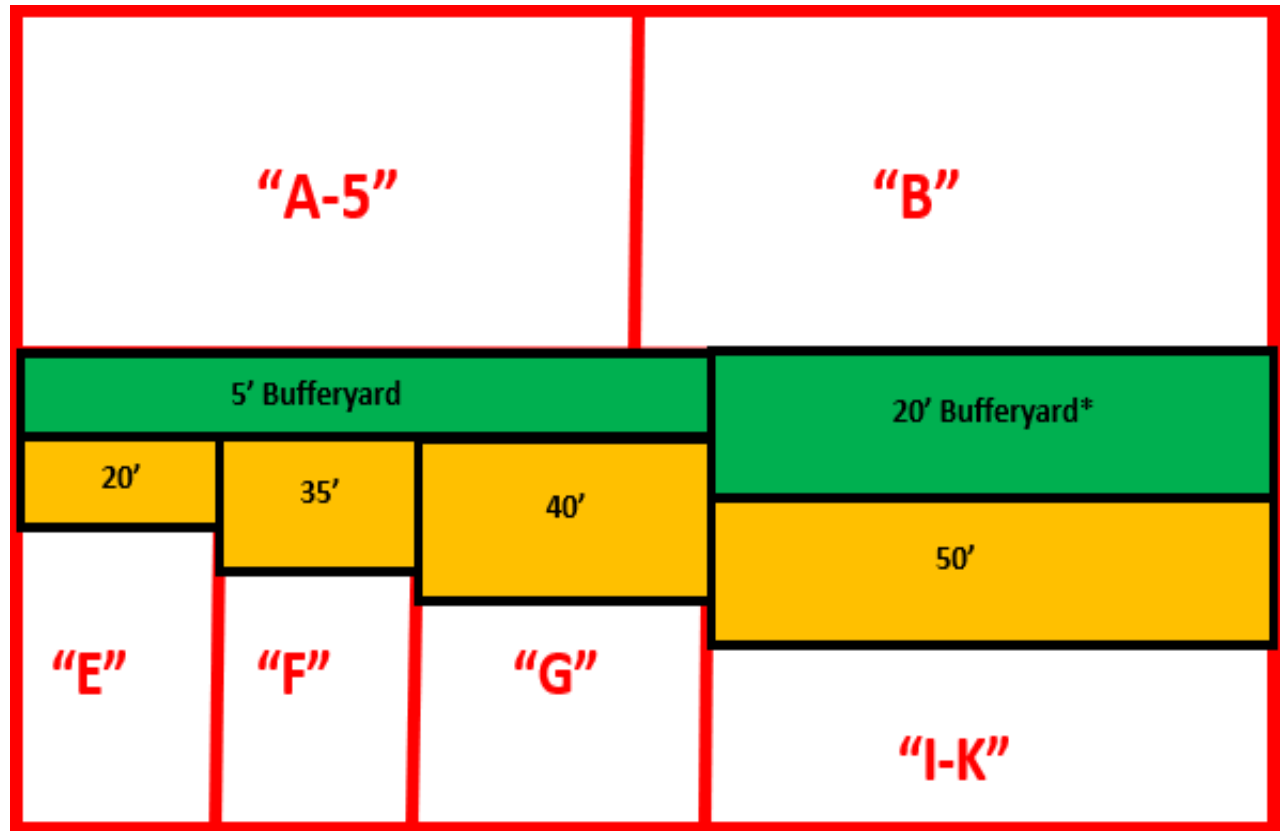


Supplemental Setbacks - Bufferyards

Supplemental setbacks and associated **bufferyard** requirements are required when adjacent to 1 or 2 family Districts and depend on the Zoning District

Not allowed in setbacks:

- Dumpsters
- Structures
- *Parking is permitted outside of the bufferyard during daylight hours



Change Of Use

Zoning Review is based on the following:

- Use Table,
- Use Verification Form and Letterhead Documents,
- Parking if required; based on proximity to one or two family districts
- Bike Rack if required

Evaluation for Change of Use – **Based on the Zoning "Use" Classification not Building Code**

BUILDING CODE		
<ul style="list-style-type: none"> Based on the International Building code (IBC) standards for safety, building capacity, and construction - Adopted by the City 		
Permit	Occupancy Classification	Change of Use
Office to Auto Sales	From <u>B</u> to <u>B</u>	No Change
Restaurant to Bar	From <u>A-2</u> to <u>A-2</u>	No Change
Warehouse to Auto Repair	From <u>S-1</u> to <u>S-1</u>	No Change
Office to Kennel	From <u>B</u> to <u>B</u>	No Change

ZONING USE	
<ul style="list-style-type: none"> Based on City Council approval and on extensive public input Use “zoning use tables” to evaluate use 	
Use	Change of Use
From <u>Office</u> to <u>Auto Sales</u>	Required
From <u>Restaurant</u> to <u>Bar</u>	Required
From <u>Warehouse</u> to <u>Auto Repair</u> (Auto Repair not Permitted in “ER” and “E” Districts)	Required
From <u>Office</u> to <u>Kennel</u>	Required

Thank You



Multi-Family Review

Marybel Piña

Multi-Family Developments (MFD)

- *MFD permit required for all projects in CR, C, & D unless waived through Planned Development Process (all Mixed Use and Urban Residential projects are exempt from this).
- [Multi-Family District \(MFD\) – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](https://www.fortworthtexas.gov)



*Note: A pre-review of the site plan will not be possible; therefore, any items that come up during the building plan review process must be addressed prior to the release of the permit.

Find almost anything on our website Search

FORT WORTH Residents Business **Departments** Government Calendar & Services

Home / Departments / Development Services / Zoning / Multi-Family District (MFD)

Multi-Family District (MFD)

In adopting multifamily development design regulations, it is the intent of the City Council to encourage the most appropriate uses of land; to encourage higher quality design and materials; to provide safe and improved access to the public walkways; to install street trees and enhanced landscaping along public walkways to improve the pedestrian environment; and to provide criteria for development of land zoned for multifamily dwelling use.

Multi-family Development Districts:

- CR (Low density multifamily)
- C (Medium density multifamily)
- D (High density multifamily)

How to Apply for a Permit:

Use the [MFD Site Plan Application and Checklist](#) (PDF, 302KB), then apply online through the City's online permitting system.

Contact Us

Phone
817-392-8028

Email
ZoningLandUse@fortworthtexas.gov

Helpful Links

- [Area Plans](#)
- [Comprehensive Plans](#)
- [Historic Preservation & Urban Design](#)
- [Urban Villages](#)
- [Transportation Planning](#)

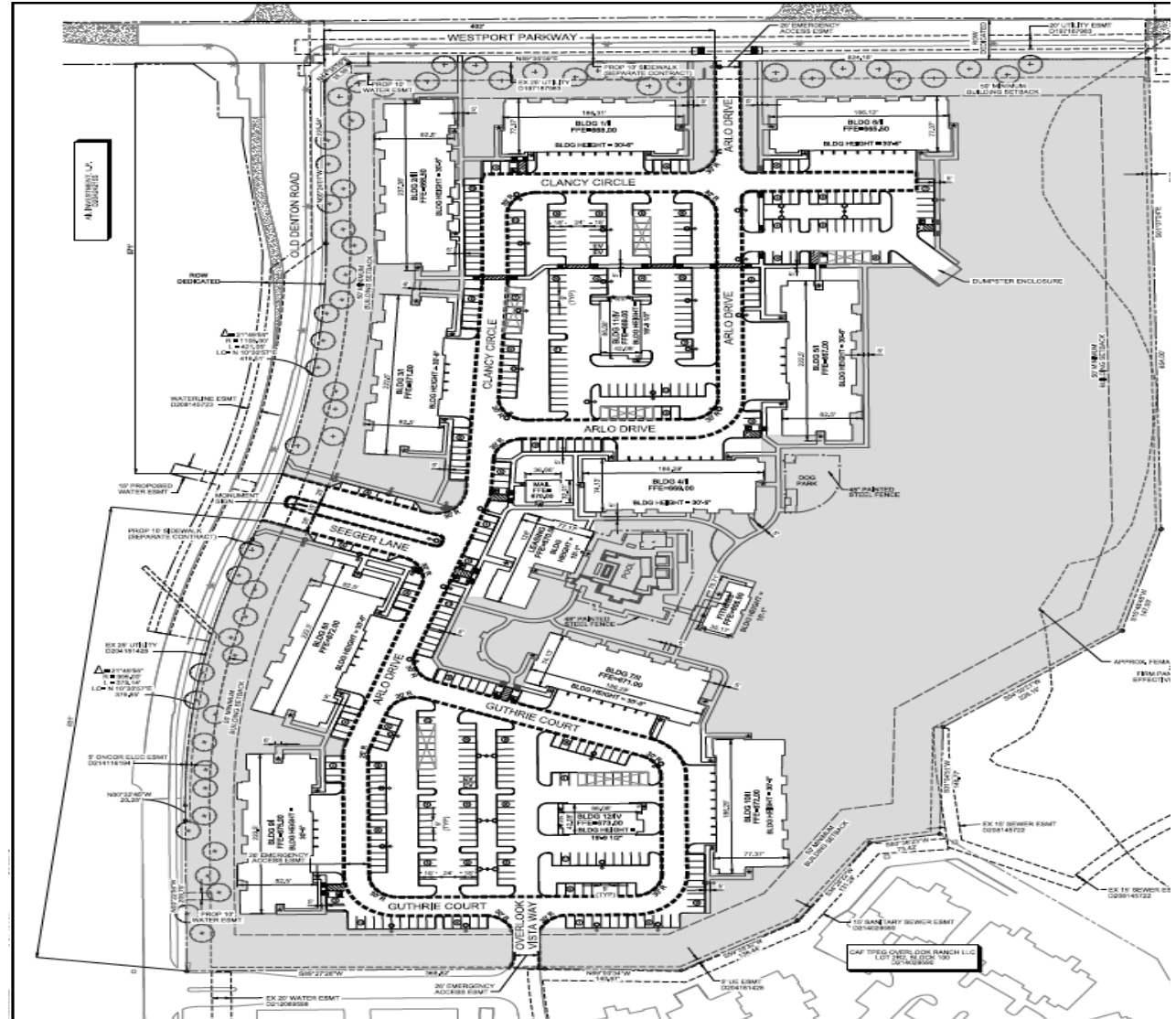


Review Items:

- District Verification to determine plan review standards
- Density
- Setbacks
- Supplemental Setbacks based on height and adjacency to one- or two-family residential districts
- Bufferyard
- Open Space
- Parking; number of spaces and location
- Façade
- Enhanced Landscaping and walkways

Typical Site Plan

- Streets
- Property lines
- Easements
- Location of buildings
- Label all buildings
- Parking spaces
- Setbacks
- Internal access easements
- Walkways



MFD Site Data

BUILDING NAME	BUILDING TYPE	BLDG HEIGHT	BUILDING SQ FOOTAGE	UNIT COUNT	BEDROOM COUNT
1	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
2	TYPE II	30'-6"	48,384 SF	42 UNITS	12 (2 BEDROOM)
3	TYPE I	30'-6"	37,426 SF	35 UNITS	11 (2 BEDROOM)
4	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
5	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
6	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
7	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
8	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
9	TYPE I	30'-6"	37,426 SF	29 UNITS	11 (2 BEDROOM)
10	TYPE IV	19'-9 1/2"	6,690 SF	3 UNITS	N/A
11	TYPE IV	19'-9 1/2"	6,131 SF	3 UNITS	N/A
12	LEASING	15'-1"	1,033 SF		
13	FITNESS	15'-1"	1,039 SF		
14	MAL	10'-1"	439,857 SF		
15					
TOTAL					

- NOTES:**
1. ALL PAVEMENT CONSTRUCTION ON THE SITE SHALL BE REINFORCED CONCRETE PAVEMENT.
 2. BUILDING TYPE I & II ARE 3-STORY BUILDINGS, BUILDING TYPE IV IS A 2-STORY BUILDING.
 3. THIS IS MULTIFAMILY DEVELOPMENT, TO BE CONSTRUCTED IN A SINGLE PHASE.
 4. ALL SIGNS ONSITE WILL MEET THE FORT WORTH ZONING ORDINANCE REQUIREMENTS.
 5. SITE WILL NOT BE GATED.

PARKING SUMMARY	
REGULAR SPACES	436
REGULAR GARAGE SPACES	101
ELECTRIC VEHICLE SPACES	4
ADA SPACES	12
STANDARD GARAGE ADA	10
	2
TOTAL	553
MINIMUM REQUIRED	510

ZONING	SITE DATA SUMMARY
NET LAND AREA	C
IMPERVIOUS SURFACE - FIRST FLOOR AREA	1,047,925 SF (24.06 ACRES)
OPEN SPACE PROVIDED	160,436 SF (15.3%)
OPEN SPACE REQUIRED	292,793 SF (27.9%)
MAXIMUM BUILDING HEIGHT	540,407 SF (51.5%)
MAXIMUM BUILDING HEIGHT ALLOWED	45%
MAXIMUM UNITS PER ACRE ACTUAL	36 FT, SLAB TO TOP PLATE
UNITS PER ACRE ACTUAL	30 FT 6 IN
INDOOR RECREATION SQ FOOTAGE	24
	13.8
	5,450 SF

Density / Setbacks

Based upon zoning district

- **"CR-District"**– Low density multi-family
- **"C-District"**– Medium density multi-family
- **"D-District"**– High density multi-family

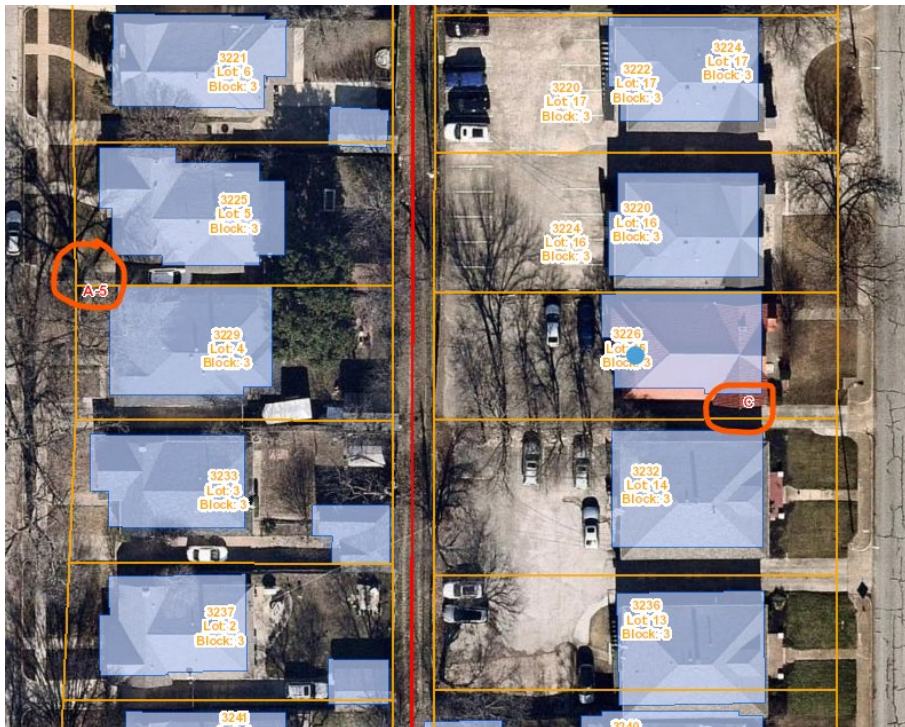
*All zoning districts have the following setbacks:

- 20' front yard
- 5' sides
- 5' rear

***Note:** Does not include supplemental setbacks or bufferyard

Supplemental Setbacks

Required when the new development is adjacent to a one- or two- family district.



Measured as three feet for every one foot (3:1 ratio) from slab to top plate or,
Two feet for every one foot (2:1 ratio) from slab to the highest peak of the roof, whichever is greater

Bufferyard

A bufferyard is a five (5) foot open space of grass and other landscaping design features that screen the entire length of the boundary line between any one- or two-family district. Bufferyards must earn a minimum of 25 points.

Typical items:

- Wood screening fence
- Additional 5 feet in bufferyard width beyond required minimum
- Ornamental trees/shrubs
- Trees

Open Space Requirement

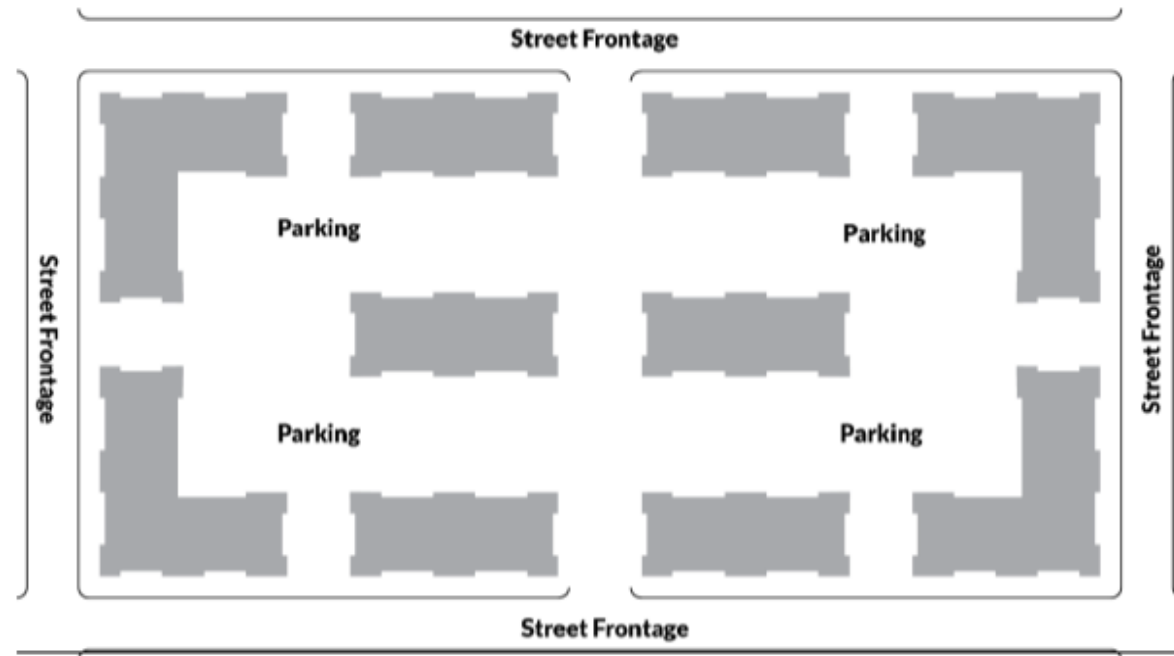
For MFD review purposes, Open Space is the net land area minus all building footprints, parking areas, access drives, and fenced patios. It must be open to the sky, cannot be paved and can be used as an active recreation area.

Based upon zoning district:

- **"CR-District"** – Low density multi-family – **60%**
- **"C-District"** – Medium density multi-family – **45%**
- **"D-District"** – High density multi-family – **35%**

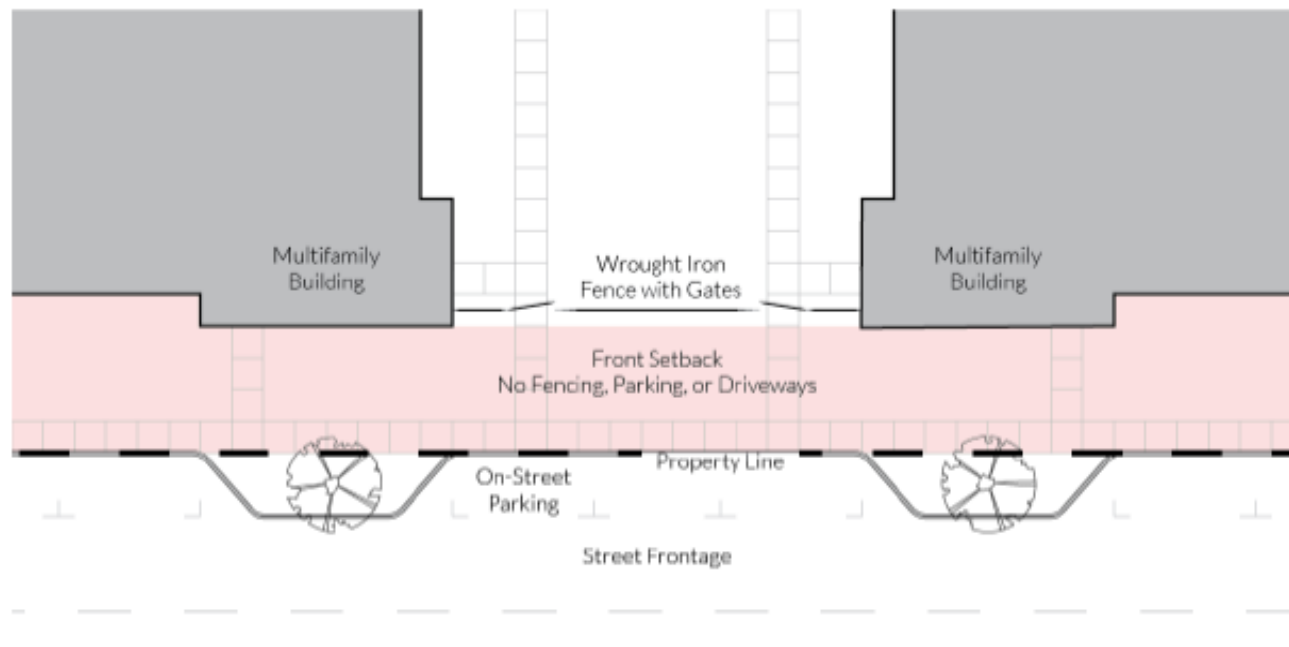
Parking Requirements

1 space per bedroom
plus 1 space per 250
square feet of
common areas,
offices and recreation



Fencing

Fences are not permitted in the area between building facades and the property line.



Building Orientation



Façade Requirements



Enhanced Landscaping

All projects require enhanced landscaping. It is a point system and the developer selects the design features to meet the minimum points required; however, 10 of the 20 points must come from street trees.

Public features:

- **Street trees** (will require Park approval)
- Pedestrian-scaled lighting (will require an executed CFA)
- Sidewalk enhancement

Private features:

- Pool/playground/dog park
- Sustainable landscaping
- Proximity to public park

Delays In Zoning Plan Review

- "Use" not permitted within the Zoning District
- Survey submitted when plat is required; easements, lot dimensions, public right of ways
- Missing Site Plans, Landscape Plans, stamped and Approved Urban Forestry Plan within plan submittal, Exterior elevations
- Change of Use permits must provide a Site Plan to review parking and other requirements
- Change of Use permits submitted without Letter Head Document and Use Verification Form Detailed information regarding the "Use"; types of equipment or chemicals used/stored, number of employees, hours of operation, and any pertinent information required to make a determination if the "Use" is permitted
- Encroachment Agreements / Community Facility Agreements (CFA) / Maintenance
- Park Approvals when required

Links To Zoning Documents/Forms

- Submittal requirements for new residences and additions:
 - [Microsoft Word - New Res & Addition Requirements.docx \(fortworthtexas.gov\)](#)
- Accessibility and Accommodations:
 - [Accessibility & Accommodations – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](#)
- Use Verification/Letterhead Document:
 - www.fortworthtexas.gov/files/assets/public/development-services/documents/applications-forms/commercial-permit-use-verification-form-042722.pdf
- Submittal requirements for Commercial permits:
 - [Commercial Permitting – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](#)

Thank You



10-Minute Break

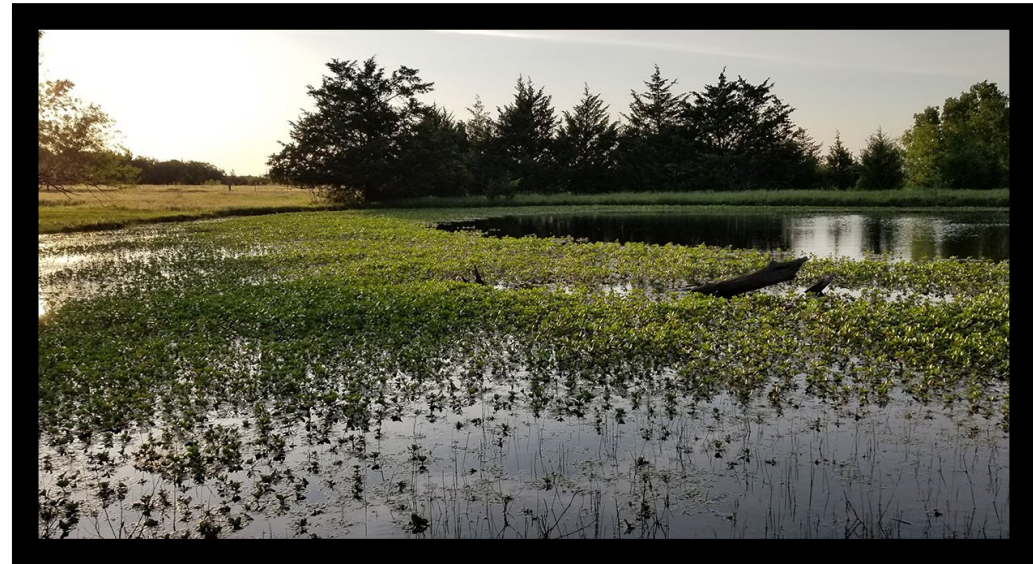


Water Applications

Elizabeth Palomo

About Water Applications

- Ensures every development has proper water/sewer service connections and that water/sewer infrastructure is available for sites to utilize.



Water Applications Team

Water Applications Supervisor	• Cristina Casso
Senior Account Technician (Commercial Review)	• Elizabeth Palomo
Senior Account Technician (Commercial Review)	• Morris Peyton
Senior Account Technician (Residential Review)	• Maria Lopez
Senior Account Technician (Residential Review)	• Elizabeth Armendariz
Senior Account Technician (Residential Review)	• Miriam Pulido

Utility Site Plan Review

Water Applications reviews utility plans to identify the following:

- Water/Sewer main extension
- Water services proposed
 - Service type – domestic, fire line, irrigation, fire hydrant
 - Meter size (*5/8", 1", 1.5", 2", 3", 4", 6", etc.*)
- Sewer services proposed
 - Sewer tap (*4", 6", 8" (manhole required for 6" & 8")*)
- Identify encroachments over/within public water/sewer mains and easements
- Verify that all services are in the public right of way or within a public easement

How Will Services Be Installed?

There are three methods for water & sewer service installation:

1. Ordinance Tap – An ordinance tap, is a service that can be installed by city field operations
 - Water tap 2” and smaller and Sewer tap 4”,6”,8” & Manhole
2. Miscellaneous Projects - The City’s in house process for installation of services that cannot be installed by field operations
3. Community Facilities Agreement (CFA) – Alternate option to miscellaneous projects to have services installed by a contractor chosen by the developer

Ordinance Tap – Field Operations (FOPs)

- All new water and wastewater connections installed by FOP incur a tap fee
- City crews will only install or remove taps within streets that are greater than 2 years old.
- The tap fee is determined by pavement type and the location of the water or wastewater main from the center of the street to the property to be served.
- Long-side and short-side reference whether the tap will be on the side closer to or further from the water or wastewater main.
- Any connection in excess of 55 feet from the water main to the meter or from the wastewater main to the property line requires an extension project.

Tap Fees

Water tap constructed by city forces:

Ordinance: 35-57.4(a)

Pavement Type	1-inch		1.5-inch		2-inch	
	SHORT	LONG	SHORT	LONG	SHORT	LONG
Unpaved	\$1,800.00	\$2,500.00	\$2,000.00	\$2,700.00	\$2,200.00	\$2,900.00
Asphalt*	\$2,000.00	\$2,700.00	\$2,250.00	\$2,950.00	\$2,500.00	\$3,200.00
Concrete	\$3,800.00	\$6,500.00	\$4,000.00	\$6,700.00	\$4,200.00	\$6,900.00

Wastewater tap constructed by city forces:

Ordinance: 35-57.5(a)

Pavement Type	4-inch		6-inch*		8-inch*	
	SHORT	LONG	SHORT	LONG	SHORT	LONG
Unpaved	\$2,000.00	\$2,750.00	\$2,500.00	\$3,250.00	\$3,000.00	\$3,750.00
Asphalt*	\$3,000.00	\$3,750.00	\$5,000.00	\$6,000.00	\$7,500.00	\$8,500.00
Concrete	\$5,500.00	\$8,000.00	\$6,000.00	\$8,500.00	\$9,000.00	\$11,500.00
Manhole (MH)	\$4,200.00					

* Manhole costs mandatory for all 6-inch and 8-inch wastewater taps

Water Tap Removal Fee ("Kill Tap")

Pavement Type	Fee	NOTE:
Unpaved	\$1,400.00	Sewer taps may only be removed/killed through a CFA or Miscellaneous Contracts. The city shall NOT perform any sewer tap removals.
Asphalt*	\$1,400.00	
Concrete	\$2,800.00	

Tap And Impact Fees

- Impact fees are assessed at the time of final plat is recorded. The fees are applied to individual building permits and collected prior to issuance of the building permit. All re-plats trigger a new final plat recording date.
- Because impact fees have changed throughout the years, use the [impact fee estimator\(XLSX, 59KB\)](#) to help approximate the amount owed.

Impact fees effective Jan. 1, 2023

The fees listed in the table below apply to plats recorded on or after April 1, 2017

Meter Size	Water	Wastewater
5/8 inch x 5/8 inch	\$1,981	\$1,796
5/8 inch x 3/4 inch	\$1,981	\$1,796
3/4 inch x 3/4 inch	\$2,972	\$2,694
1 inch	\$4,953	\$4,490
1-1/2 inch	\$9,905	\$8,980
2 inch	\$15,848	\$14,368
3 inch	\$43,087	\$39,063
4 inch	\$74,288	\$67,350
6 inch	\$158,480	\$143,680
8 inch	\$277,340	\$251,440
10 inch	\$416,010	\$377,160

When Do I Get My Meter?

Meters are set depending on factors including:

- How taps were installed (*miscellaneous projects, community facility agreement or water field operations*)
 - If taps are installed by field operations a meter will be set within **7 to 10 business days**
 - If services were installed by CFA or miscellaneous project the service report must be received. (Meter(s) will be set in standard timeframe)
- If the fees have been paid



Thank You



Backflow/ Cross-Connection Control

John Rasor

Backflow/Cross-Connection Team

Cross-
Connection
Supervisor

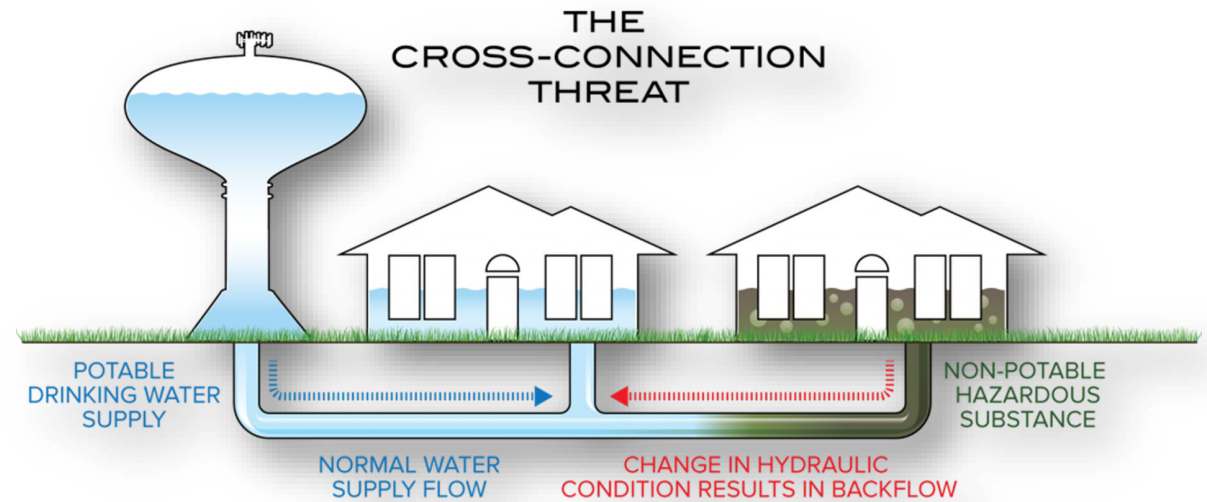
- John Rasor

Cross-
Connection
Technician

- Stephen Fulkerson

What Is Backflow?

- The undesirable reversal of flow of a liquid, gas, or suspended solid into the potable water supply
- Water should flow from the supplier to the customer – and not the other way



Why Is A Backflow Program Necessary?

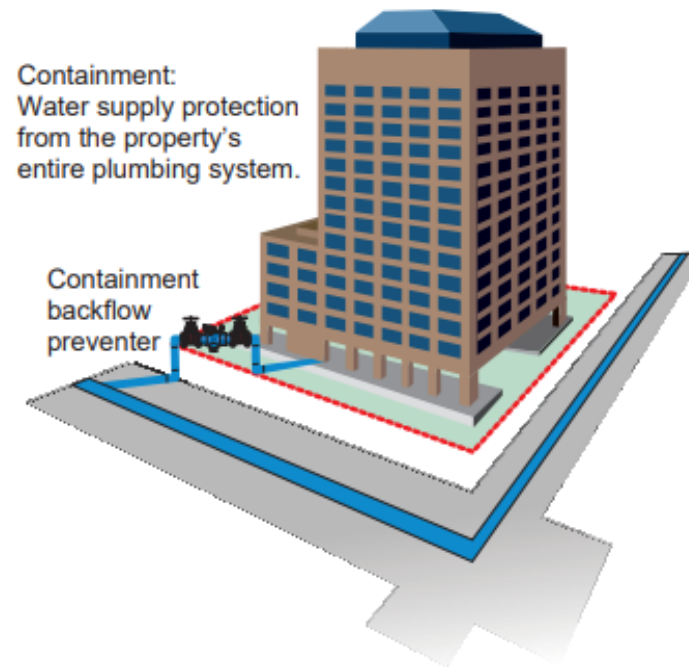
- To prevent any “**actual or potential**” contaminants or pollutants from entering the water distribution system from private plumbing systems; either from back pressure or back siphonage
- This can be prevented through an adequate “cross-connection control” program. This is accomplished through:
 - Premises isolation
 - Point-of-use isolation
 - Adequate/annual testing and inspection

Regulatory Foundations For Backflow

- Plumbing Code (*IPC Section 608*)
 - Requirements
 - Installation standards
- City Water/Environmental Codes (*City Code 12.5, Division 3*)
 - Requirements
 - Installation standards
- Federal Safe Drinking Water Act
- State “Rules for Public Water Systems” (*30 TAC 290*)

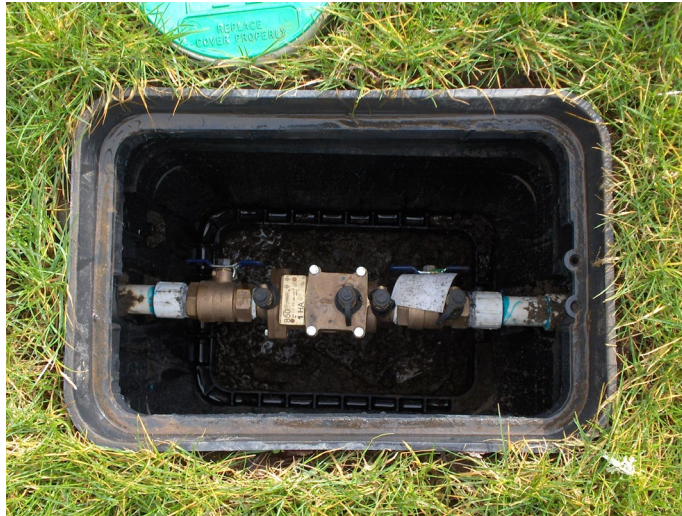
Where there are conflicts, the more stringent rules apply

Premises Isolation (Containment)

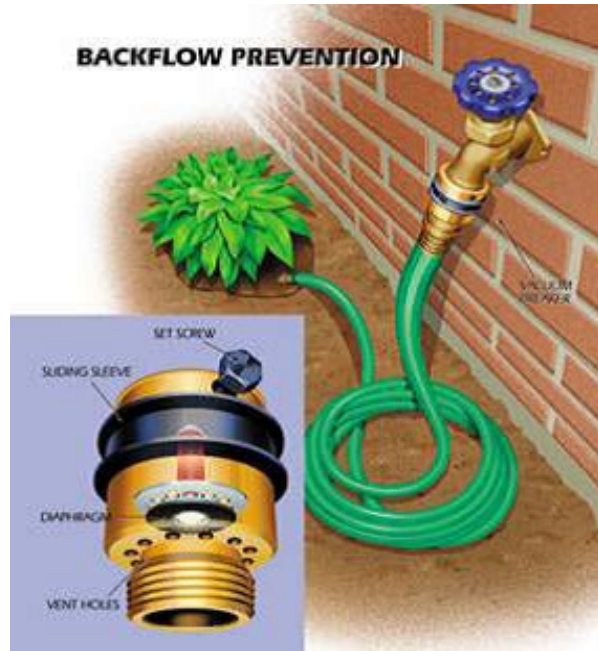


Containment:
Water supply protection
from the property's
entire plumbing system.

Containment
backflow
preventer



This is an outside RPBA premises isolation installation installed just after the water meter on private property.



Who Is Affected

- All water customers need to ensure that a backflow preventer is initially installed correctly and maintained continuously.
 - This is not handled one-time as a building permit condition
 - Initial testing and inspection must be accomplished
 - Annual (*or more often*) testing completed
- Grand-fathering of cross-connections **not allowed**

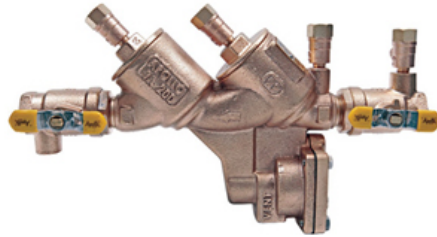
Where Are Cross-Connections Found

Any potential health hazard needs to be isolated with a backflow preventer.

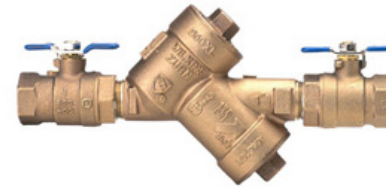
- Typical examples can be found online at [Assessment of Hazard and Selection of Assemblies \(30 TAC 290.47\(f\)\)](#)
 - Wash basins/service sinks
 - Lab and aspirator equipment
 - Solar heat/water recirculating equipment
 - Industrial/commercial processing equipment/tanks
 - Irrigation systems
 - Boilers
 - Chillers
 - Swimming pools
 - Fire sprinkler systems
 - Carbonated beverage dispensers
 - Chemically injected dishwashers, laundry equipment
 - Car washes



Types Of Backflow Preventers



Reduced Pressure Backflow Prevention Assembly (RP)



Double check valve assembly (DC)



Pressure Vacuum Breaker Assembly (PVB)



Spill-Resistant Pressure Vacuum Breaker Assembly (SVB)

Typical Installations

- **Residential**

- Hose bib “atmospheric vacuum breakers” (*AVBs on faucets*)
- Irrigation systems
- Automatic pool fill
- Water Softeners

- **Commercial**

- Mainline
- Fireline
- Irrigation systems
- All “point-of-use” hazards



Typical Causes For Failed Inspections

- Incorrect type of assembly for the hazard
- Missing assemblies (*hazard not isolated*)
- Inaccessible
- Inadequate freeze protection
- Test report not available
- Installations not done per plans
- Plans not available on site



Online Testing, Tracking, And Reporting

- Please enter backflow preventer testing reports here:
 - [Vepo, LLC \(vepollc.com\)](http://vepollc.com)



Contractors Should:

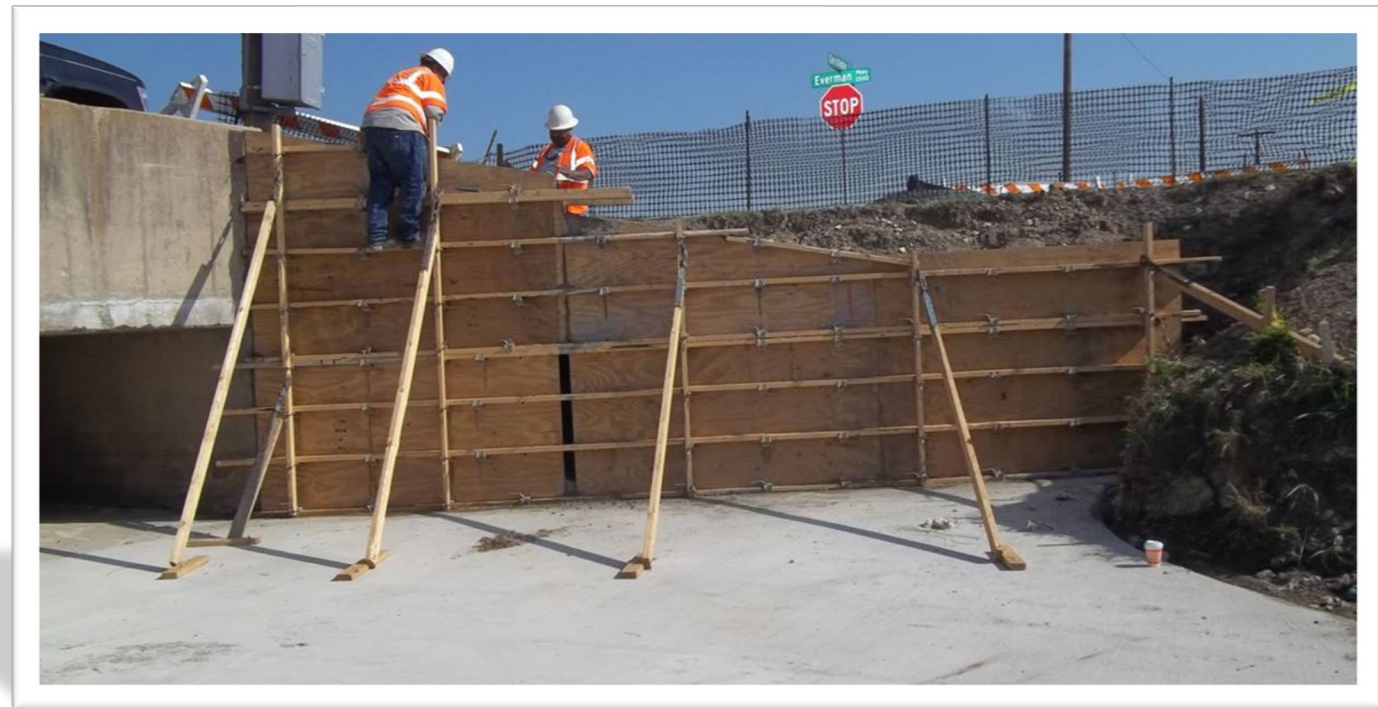
- Ensure backflow preventers **are specified** on plans
 - Correct type for hazard present
 - Installed according to standards
 - Accessible
- Construct according to the **approved plan review set**
- Have assemblies tested (*and data entered in the online database VEPO*) **prior** to calling for inspection

Don't wait until the last minute, prior to the plumbing final, to request an inspection

Backflow: Additional Information

- For more information, please visit:

[Backflow and Cross Connection Control – Welcome to the City of Fort Worth \(fortworthtexas.gov\)](#)



Thank You



Building Permit Inspections

Kevin Yarbrough

Inspection Team

Supervisor

• Kevin Yarbrough

Supervisor

• James Quinn

Supervisor

• Carl Spangler

International Codes, Complete Collection

Inspection Types:

- Building
- Energy
- Mechanical
- Electrical
- Plumbing and Gas
- Enforcement
- Signs
- Gas Wells
- Residential
- Parkway
- Change of Use
- Temporary, Limited & Permanent Certificates of Occupancy



Inspection Districts

INSPECTION SPECIALISTS

Covers Approximately Two Districts

Mike Piorkowski	Vacant Electrical	John Wicketts
Sam Caricato	Rene Rodriguez	Thomas Cooper
Mark McVay	Greg Compton	Billy Strong

SENIOR COMBINATION INSPECTORS

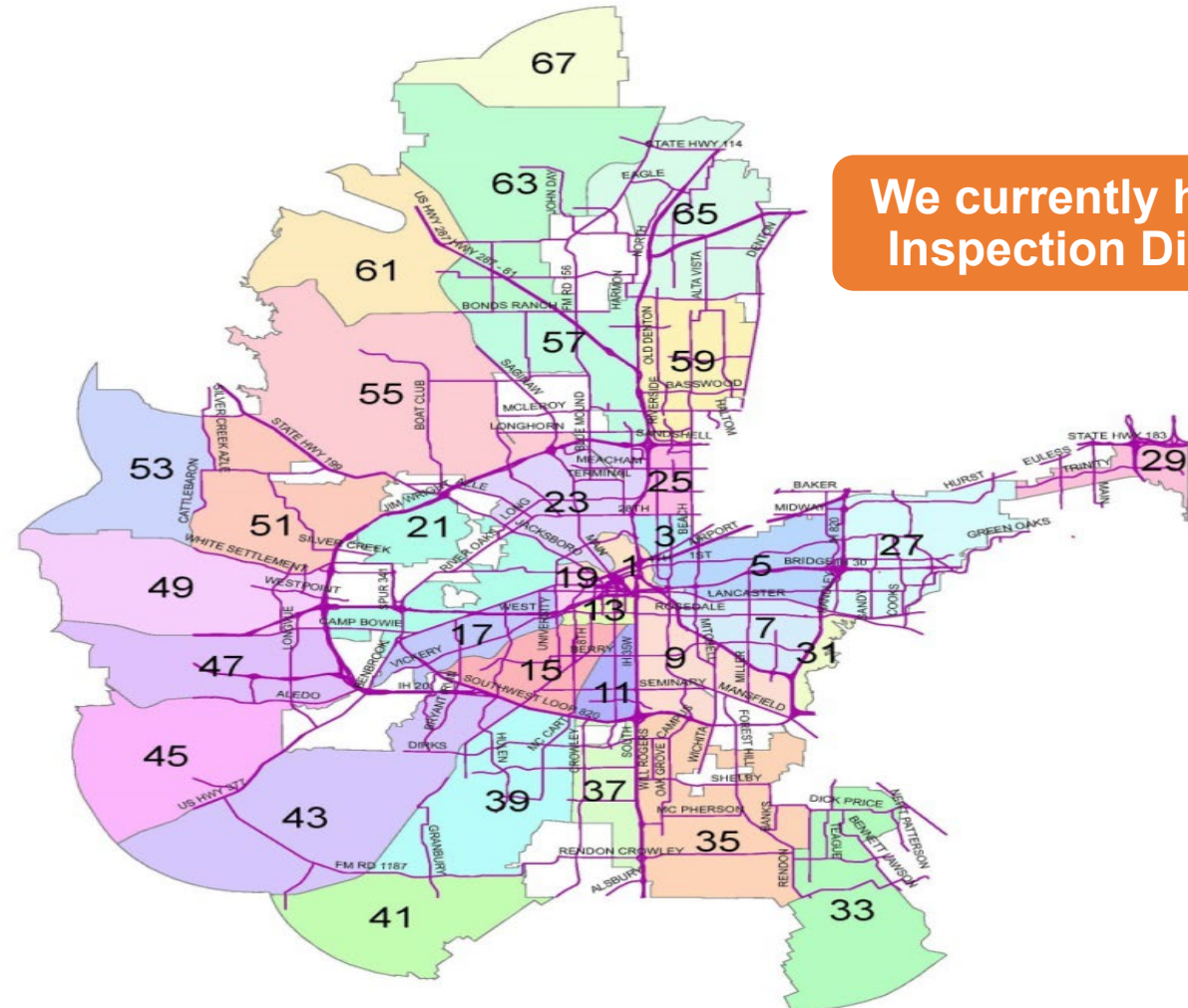
Covers Approximately Three Districts

Dan Johanson	Brenden Sexton	Steven Yoder
Raul Pecina	Robert Litsinger	Daniel Ney
Douglas Hale	Robbie Middleton	Vacant
Vacant	Vacant	
Vacant	Vacant	

COMBINATION INSPECTORS

Covers Approximately Three Districts

Gustavo Vallejo	Rod Parker
D'Andre Williams	Rey Salinas
Vacant	Vacant



We currently have 33 Inspection Districts

Building Inspections

Building Inspections Consist Of:

- Stakeout
- Piers
- Foundation
- Framing
- Insulation
- Firewall
- Energy
- Final



Mechanical Inspections

Mechanical Inspections Consist Of:

- Rough
- Ceiling
- Duct
- Hood
- Energy
- Final



Electrical Inspections

Electrical Inspections Consist Of:

- T-Pole
- Underground
- Rough
- Ceiling
- Energy
- Final



Plumbing Inspections

Plumbing Inspections Consist Of:

- Underground (Water/Sewer)
- Top Out
- Gas
- Energy
- Final



Change Of Use

- Four trade ordinance
- Trade permits if needed
- Repairs required for new use
- Inspections on specific work
- Final trade permits
- Final change of use ordinances



Certificates Of Occupancy

60 Day Limited Expires 3/1/2018
CITY OF FORT WORTH • PLANNING AND DEVELOPMENT DEPARTMENT • BUILDING INSPECTION DIVISION
CERTIFICATE OF OCCUPANCY

Lot _____ Block _____ Legal Description _____
 Street Address of _____
 (Building) Room, Area 204 Magnolia Ave Date 1/1/2018

LAND USE

I have examined the City of Fort Worth Official Zoning District Map and do hereby certify that the above described land is zoned 4 D. This land can be used as a Restaurant - limited to furniture & fixtures only

BUILDING USE

Permit No. PB This is a type IB Sprink Ala structure.

I have inspected this (building) (room) (area) and find that it is or can be used as a Group A, Division 2, Occupancy Classification as defined by the City of Fort Worth Building Code and, when used by such Occupancy Classification, will comply with all pertinent laws and ordinances. (If B2 storage, annotate high-piled combustible storage as B2-H.)

Owner _____ Building Official _____
 Owner's _____
 Address _____ Issued by _____

FORT WORTH

_____ 100 _____
 the premises.

Limited Certificate of Occupancy (L.C.O)

FORT WORTH
 CITY OF FORT WORTH - PLANNING AND DEVELOPMENT DEPARTMENT
CERTIFICATE OF OCCUPANCY

Street Address: **15201 BLUE MOUND RD** Date: **02/25/2021**
 Legal Description: **NORTHPOINT ALLIANCE INDUSTRIAL PARK BLK 1; LOT 1**
 Upon reviewing the City of Fort Worth Zoning records on the date of application, it was determined the above land is zoned K. Permitted Land Use per Building Code: **Office - Office**

BUILDING USE

Permit No. **PO20-02366**

I have inspected this (building) (room) (area) and find that as defined by the City of Fort Worth Building Code and when used by such Occupancy Classification, will comply with all pertinent laws and ordinances. (Annotate high-piled combustible storage as -H.) The property will have the following classification:

Occ Class	Const Type	Square Feet	Occ Load	Use Description
B	IIB	27405	274	OFFICE WITH MEZZ ANNEXATION CO ONLY
S-1	IIB	1026553	250	WAREHOUSE ANNEXATION CO ONLY
U	IIB	8787	87	RESTROOMS ANNEXATION CO ONLY

Occupant: ARIAT BLDG 2
Owner: NP-OV FORT WORTH PROJECT 1, LLC
 4825 NW 41st Street, Suite 500
 RIVERSIDE, MO 641500000

Building Official: Allison Gray
Code Compliance Approval:
Issued By: J. JONES

our compliance with the building code will prevent liability for
 conspicuous place on the premises.

Certificate of Occupancy (C.O.)

Limited Certificates of Occupancy

- Occupancy or use of unfinished buildings
- 60 days maximum
- \$300 fee
- Requires all trade, Backflow & Fire approvals
- Fixture, furniture, stocking, training, occupy

CITY OF FORT WORTH • PLANNING AND DEVELOPMENT DEPARTMENT • BUILDING INSPECTION DIVISION
CERTIFICATE OF OCCUPANCY

Lot _____ Block _____ Legal Description _____
Street Address of Building, Room, Area _____ Date _____

I have examined the City of Fort Worth Official Zoning District Map and do hereby certify that the above described land is zoned _____. This land can be used as a _____

Permit No. _____ This is a type _____ structure.
I have inspected this (building) (room) (area) and find that it is or can be used as a Group _____, Division _____, Occupancy Classification as defined by the City of Fort Worth Building Code and, when used by such Occupancy Classification, will comply with all pertinent laws and ordinances. (If B2 storage, annotate high-piled combustible storage as B2-H.)

Owner _____ Building Official _____
Owner's Address _____ Issued by _____

The occupant load of this (building) (room) (area) shall not exceed _____.
The Building Code requires that this certificate be posted in a conspicuous place on the premises.



Certificates Of Occupancy

- Permanent
- All trade, Backflow and Fire finals
- Landscaping
- Address

FORT WORTH
CITY OF FORT WORTH - PLANNING AND DEVELOPMENT DEPARTMENT
CERTIFICATE OF OCCUPANCY

Street Address: 15291 BLUE MOUND RD Date: 8/25/2021
 Legal Description: NORTHPOINT ALLIANCE INDUSTRIAL PARK BLK 1, LOT 1
 Upon reviewing the City of Fort Worth Zoning records on the date of application, it was determined the above land is zoned K. Permitted Land Use per Building Code: Office - Office

BUILDING USE

Permit No: P028-02248

I have inspected this building (room) (area) and find that as defined by the City of Fort Worth Building Code and when used by such Occupancy Classification, will comply with all pertinent laws and ordinances. (Associate high-piled combustible storage as -H.) The property will have the following classification:

Occ. Class	Code Type	Square Feet	Occ. Load	Use Description
O	OB	27425	274	OFFICE WITH MEZZ ANNEXATION CO-ONLY
S-1	SB	102003	250	BARBERSHOP ANNEXATION CO-ONLY
U	UB	8767	87	RESTROOMS ANNEXATION CO-ONLY

Designated: ARIAT BLDG 2
 Owner: NP OV FORT WORTH PROJECT 1, LLC
 4025 NW 41st Street, Suite 500
 REVERSIDE, MO 641500000
 Legal nonconforming: No
 LNC Approved by:

Building Official: Allison Gray
 Code Compliance Approval:
 Issued By: J. JONES



Thank You



Consumer Health

Lori Milliner

Consumer Health Team

Superintendent	• Wyndie Turpen
Supervisor	• Leticia Cordero
Supervisor	• Arturo Franco
Supervisor	• Jordan Balusek
Senior Consumer Health Specialist/ Accela Team	• Lori Milliner
Accela Team	• Alejandra Vargas
Accela Team	• Leona Veseli

Consumer Health

Compliance Items

- A residence (home) may not be used as a food establishment
- The location should be connected to City water and sewer or must meet state and local requirements
- Space must be provided for employee belongings
- Employees must have conveniently accessible restrooms
- Customers may not go through the kitchen or food preparation areas to access the restrooms

Consumer Health

What Will Consumer Health Look for?

- Where Food Will Enter the Building
- Where Food will be Stored
- How Food will be Cooked/Prepared
- How Food Will Leave the Kitchen and be Served to the Public
- How Dirty Dishes are Washed and the Clean Dishes are Stored

Consumer Health

What Is Reviewed Within The Submitted Plans?

- The site plan and MEP (mechanical, electrical, plumbing), the equipment schedule, finish schedule, and copy of the menu
- If there are any alterations to the approved plans, Consumer Health must be notified
- The Certificate of Occupancy must be obtained **BEFORE** a health permit is issued

Consumer Health

What Are The Standards For Floors, Walls And Ceilings?

- Wall and ceiling surfaces must be smooth, non-absorbent, easy to clean, and light in color
 - *Consumer areas such as dining rooms do not need to meet this requirement if they are kept clean*
- Studs, joists, and rafters may not be exposed in areas subject to moisture. Drop-down ceilings are required in kitchens, services station, bars, self-service areas, and restrooms
- Carpeting is not permitted in food preparation areas, restrooms, garbage areas, or any areas subject to moisture
- Exposed utility lines and pipes may not be installed on the floor



Consumer Health

What Plumbing Standards Need To Be Achieved?

- Hand washing sinks must be conveniently located and provided within 15 feet of food preparation and service, ware-washing, and inside restrooms
- A three-compartment sink is required to manually wash dishes
- A mop sink or utility sink is required
- A food preparation sink may be required to wash produce or thaw meat

Consumer Health

What Plumbing Standards Need To Be Achieved (continued)...

- Backflow prevention
- Grease traps should be located outside
- Must provide Indirect connections from sewage systems to any drains originating from equipment where food or equipment is placed
- Hot water heaters should be sized to be sufficient for meeting peak demands
- Floor drains provided for cleaning purposes



Consumer Health

What Health Standards Are Considered Eligible for Variance?

- Outer openings
- Three Compartment Sink
- Approval is based upon his operations and his kitchens compliance with health review



Consumer Health

Are Health Inspections Required During Construction?

- Pre-operational inspection is conducted at least 7-10 days before construction is scheduled to end
- Final inspection once the certificate of occupancy is obtained
 - Health permit issued at this time



Thank You



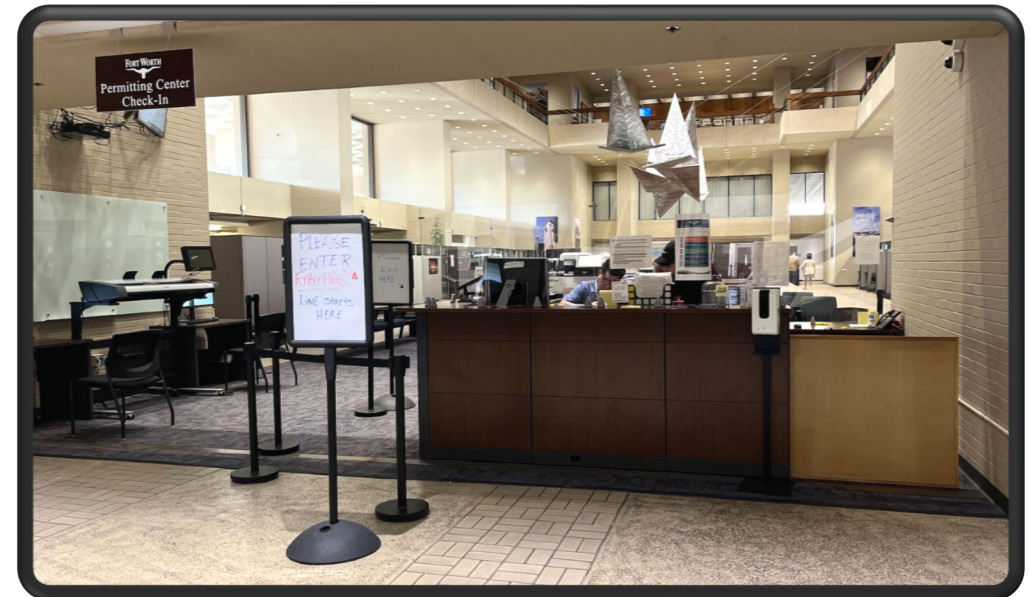
Development Process Charts

- Navigate the City's different development review processes:
 - [Development Process Chart](#)

Wrap Up

For Additional Information, Please Access:

- [Development Services](#)
- [City Staff Contact Information](#)



Development 101 SURVEY

- Let us know your thoughts about the class!

Scan the QR code



OR

use www.surveymonkey.com/r/DEV101

