



NEIGHBORHOOD GROUP NOTICES

A zoning change is requested for the property shown on the attached map. You are listed as an organization within a ½ mile of the proposed change. The purpose of this notice is to provide you with an opportunity for public comment.

You may:

1. Attend the public hearing to present your views and opinions or just merely to observe the proceedings; or
2. Provide a written statement to the Chair of the Commission expressing your support, concerns, or opposition to this case; or
3. Take no further action

Approval or denial of the proposed zoning change by the Zoning Commission is only a recommendation to the City Council. City Council makes the final determination on the outcome of a zoning change.

If you want to comment on this case, please return the form below with any additional written commentary. Letters can be submitted via mail or email as described below. Please submit your response by the Monday before the hearing by 5:00 pm. All letters should reference the relevant case number.

Email: zoninglanduse@fortworthtexas.gov

Mail: Chair of the Zoning Commission
c/o Development Services, City Hall
100 Fort Worth Trail, Fort Worth, TX 76102

To register to speak at the Zoning Commission hearing, please visit fortworthtexas.gov/calendar and select the Zoning Commission meeting date. The deadline for speaker registration is 5:00 p.m. the day before the hearing.

To register to speak at the City Council hearing, please visit fortworthtexas.gov or contact the City Secretary's Office at 817-392-6150.

PUBLIC HEARING DATES	
Zoning Commission	
City Council	
Location: 100 Fort Worth Trail; Council Chambers	
LOCATION MAP	

Case Number:		
Applicant:	Site Address:	Council District:
Current Zoning:	Proposed Zoning:	Proposed Use:

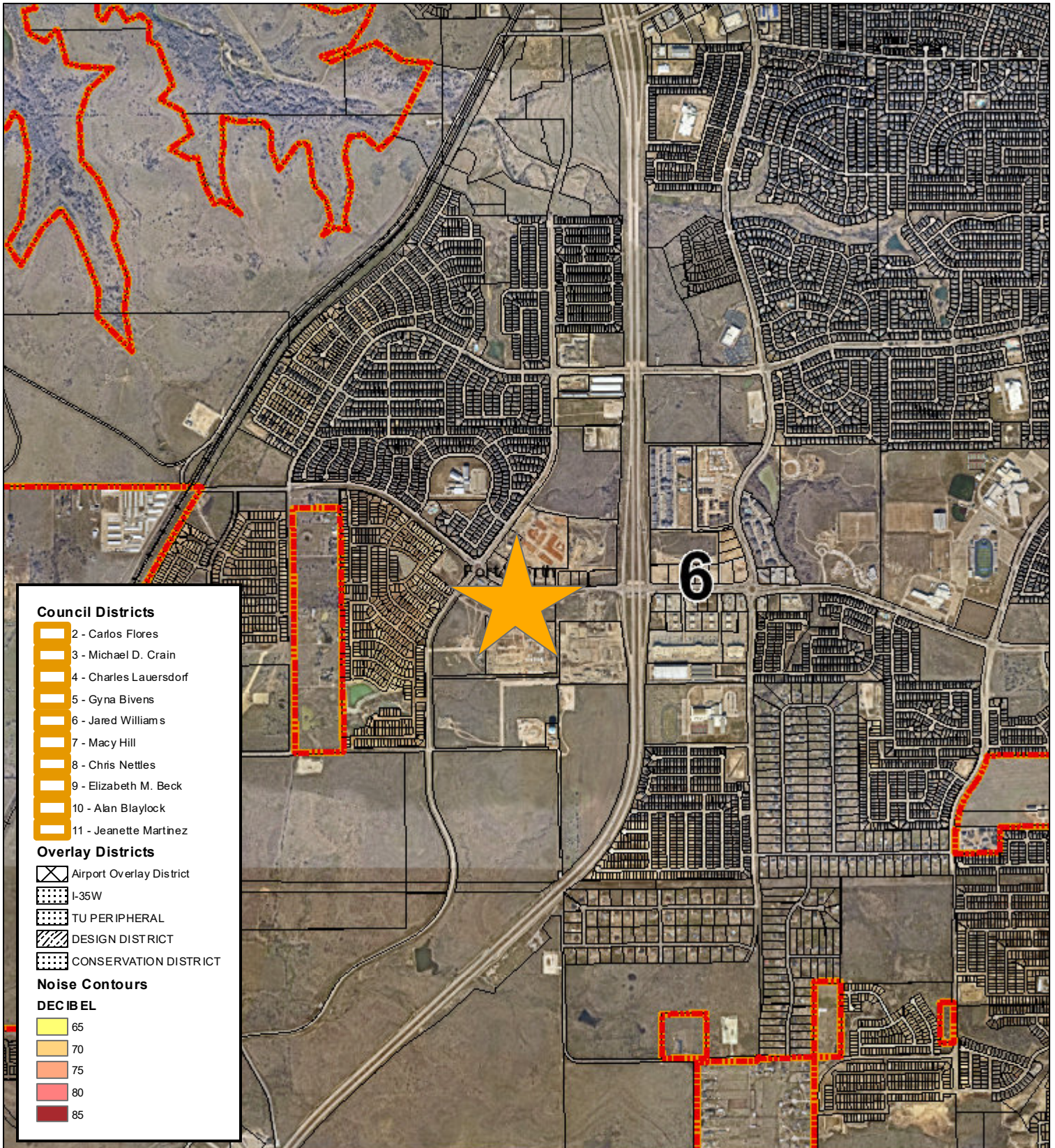
Please complete the section below for your organization, or send a separate letter to the email or mailing address listed above.

Organization Name:	Oppose	Support
Signature of Representative:	Printed Name of Representative:	

Aerial Photo Map



Area Map



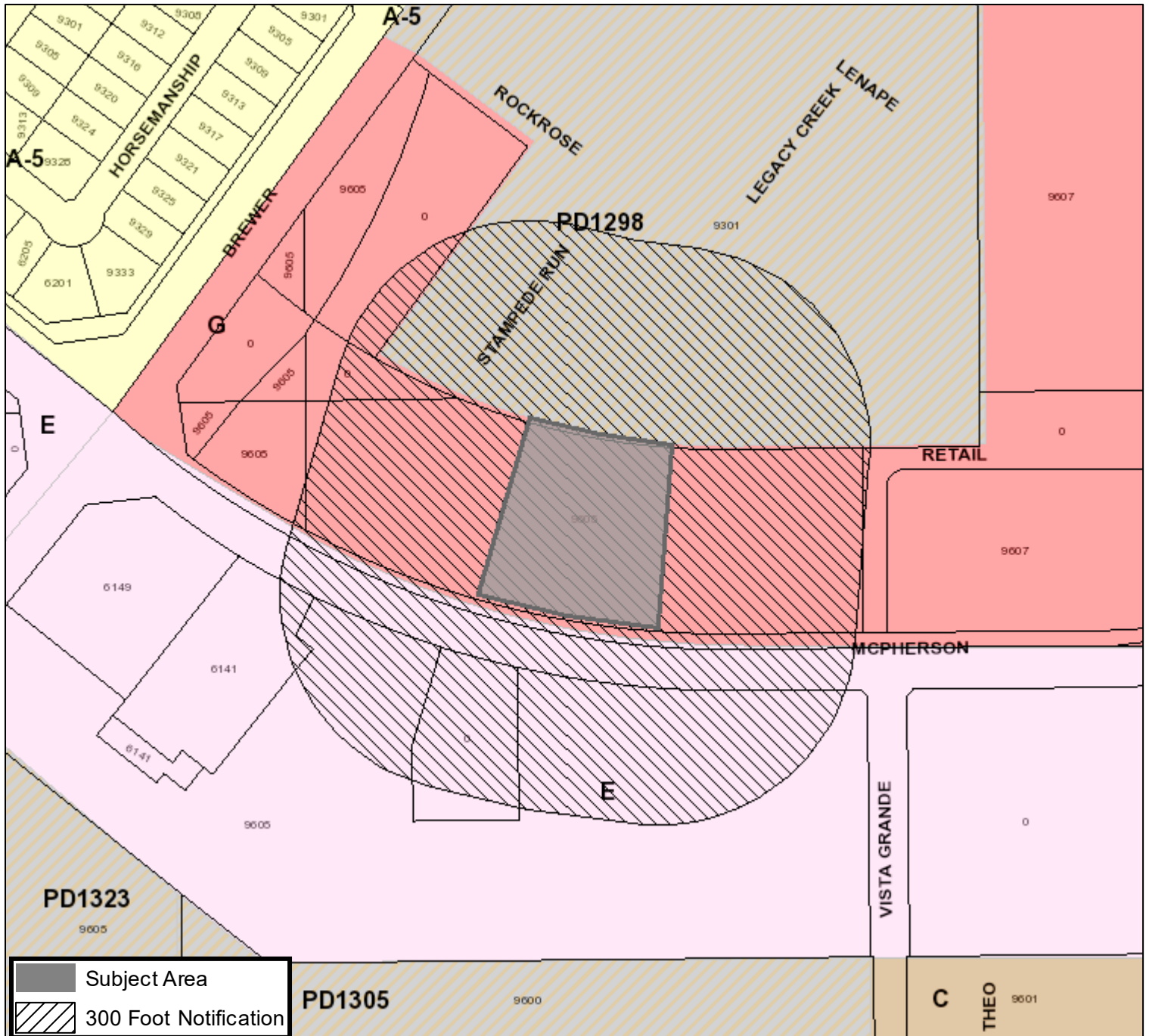
0 1,000 2,000 4,000 Feet



ZC-25-151

Area Zoning Map

Applicant: Chisholm Trail Center, LP/MasterPlan
Address: 6041 McPherson Boulevard
Zoning From: G
Zoning To: Add Conditional Use Permit for automated car wash
Acres: 1.61
Mapsc0: Text
Sector/District: Far Southwest
Commission Date: 10/8/2025
Contact: 817-392-8190



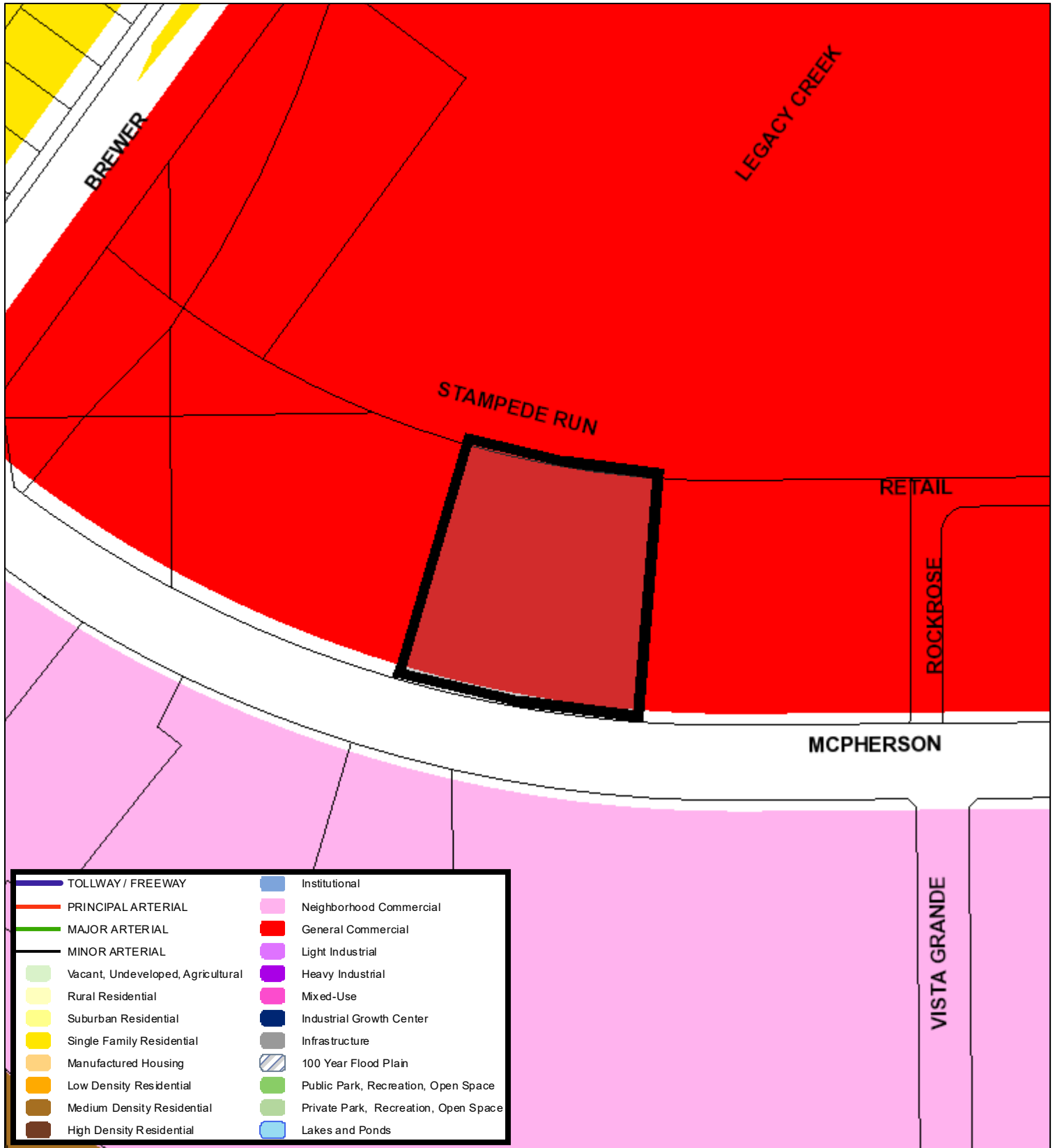
0 110 220 440 Feet

Created: 9/15/2025 5:37:42 PM



ZC-25-151

Future Land Use



150 75 0 150 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.

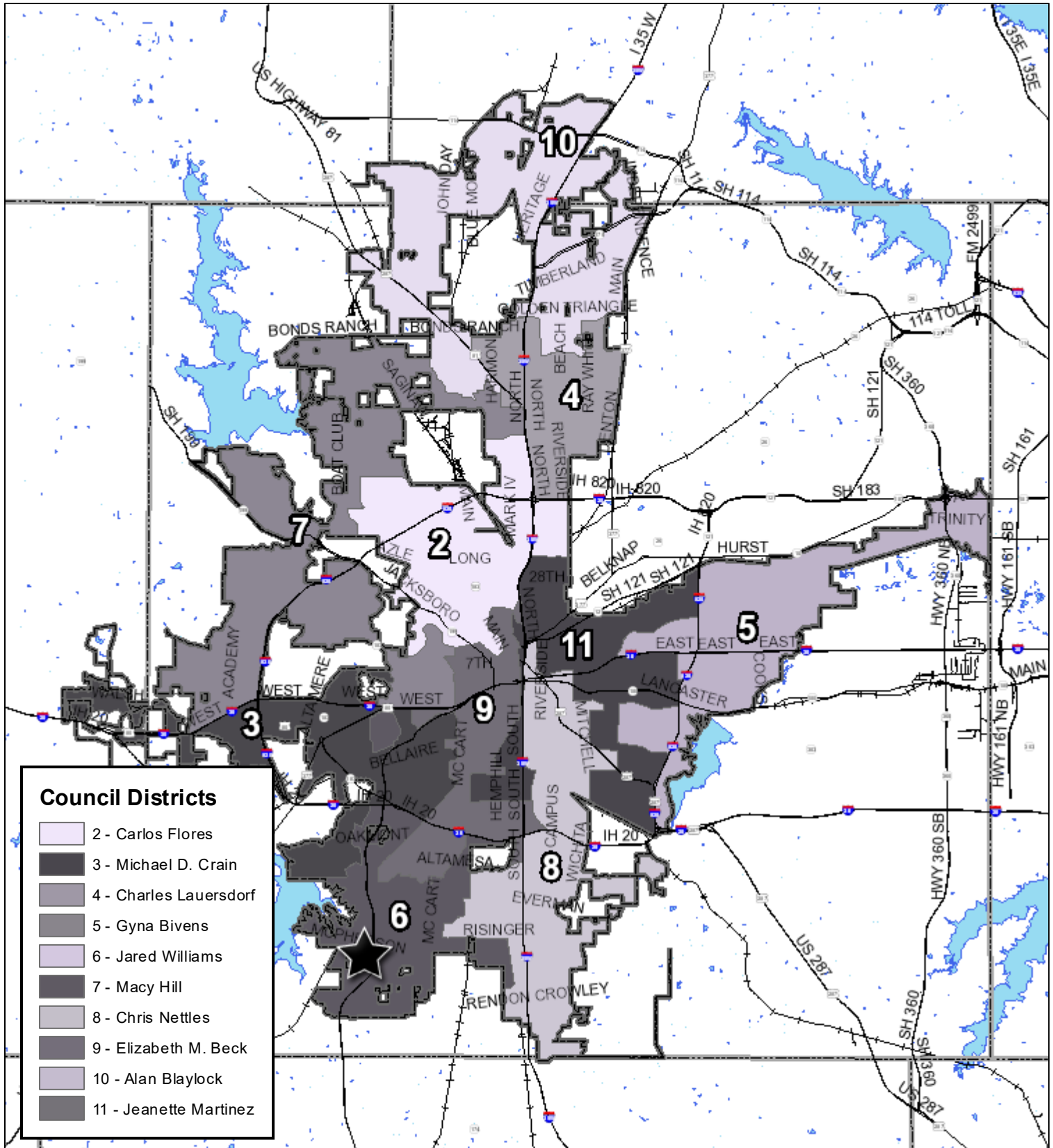


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ZC-25-151

Location Map



0 2.5 5 10 Miles



ZONING CHANGE / SITE PLAN APPLICATION

CONTACT INFORMATION

PROPERTY OWNER Chisholm Trail Center, LP

Mailing Address 7001 Preston Rd, Ste 410 City, State, Zip Dallas, TX 75204

Phone _____ Email _____

APPLICANT Super Star Car Wash

Mailing Address 960 W Behrend Ave, Ste 1 City, State, Zip Phoenix, AZ 85027

Phone 602-363-8379 Email psweetser@sscwaz.com

AGENT / OTHER CONTACT Andrew Ruegg - Masterplan

Mailing Address 3333 Welborn St, Ste 400 City, State, Zip Dallas, TX 75219

Phone 214-998-0096 Email andrew@masterplanconsultants.com

Note: If the property owner is a corporation, partnership, trust, etc., documentation must be provided to demonstrate that the person signing the application is legally authorized to sign on behalf of the organization.

PROPERTY DESCRIPTION

Site Location (Address or Block Range): 9605 Old Granbury Rd (East corner of McPherson Blvd & Brewer Blvd)

Total Rezoning Acreage: 1.606 ☐ I certify that an exhibit map showing the entire area to be rezoned is attached.

If multiple tracts are being rezoned, the exhibit map must clearly label each tract and the current and proposed zoning districts. A platted lot description or certified metes and bounds description is required for each tract, as described below.

Is the property platted?

☒ YES - PLATTED

Subdivision, Block, and Lot (list all): Lot 12, Block 7 - Chisholm Ranch Trail

Is rezoning proposed for the entire platted area? ☒ Yes ☐ No Total Platted Area: 1.606 acres

Any partial or non-platted tract will require a certified metes and bounds description as described below.

☐ NO – NOT PLATTED

A Registered Texas Surveyor's certified metes and bounds legal description is required. The boundary description shall bear the surveyor's name, seal, and date. The metes and bounds must begin at a corner platted lot or intersect with a street. All metes and bounds descriptions must close. If the area to be rezoned is entirely encompassed by a recorded deed, a copy of the deed description is acceptable. The certified metes and bounds description must be provided in Microsoft Word format.

Total Area Described by Metes and Bounds: _____ acres

APPLICATION TYPE

Please check the box next to the description that applies to your project. Make sure to select the corresponding application type when submitting your application in Accela (Zoning Change or Site Plan Amendment).

Zoning Change Application	Site Plan Amendment
<input type="checkbox"/> Rezoning from one standard zoning district to another <input type="checkbox"/> Rezoning to Planned Development (PD) District <input type="checkbox"/> Adding a Conditional Use Permit (CUP) Overlay <input type="checkbox"/> Modifying development standards, waivers, and/or land uses for an existing PD or CUP	<input type="checkbox"/> Submitting a required site plan for an existing PD (no change to development standards or waivers) <input type="checkbox"/> Amending a previously approved PD or CUP site plan Existing PD or CUP Number: _____ Previous Zoning Case Number: _____

DEVELOPMENT INFORMATION

Current Zoning District(s): G - Intensive Commercial
 Proposed Zoning District(s): G - Intensive Commercial w/ CUP

Current Use of Property: Undeveloped

Proposed Use of Property: Car Wash

For Planned Development (PD) Requests Only

First, reference Ordinance [Section 4.300](#) to ensure your project qualifies for PD zoning. If so, complete the following:

Base Zoning District Proposed for PD: _____

Land Uses Being Added or Removed: _____

Are Development Standards or Waivers being requested? ☐ Yes ☐ No If yes, please list below:

- ☐ Site Plan Included (completed site plan is attached to this application)
- ☐ Site Plan Required (site plan will be submitted at a future time for approval by Zoning Commission and City Council)
- ☐ Site Plan Waiver Requested (in the box above, explain why a waiver is needed)

For Conditional Use Permit (CUP) Requests Only

Current Zoning of Property: G - Intensive Commercial

Additional Use Proposed with CUP: Car Wash

Are Development Standards or Waivers being requested? ☐ Yes ☒ No If yes, please list below:

☒ A site plan meeting requirements of the attached checklist is included with this application (required for all CUP requests)

DETAILED PROJECT DESCRIPTION

Please provide a detailed summary of your proposal below. This should include a detailed description of the proposed use and reason for rezoning, how this use is compatible with surrounding land uses and the City's Comprehensive Plan, and any other details relevant to your request. Feel free to attach additional pages, concept plans, etc. as needed.

For PD or CUP requests, please explain why your proposal cannot be accommodated by standard zoning districts, clarify if any waivers are being requested and why, and detail any changes from previously approved site plans or development standards.

CUP for Car Wash use in G (Intensive Commercial) zoning district. Super Star Car Wash is a national brand and industry leader in utilizing the most current car wash technologies and resource conservation efforts. Additionally, Super Star Car Wash strives to be a valued member of the community it serves through community partnerships and charitable initiatives throughout DFW and the nation

ADDITIONAL QUESTIONS

1. **Is this property part of a current Code Compliance case?** ☐ Yes ☒ No If yes, please explain:

2. **Is the purpose of this request to provide a reasonable accommodation for a person(s) with disabilities?** ☐ Yes ☒ No

If yes, this application will be directed to the Development Services Director or Zoning Administrator for review pursuant to Ordinance No. 22098-03-2016, "Reasonable Accommodation or Modification for Residential Uses." Applications under a Reasonable Accommodation Ordinance review will not be heard by the Zoning Commission. Please see Ordinance No. 22098-03-2016 (Chapter 17, Division V) for more information. *(Note to staff: If yes, send a copy of this application and any attachments to the Zoning Administrator as soon as possible.)*

3. **Have you contacted the relevant Council Member to discuss your proposal?** ☒ Yes ☐ No [Click to find your Council District.](#)

4. **Have you contacted nearby neighborhood organizations and property owners to discuss your proposal?** ☒ Yes ☐ No

The [Fort Worth Neighborhood Database](#) includes contact information for each registered organization. To find a list of organizations in close proximity to your site, please use the [Online Zoning Map](#) or contact [Community Engagement](#). All registered groups within ½ mile of your site and property owners within 300 feet will be notified of the request.

5. **Would you need Translation Services to explain your case and answer questions at either the Zoning Commission and/or at City Council hearing?** (at no cost to you)

¿Va usted a necesitar servicios de traducción para explicar y contestar preguntas sobre su caso ante la Comisión de Zonificación y/o frente al Consejo de la Ciudad? (sin coste para usted) ☐ Sí ☒ No

If yes, please explain in which language you need translation/ *Si así lo quiere, explique en qué idioma:* _____

6. **The following items are required with your application.** Please confirm submittal by checking each item below.

- ☐ Completed copy of Zoning Change Application with original signatures (pages 2-6)
- ☐ Corporate documents demonstrating signature authority if property owner is a corporation, partnership, trust, etc.
- ☐ A copy of the recorded plat or certified metes and bounds description (page 2)
- ☐ An exhibit map showing the entire area to be rezoned with labels for current and proposed zoning districts
- ☐ If requesting Planned Development (PD) zoning or a Conditional Use Permit (CUP):
 - ☐ Site Plan meeting requirements of attached checklist (pages 7-8)
 - ☐ A list of all waiver requests with specific ordinance references

ACKNOWLEDGEMENTS / LETTER OF AUTHORIZATION FOR ZONING CASE REPRESENTATION

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now, or will be, fully prepared to present the above proposal before the Zoning Commission and City Council public hearings. I further certify that I have read and understand the information provided, concerning the policies and procedures regarding consideration of my zoning request.

I understand that Planning staff will not conduct a plan review for this development and any and all development / design standards must be adhered to unless otherwise specified through a waiver.

I understand that all recommendations of the Zoning Commission will be forwarded to the City Council for final determination, normally scheduled for the second Tuesday of the following month. I further understand that any actions of the Zoning Commission are considered recommendations to the City Council and that I may be heard by the City Council at the prescribed Council hearing date where a final decision will be made.

I further understand that if I am not present nor duly represented at the Commission's public hearing, the Zoning Commission may dismiss my request, which constitutes a recommendation that the request be denied. I further understand that if I am not present, or duly represented, at the City Council public hearing, the City Council may deny my request.

I reserve the right to withdraw this proposal at any time, within 14 days of the deadline filing date, upon written request filed with the Executive Secretary of the Commission. Such withdrawal shall immediately stop all proceedings thereon; provided, however, case withdrawal, filed any time after the 14 days following the filing deadline, shall constitute a denial by the Commission and City Council. I understand my filing fee is not refundable upon withdrawal of my case application after public notice, nor following denial by the Commission or Council of my case. I / we respectfully request approval and adoption of the proposed zoning / land use of property, within the City of Fort Worth, as identified in this application.

SIGN INSTALLATION AUTHORIZATION

Authority is hereby granted to the City of Fort Worth, or its agent, to install upon the above described property, sign or signs in a conspicuous place, or places, at a point, or points nearest any right-of-way, street, roadway or historic designation, or, special exception or public thoroughfare abutting said property. Such sign or signs indicate that a zoning amendment is proposed and that further information can be acquired by telephoning the number indicated. I shall inform City Staff if the sign is removed, lost, or otherwise ceases to be displayed on my property during the processing of the zoning case.

Owner's Signature (of the above referenced property): Robert Dorazil

Owner's Name (Printed): Robert V. Dorazil, Manager

If application is being submitted by an applicant or agent other than the property owner, complete the section below:

AUTHORITY IS HEREBY GRANTED TO (NAME) Andrew Ruess, Masterplan ACTING ON MY BEHALF AS THE OWNER OF THIS PROPERTY AS INDICATED AT THE APPRAISAL DISTRICT, TO FILE AND PRESENT AN APPLICATION TO THE CITY OF FORT WORTH, TEXAS, TO REQUEST A CHANGE IN ZONING CLASSIFICATION FOR THE FOLLOWING PROPERTY:

1.606 ACRES - LOT 12, BLOCK 7 - CHISHOLM RANCH TRAIL (CERTIFIED LEGAL DESCRIPTION)

Chisholm Trail Center, LP
By: UCD Chisholm Trail GP, LLC its General Partner

Robert Dorazil
Owner's Signature (of the above referenced property)

Robert V. Dorazil, Manager
Owner's Name (Printed)

Andrew Ruess, Masterplan
Applicant or Agent's Signature

Andrew Ruess, Masterplan
Applicant or Agent's Name (Printed)



SITE PLAN CHECKLIST AND REQUIREMENTS

Planned Development (PD) and Conditional Use Permit (CUP) Requests

Items to be Shown on All Site Plans

Project Identification:

- ☐ Site Address and Legal Description
- ☐ Title of project or development (in bold letters) in the lower righthand corner of the plan
- ☐ Date of preparation or revision, as applicable
- ☐ Name, address, and telephone number of engineer, architect, surveyor, and developer/owner
- ☐ Vicinity map, north arrow, and scale
- ☐ Label the zoning case number in the lower righthand corner of the plan, below the title
- ☐ Provide a signature line labeled: "Director of Development Services" with a "Date" line above the project title

Site Conditions:

- ☐ Buildings and Structures – The location and dimensions of all existing and proposed buildings and structures on the site, including those proposed for removal; the specific category of land/occupancy use(s) to be contained therein; the gross floor area, number of stories, land density per net acre of any residential buildings to remain or proposed, building height and separation, exterior construction material(s); and the location of all entrances and exits to buildings.
- ☐ Streets, Parking, and Drives – The location, paving and Right-of-Way widths, dimensions, and type(s) of all existing and proposed surface materials of perimeter and internal public and private streets, driveways, entrances, exits, parking and loading areas, including the number of off-street parking and ADA spaces, access ramps, wheel stops/curbing, and internal vehicular circulation pattern(s) or flow diagrams.
- ☐ Supplemental Surfaces – The types of surfacing i.e. grass turf, gravel, walks, etc. elsewhere existing or proposed on the site that is not proposed for vehicular paving and circulation.
- ☐ Dumpsters/Air Conditioners/Compactors – The size and location of all garbage containers, compactors, ground mounted air conditioners, etc., including the screening material identification and height thereof.
- ☐ Fences and Screening – Location, material, and height of all screen fences, walls, screen plantings, or bufferyards.
- ☐ Setbacks and Easements – Show all utility, drainage, and other easements, and all setbacks as appropriate to the zoning district and recorded plats.
- ☐ Land Use and Zoning – Label the land use and zoning classifications of both the site area and the immediately adjacent properties abutting the site.
- ☐ For Multifamily Site Plans - Provide a diagram showing areas being counted towards open space. If a waiver is required, provide a specific minimum percentage or other language defining how open space will be calculated for your project.

General Notes:

The following notes should be included on all site plans:

- ☐ This project will comply with [Section 6.301, Landscaping](#).
 - ☐ *Note: For multifamily projects, revise this note to state: "This project will comply with Enhanced Landscaping Requirements for Section ____." (reference section for your specific zoning district)*
- ☐ This project will comply with [Section 6.302, Urban Forestry](#).
- ☐ All signage will conform to [Article 4, Signs](#).
- ☐ All provided lighting will conform to the Lighting Code.

For multifamily projects in CR, C, or D districts, also include the following note:

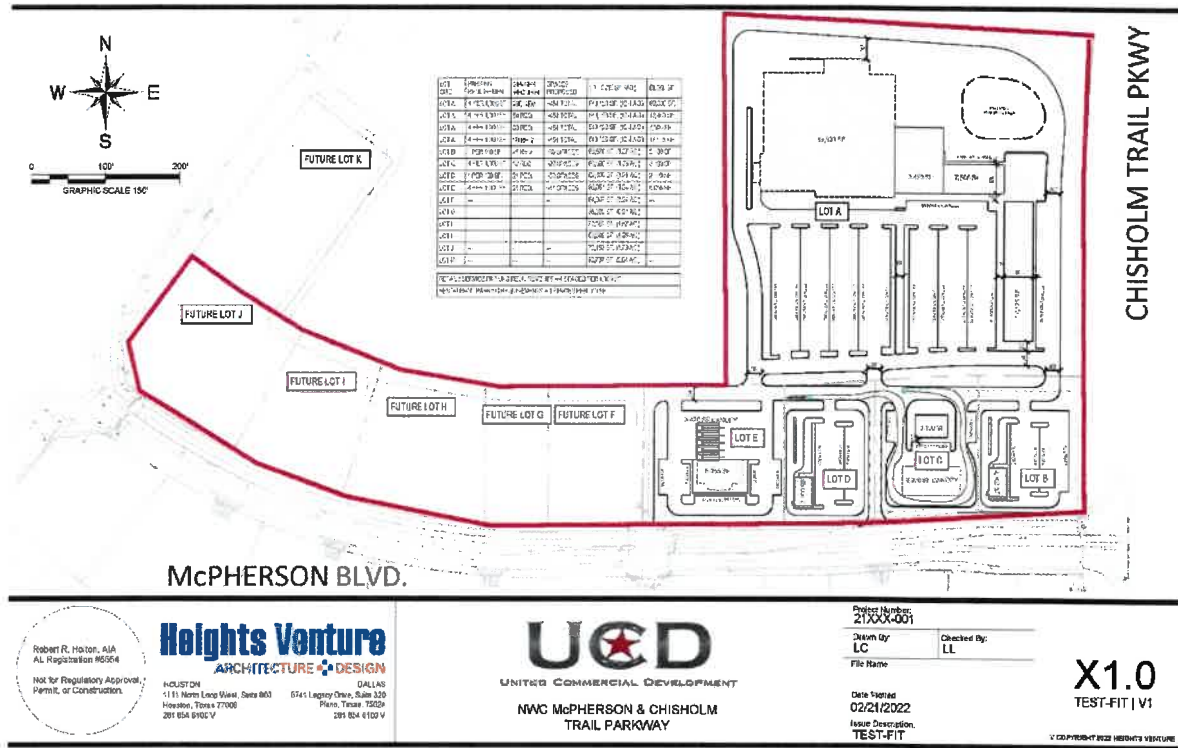
- ☐ This project will comply with the Multifamily Design Standards (MFD) and an MFD Site Plan shall be submitted.

Please make sure to carefully review the development and design standards for your zoning district in [Chapter 4](#) of the Zoning Ordinance. If any waivers from these requirements are being requested, they must be clearly listed on the application and site plan. Once a site plan is approved by City Council, a PD or CUP Amendment will be required to add or modify any waivers. This is a full rezoning (public hearing) process that cannot be approved administratively.

Note: Approval of a zoning site plan does not waive health and safety requirements from Platting, Transportation/Public Works, Fire, Park & Recreation, and Water Department. These items cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions from these departments.

EXHIBIT A

LEGAL DESCRIPTION OF PROJECT SITE



Robert R. Hinton, ASA
AL Registration #65064

Not for Regulatory Approval,
Permit, or Construction.

Heights Venture
ARCHITECTURE + DESIGN

INDUSTRIAL DALLAS
1181 North Loop West, Suite 800
Houston, Texas 77008
281.854.9100 V

6741 Legacy Drive, Suite 320
Plano, Texas 75029
214.854.6100 V

UCD
UNITED COMMERCIAL DEVELOPMENT

NWC McPHERSON & CHISHOLM
TRAIL PARKWAY

Design Number:
21033-001

Drawn by:
LC

Checked by:
LL

Date Issued:
02/21/2022

Issue Description:
TEST-FIT

X1.0
TEST-FIT | V1

© COPYRIGHT 2022 HEIGHTS VENTURE

EXHIBIT B
INFRASTRUCTURE WORK

Item	Amount	Status
<u>Brewer Blvd.</u>		
City approvals	\$ 60,188.00	Actual to Date
Construction Drawings	\$ 184,500.00	Actual to Date
Legacy share of construction	\$ 1,731,782.04	In Escrow
25% CFA Excess Deposit	\$ 432,945.51	In Escrow - potential to be refunded
Funded	\$ 2,409,415.55	
<u>Water & Sewer</u>		
City approvals	\$ 80,648.00	Actual to Date
Construction Drawings	\$ 45,000.00	Actual to Date
Legacy share of construction	\$ 726,338.59	In Escrow
25% CFA Excess Deposit	\$ 169,186.76	In Escrow - potential to be refunded
Funded	\$ 1,021,173.35	
<u>McPherson Medians</u>		
Engineering/Planning	\$ 10,080.00	Actual to Date
Legacy share of construction	\$ 575,294.68	Estimated
25% CFA Excess Deposit	\$ 133,170.07	In Escrow - potential to be refunded
Committed to Fund	\$ 718,544.75	
McPherson Driveway	\$ 44,237.00	In Escrow
Total Amount Funded or Committed	\$ 4,193,370.65	
<u>Potential Refunds</u>		
Brewer Blvd. CFA Deposit	\$ 432,945.51	
Water & Sewer CFA Deposit	\$ 169,186.76	
McPherson Medians CFA Deposit	\$ 133,170.07	
Total Refunds if not over Budget	\$ 735,302.34	
Net Total Anticipated Infrastructure Work	\$ 3,458,068.31	



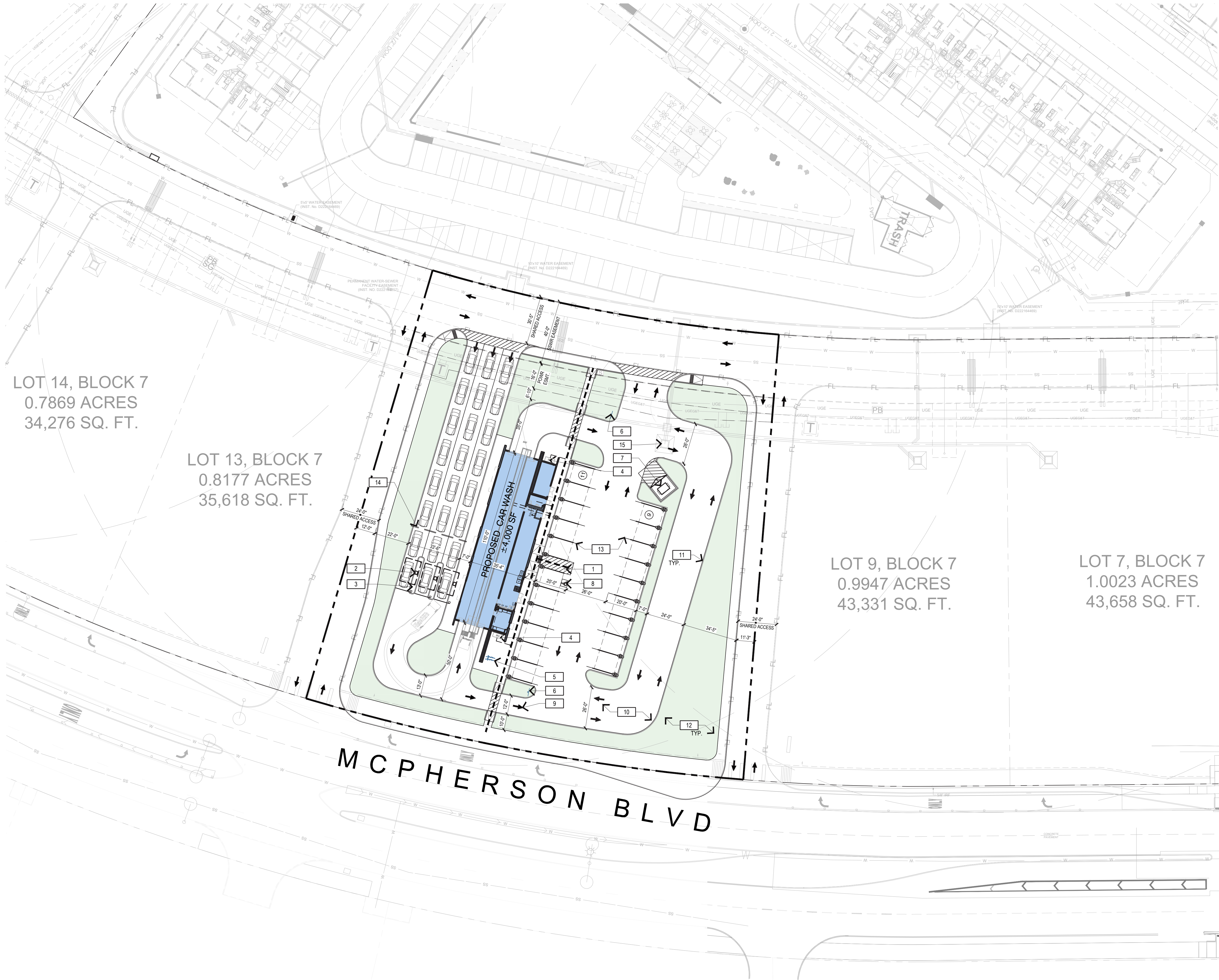
9605 OLD GRANBURY RD.
FORT WORTH, TX 76123

CONCEPT PACKAGE

DATE: 2025-03-13

SHEET INDEX

ARCHITECTURAL	
	COVER SHEET / SHEET INDEX
A1.0	SITE PLAN
A2.0	FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A4.0	PERSPECTIVE 1
A5.0	PERSPECTIVE 2
A6.0	PERSPECTIVE 3
A7.0	COLORS & MATERIALS

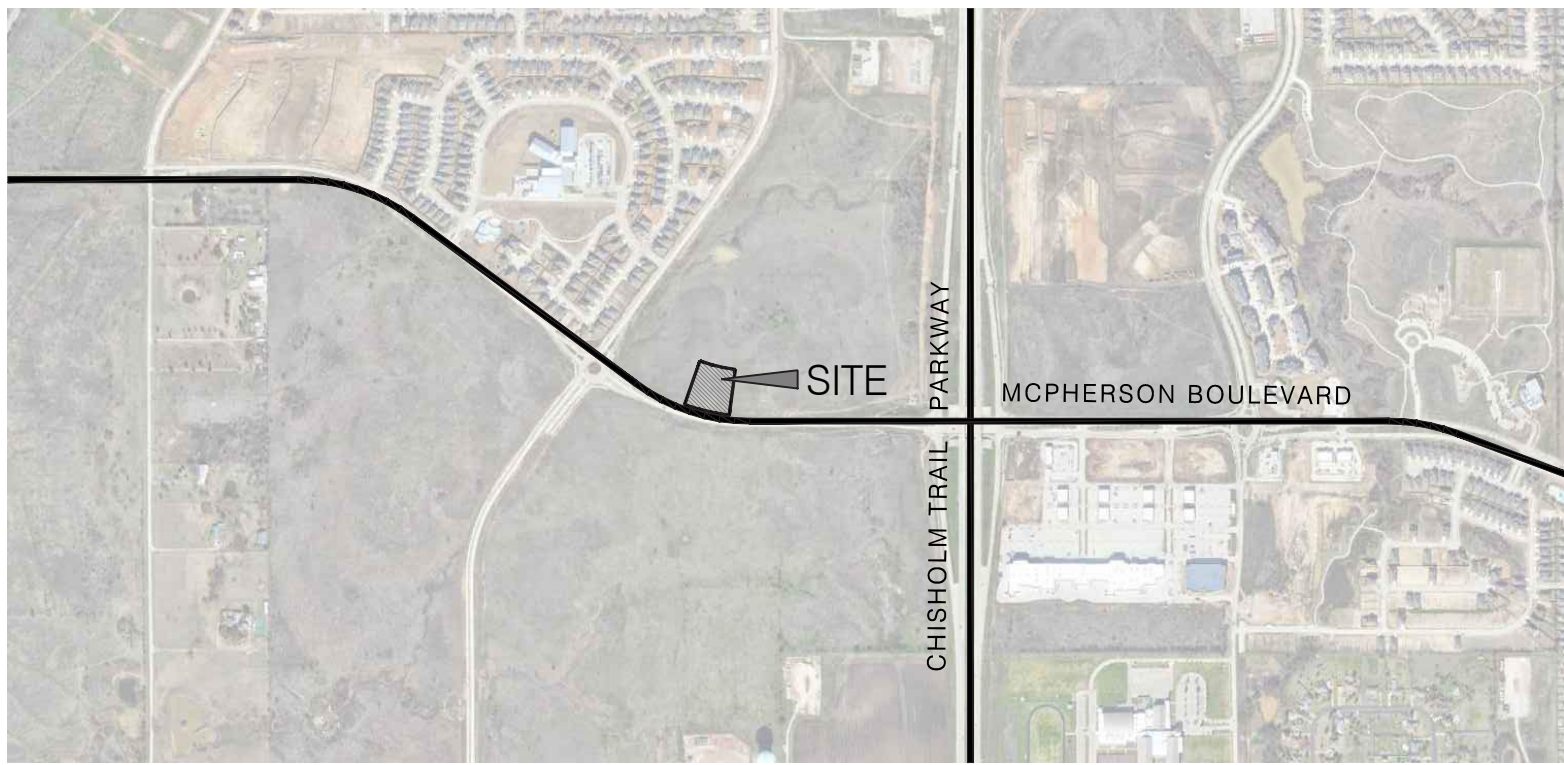


LOT 14, BLOCK 7
0.7869 ACRES
34,276 SQ. FT.

LOT 13, BLOCK 7
0.8177 ACRES
35,618 SQ. FT.

LOT 9, BLOCK 7
0.9947 ACRES
43,331 SQ. FT.

LOT 7, BLOCK 7
1.0023 ACRES
43,658 SQ. FT.



VICINITY MAP N.T.S.

SITE DATA TABLE		
GENERAL		
ADDRESS	9605 OLD GRANBURY RD., FORT WORTH, TX 76123	
ZONING	G (INTENSIVE COMMERCIAL)	
PROPOSED USE	AUTOMATED EXPRESS, FULL-SERVICE CAR WASH (110' CARWASH BAY / TUNNEL)	
HOURS OF OPERATION	7AM - 8PM (13 HOURS)	
ASSESSOR PARCEL NO.	05969344	
SITE GROSS AREA	± 69,966.5 SF / ± 1.6 AC	
BUILDING GROSS AREA	± 4,000 SF	
CONSTRUCTION TYPE	V-B / NON-SPRINKLERED	
OCCUPANCY	B - BUSINESS	
	REQUIRED / ALLOWED	PROVIDED
MAX. FLOOR AREA RATIO	-	0.06 : 1.0 (±4,000 SF)
MAX. LOT COVERAGE	-	5.7% (±4,000 SF)
LANDSCAPE COVERAGE	-	21.9% (±15,300 SF)
MAX. STORIES	12	1
MAX. BUILDING HEIGHT	120'-0"	26'-0"
MIN. FRONT YARD SETBACK	0'-0" FRONTING ARTERIAL	50'-0"
MIN. SIDE SETBACK	NONE / 3'-0" MIN. IF PROVIDED	74'-6"
MIN. REAR SETBACK	10'-0"	93'-8"
BUFFERYARD*	NONE	
PARKING CALCULATIONS		
	REQUIRED	PROVIDED
VEHICLE PARKING		
12'X20' ADA ACCESSIBLE VACUUM BAYS (1 VAN ACCESSIBLE)	1 SPACE	1 SPACE
12'X20' REGULAR VACUUM BAYS	-	19 SPACES
TOTAL PARKING SPACES	PER §6.201: 4 SPACES PER 1,000 SF = 5	20 SPACES
BICYCLE PARKING	REQUIRED	PROVIDED
	PER §6.204: 1 RACK MIN.	1 RACK

*PER §6.300: "A BUFFERYARD ... SHALL BE PROVIDED AND MAINTAINED ALONG THE ENTIRE LENGTH OF THE BOUNDARY LINE BETWEEN ANY ONE- OR TWO-FAMILY DISTRICT, AND ADJACENT NONRESIDENTIAL DISTRICTS". THERE IS NO MENTION OF OR REQUIREMENT FOR MULTIFAMILY.

KEY NOTES:

- 1 PEDESTRIAN ACCESS (ADA COMPLIANT)
- 2 THREE LANE QUEUE AND P.O.S. TERMINALS, TYP.
- 3 CONCRETE PAD
- 4 SERVICE ENTRANCE SECTION, FINAL LOCATION PER POWER COMPANY; FINAL TRANSFORMER LOCATION.
- 5 BICYCLE PARKING
- 6 'DO NOT ENTER' SIGNAGE, TYP.
- 7 TRASH ENCLOSURE PER CITY STANDARDS
- 8 ACCESSIBLE PARKING, SIGNAGE AND STRIPING PER CITY STANDARDS.
- 9 VEHICLE ESCAPE LANE
- 10 CONCRETE PAVING
- 11 6" CURB & GUTTER
- 12 LANDSCAPING
- 13 12'X20' VACUUM STATIONS
- 14 LPR ARCH.
- 15 STORM INLET



9605 OLD GRANBURY RD
MCPHERSON BLVD & CHISHOLM TRAIL PKWY | FORT WORTH, TX - 76123

SITE PLAN



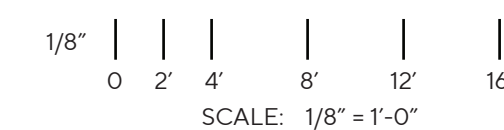
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Job No. 2024-0272
Date 2025-03-13



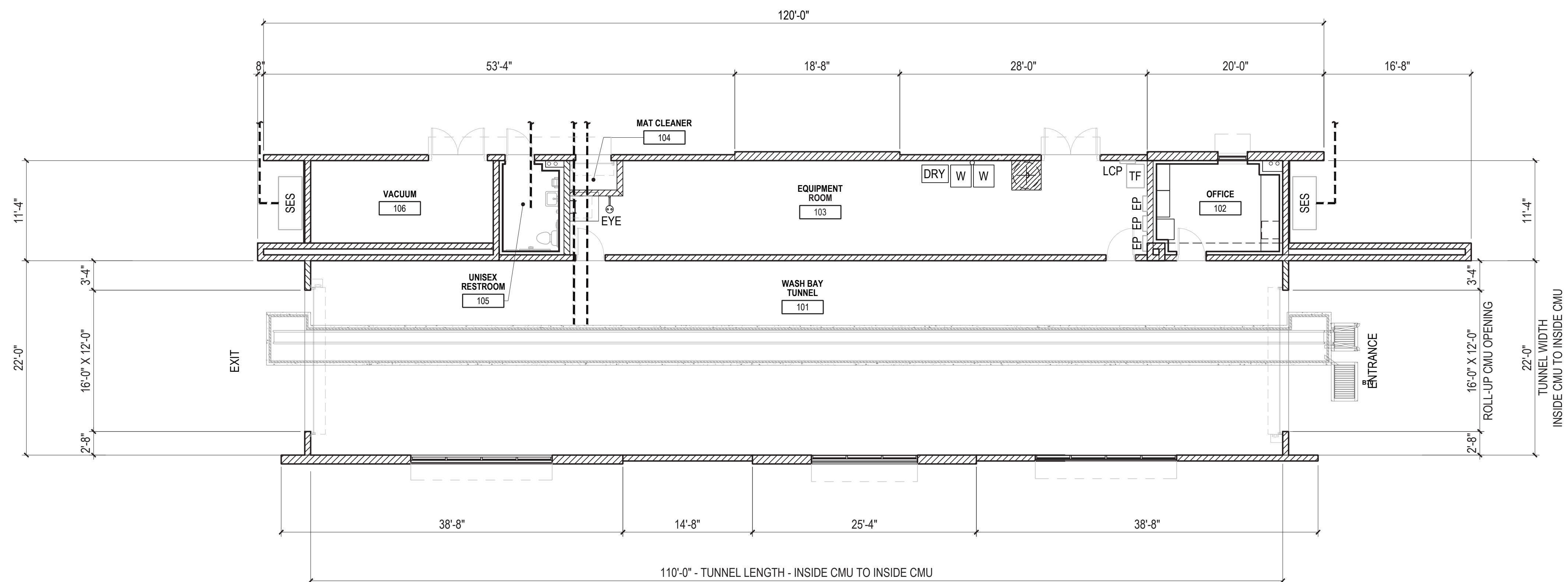
9605 OLD GRANBURY RD
MCPHERSON BLVD & CHISHOLM TRAIL PKWY | FORT WORTH, TX - 76123

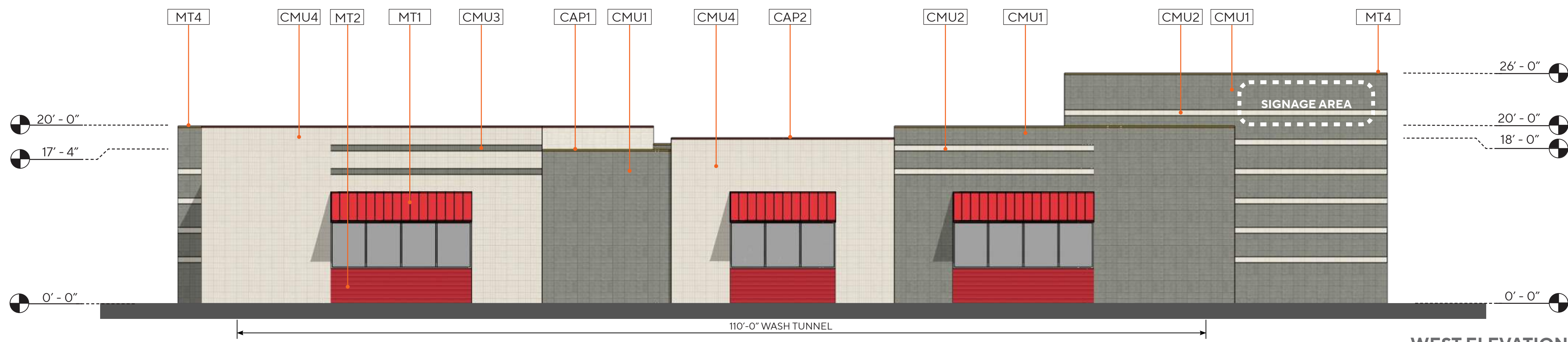
FLOOR PLAN



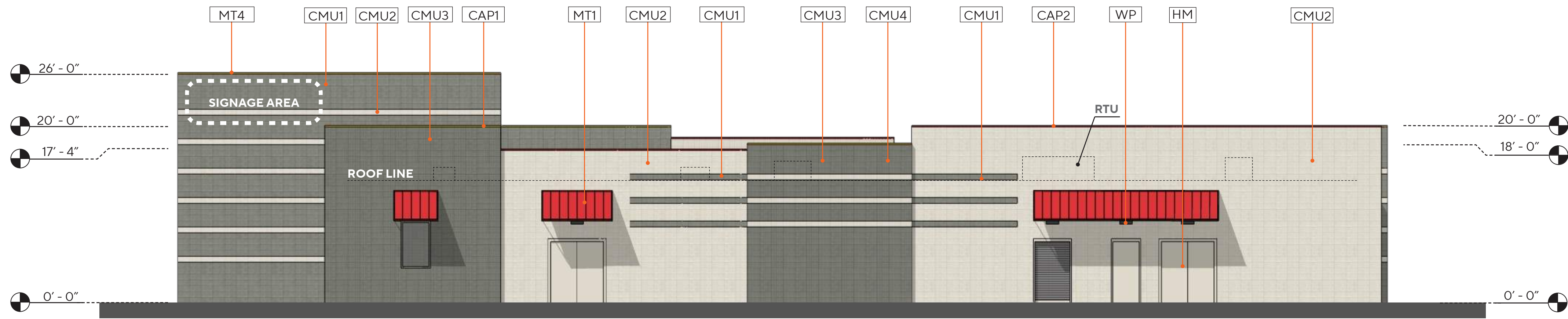
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Job No. 2024-0272
Date 2025-03-13

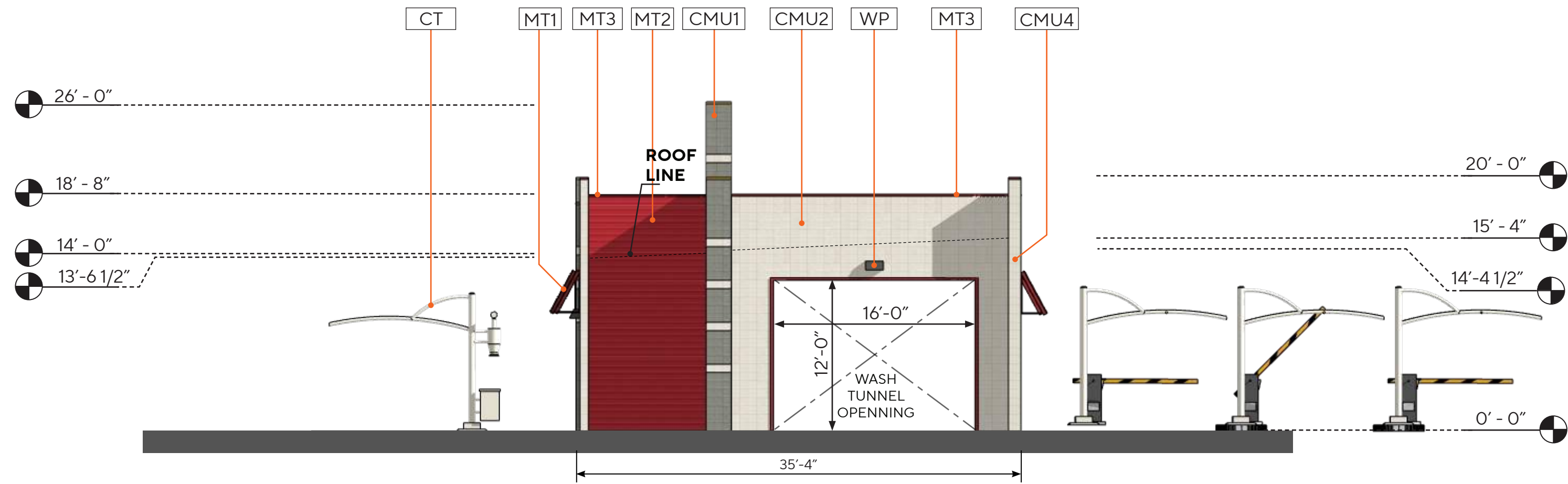




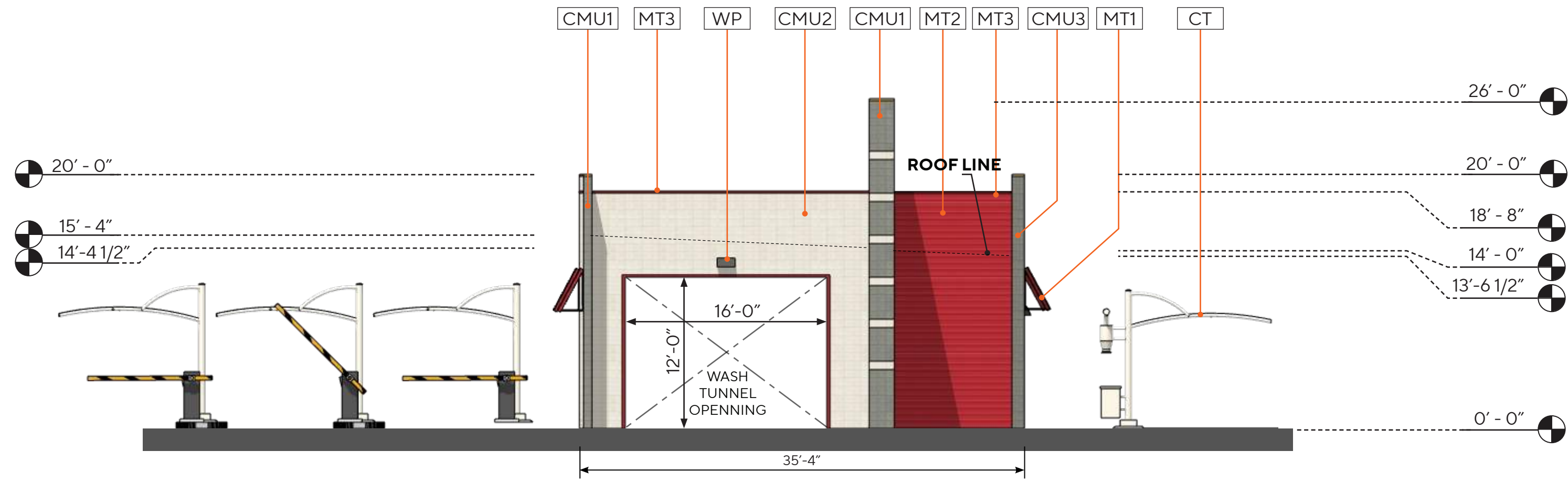
WEST ELEVATION



EAST ELEVATION

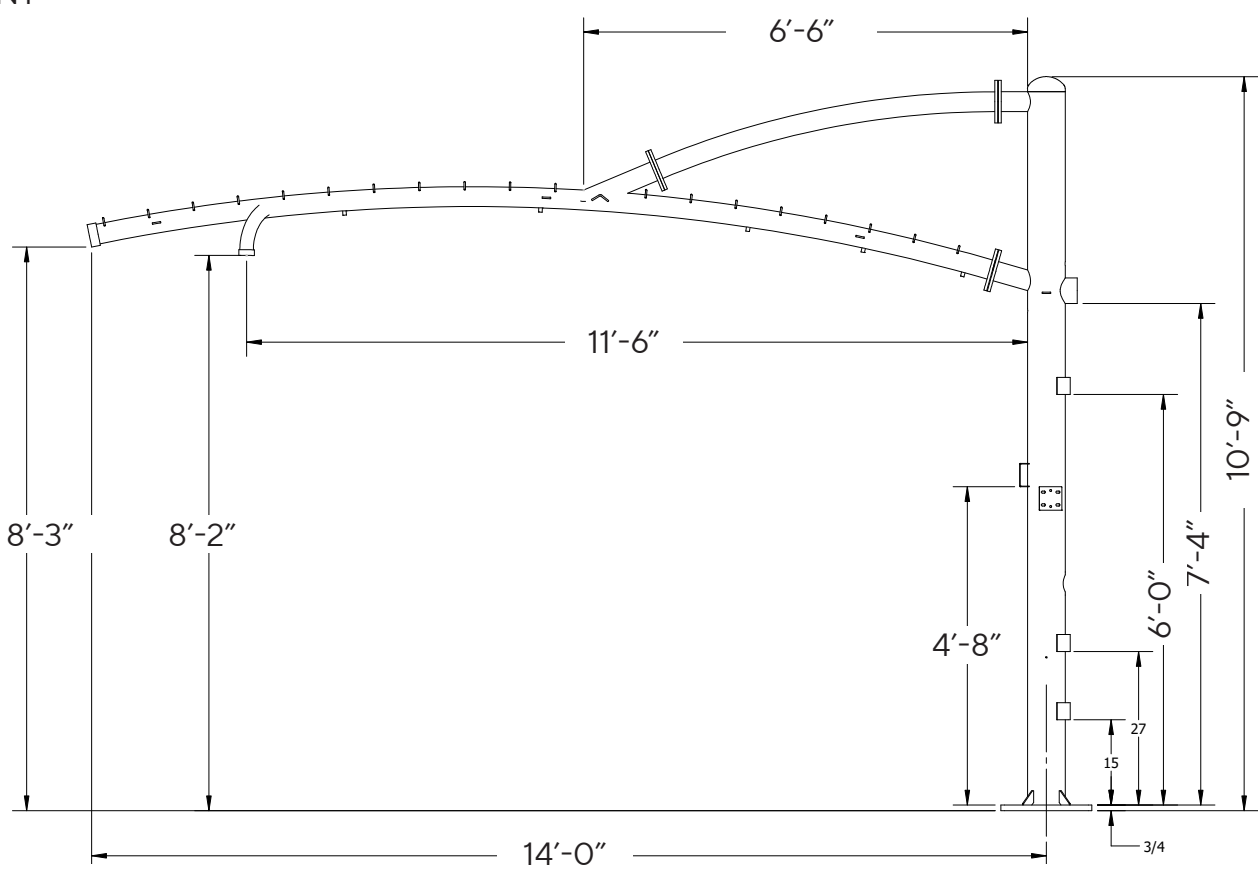
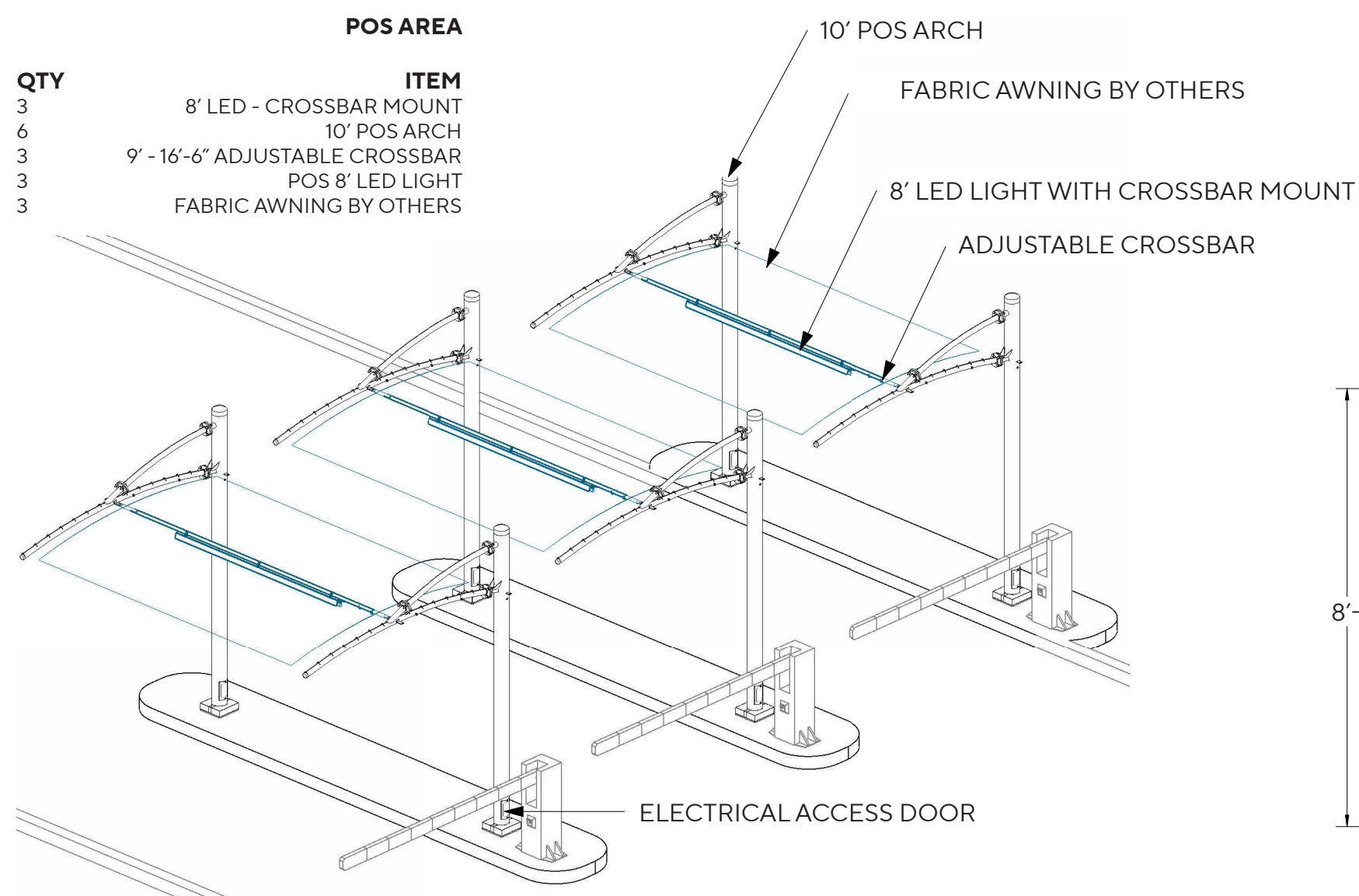


NORTH ELEVATION



SOUTH ELEVATION

KEY	DESCRIPTION
MASONRY	
CMU-1	8" X 8" X 16" - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND PAINTED TO MATCH PT-1 (STONE MASON DET615)
CMU-2	8" X 8" X 16" - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND PAINTED TO MATCH PT-2 (HISTORIC WHITE DET653)
CMU-3	12" X 8" X 16" (8"X8") - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND - RAKED FINISH PAINTED TO MATCH PT-1 (STONE MASON DET615)
CMU-4	12" X 8" X 16" (8"X8") - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND - RAKED FINISH PAINTED TO MATCH PT-2 (HISTORIC WHITE DET653)
METAL	
MT-1	METAL CANOPY - COLOR TO MATCH PT-3
MT-2	RIBBED METAL PANELS WALL SIDING BY RIVERSIDE SHEET METAL - COLOR "CARDINAL RED"
MT-3	METAL FLASHING - COLOR TO MATCH PT-3
MT-4	METAL FLASHING - COLOR TO MATCH PT-4
MISC	
CAP-1	2" CMU CAP - COLOR TO MATCH PT-4
CAP-2	2" CMU CAP - COLOR TO MATCH PT-3
CT	CANOPY TUBE - ARCHES AND COLUMNS COLOR: PT-2
FA	FABRIC SHADE COVER, MANU: GALE PACIFIC USA INC. - COLOR: CHERRY RED
HM	HOLLOW METAL DOORS / FRAMES PAINTED COLOR: DOOR TO MATCH WALL COLOR
WP	WALL PACK LIGHTING
PAINT	
PT-1	DUNN EDWARDS - STONE MASON DET615
PT-2	DUNN EDWARDS - HISTORIC WHITE DET653
PT-3	COLOR TO MATCH "CARDINAL RED"
PT-4	DUNN EDWARDS - SUNFLOWER - DE5391
OTHER	
S	SIGNAGE LOCATION, UNDER A SEPARATE PERMIT



Scale: N.T.S.
PAY STATIONS



9605 OLD GRANBURY RD
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EXTERIOR ELEVATIONS (COLOR)

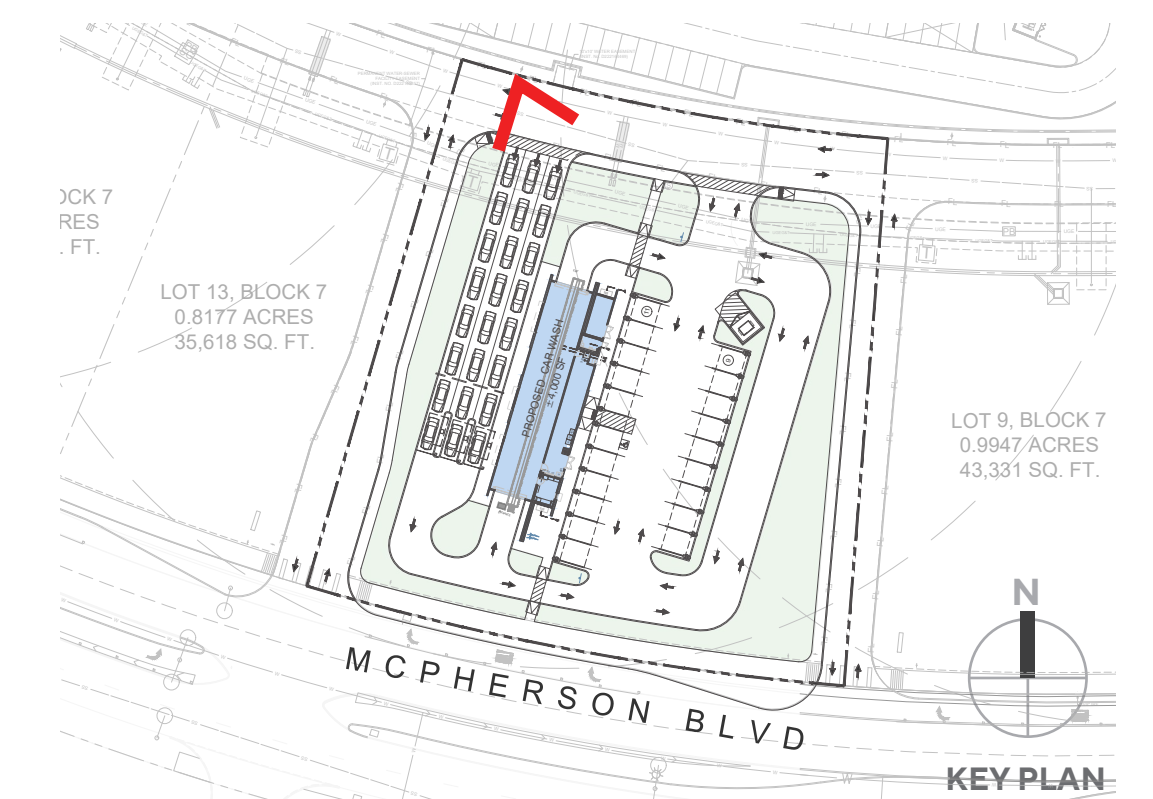


A3.0

Scale: 1/8" = 1'-0"
Job No: 2024-0272
Date: 2025-03-13



*NOTE: ALL EXTERIOR SIGNAGE UNDER A SEPARATE PERMIT
LANDSCAPING DEPICTED IS FOR ILLUSTRATIVE PURPOSES ONLY; REFER TO LANDSCAPE PLAN.



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PERSPECTIVE 1

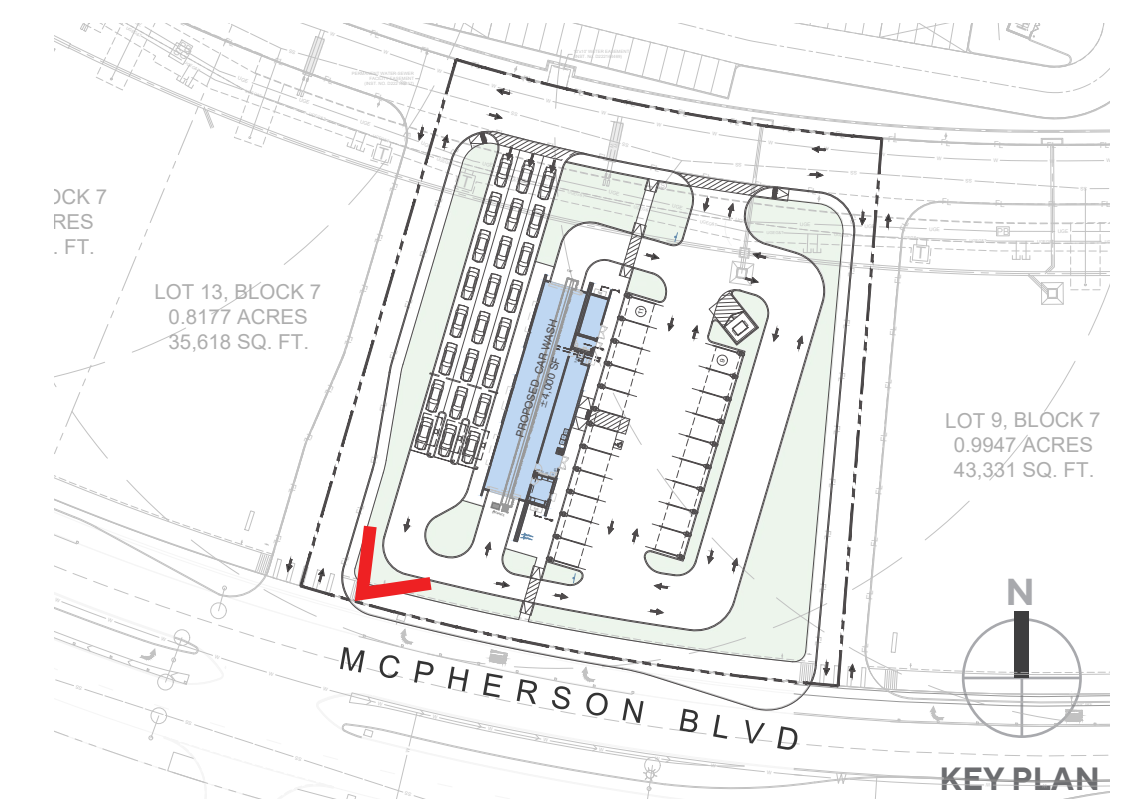


A4.0

Scale
Job No.
Date
2024-0272
2025-03-13



*NOTE: ALL EXTERIOR SIGNAGE UNDER A SEPARATE PERMIT
LANDSCAPING DEPICTED IS FOR ILLUSTRATIVE PURPOSES ONLY; REFER TO LANDSCAPE PLAN.



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PERSPECTIVE 2

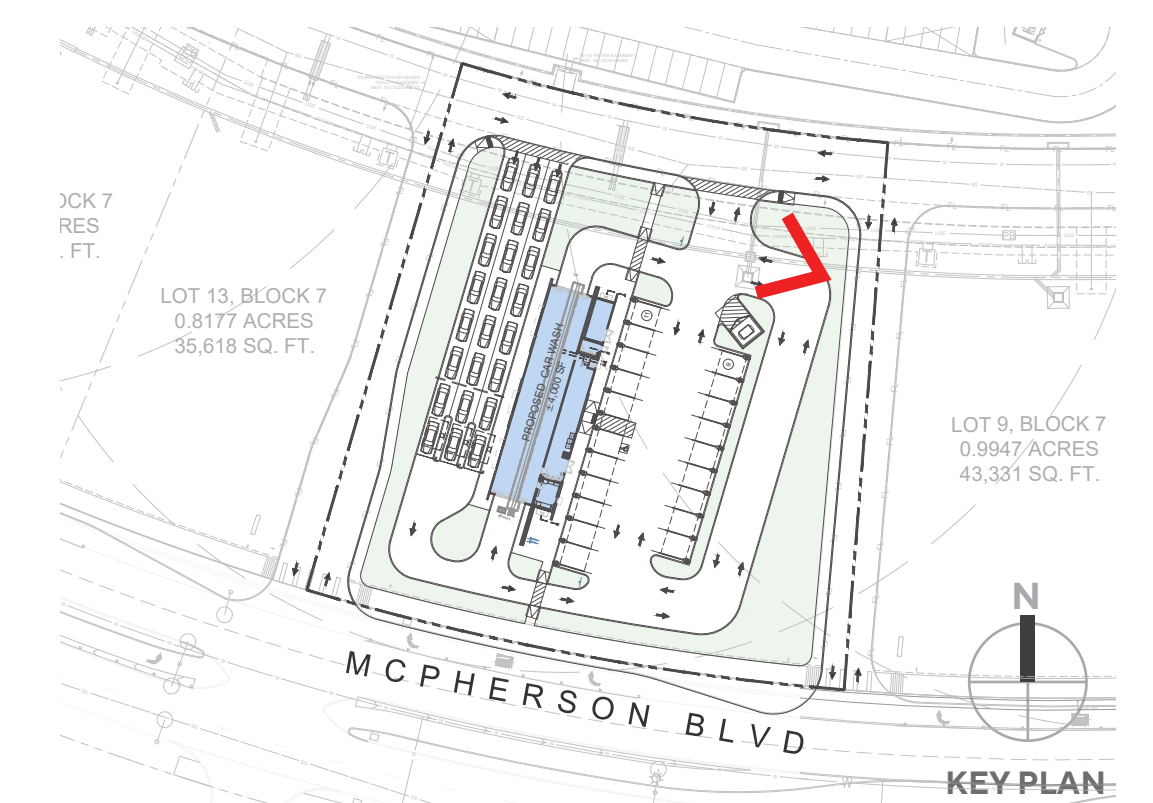


A5.0

Scale
Job No.
Date
2024-0272
2025-03-13



*NOTE: ALL EXTERIOR SIGNAGE UNDER A SEPARATE PERMIT
LANDSCAPING DEPICTED IS FOR ILLUSTRATIVE PURPOSES ONLY; REFER TO LANDSCAPE PLAN.



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PERSPECTIVE 3



A6.0

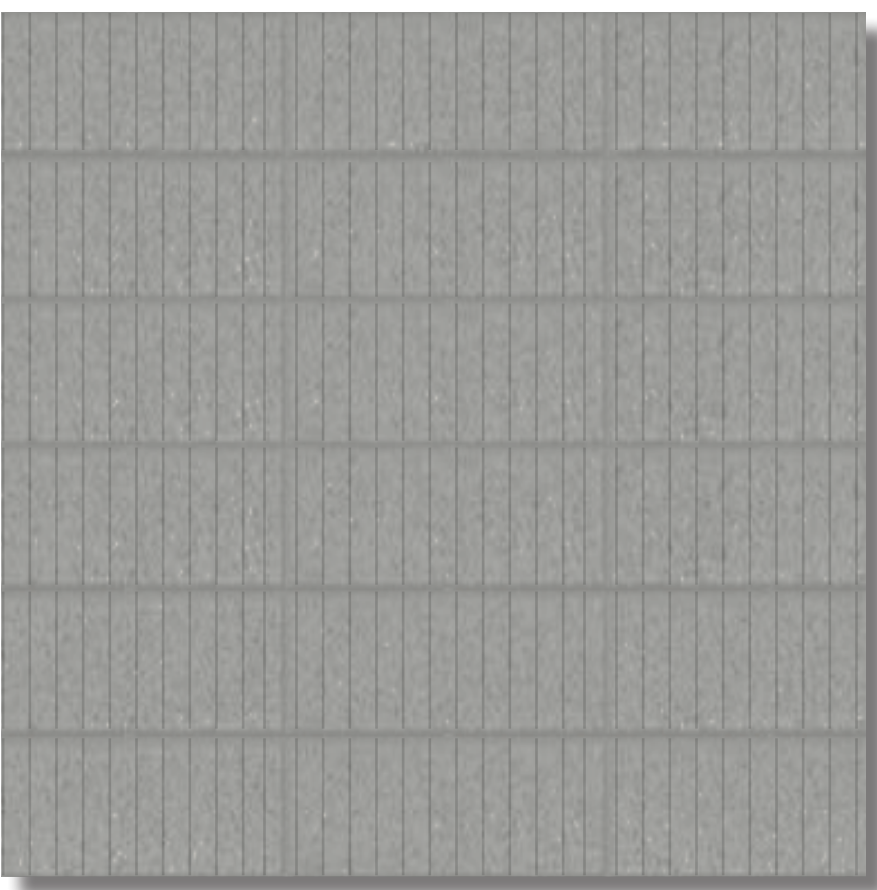
Scale
Job No.
Date
2024-0272
2025-03-13



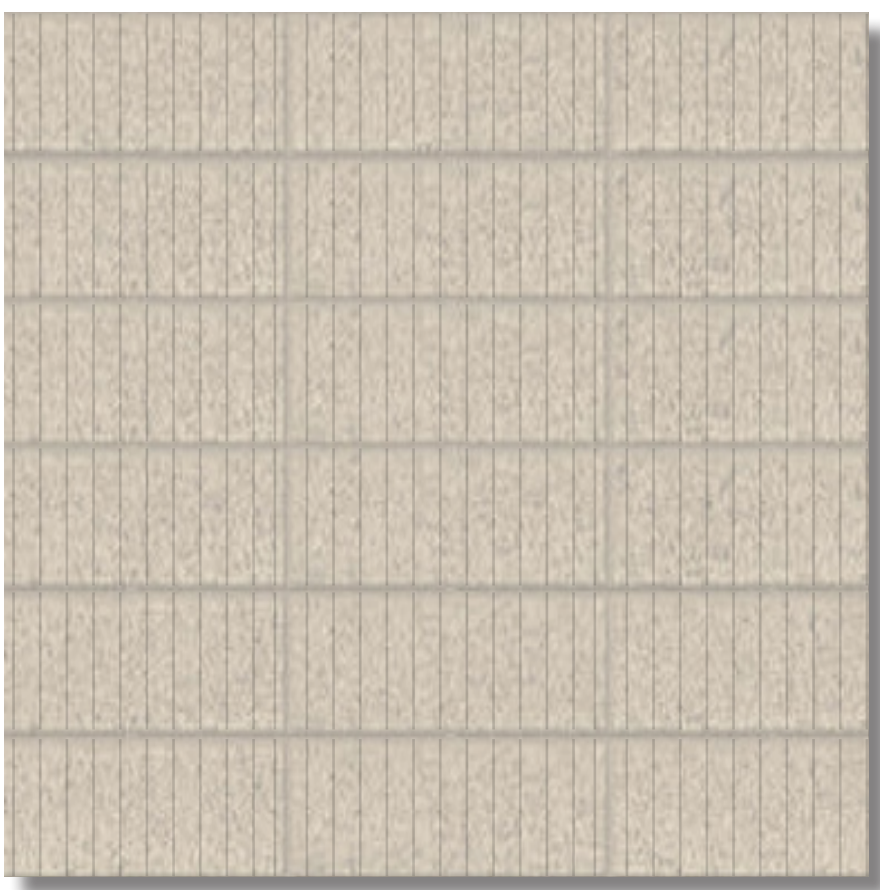
CMU-1



CMU-2



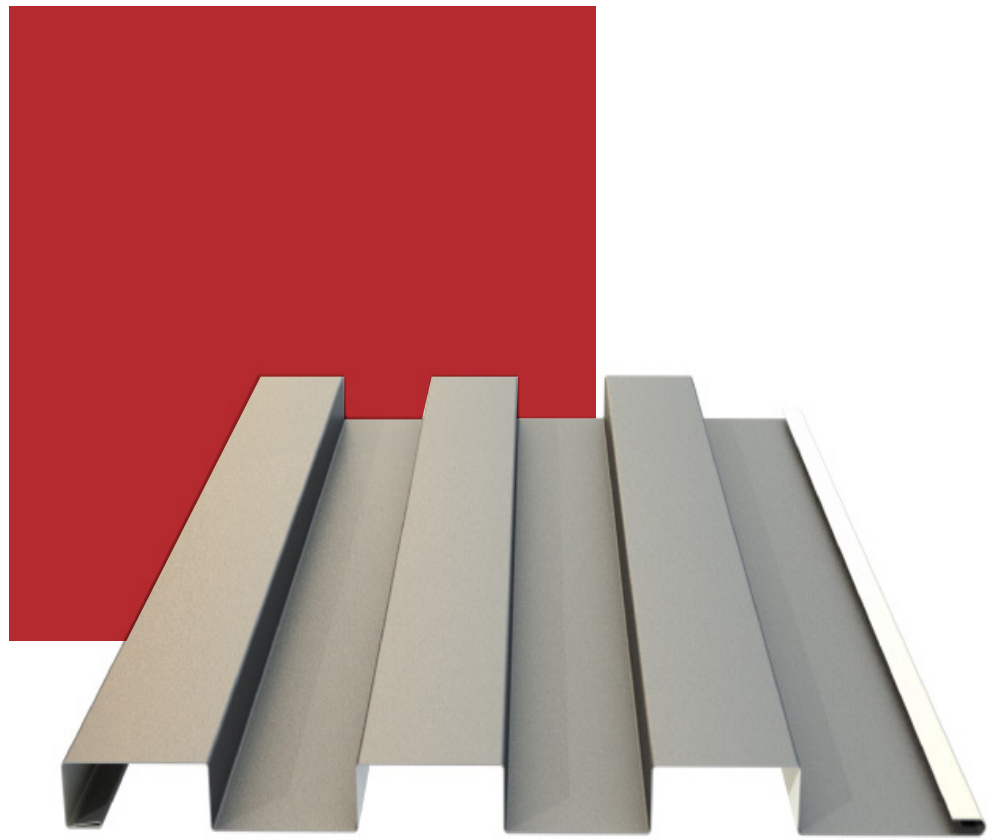
CMU-3



CMU-4



MT-1



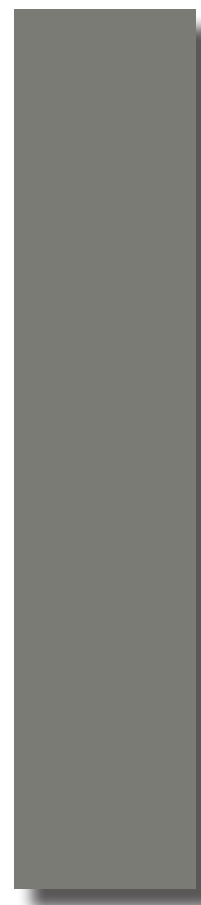
MT-2



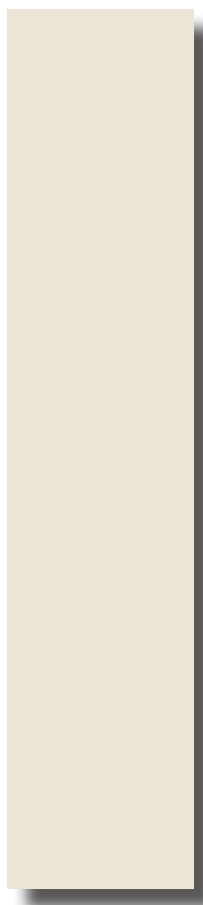
CT



FA



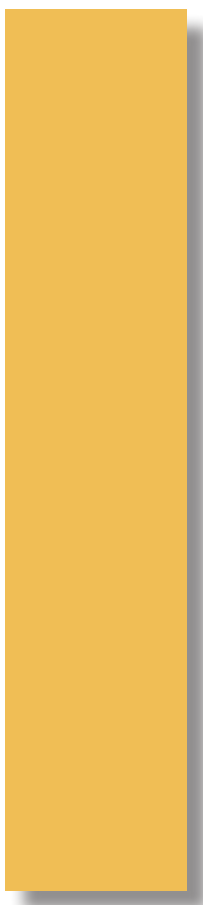
PT1



PT2

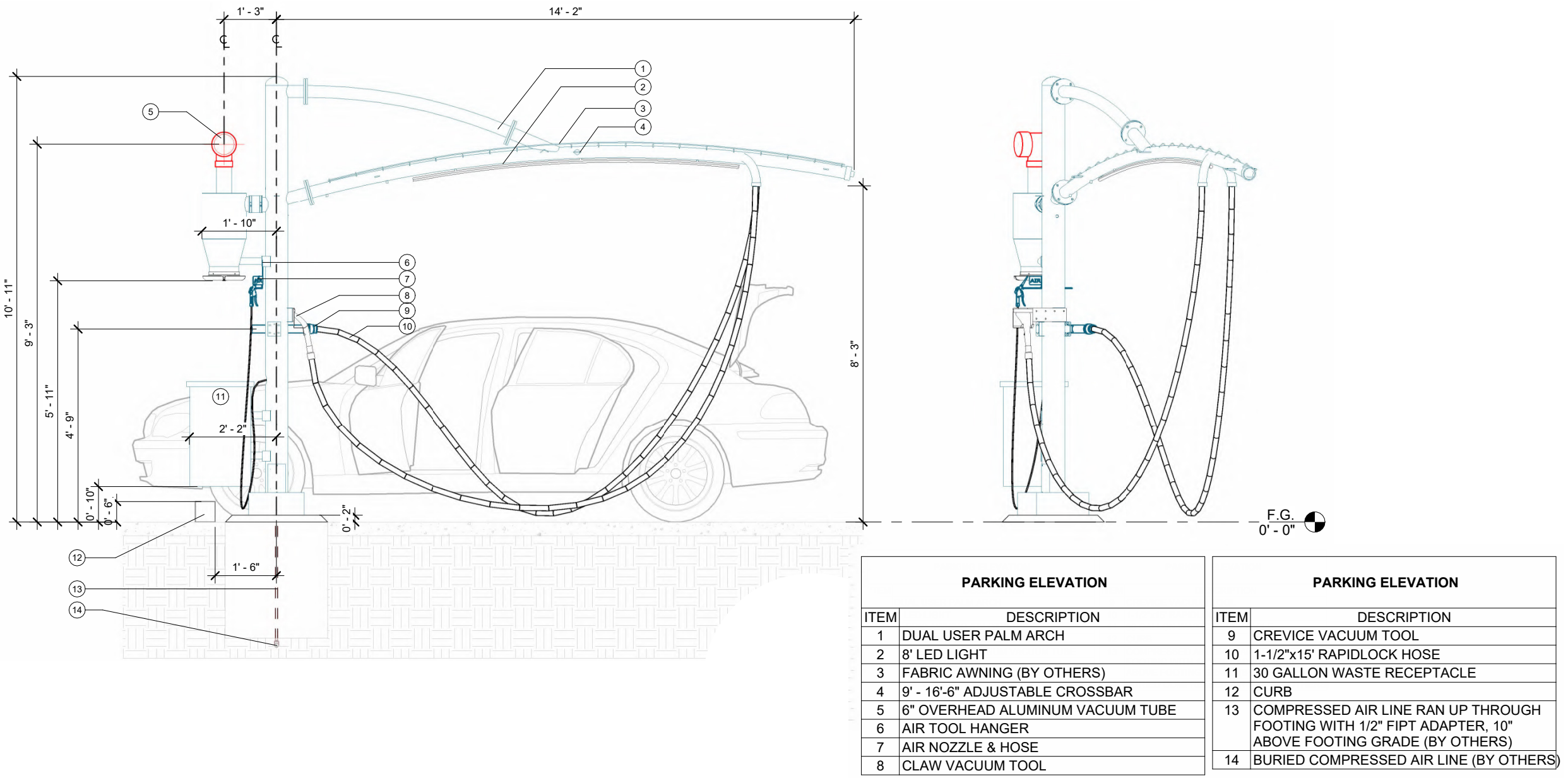


PT3



PT4

KEY	DESCRIPTION
MASONRY	
CMU-1	8" X 8" X 16" - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND PAINTED TO MATCH PT-1 (STONE MASON DET615)
CMU-2	8" X 8" X 16" - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND PAINTED TO MATCH PT-2 (HISTORIC WHITE DET653)
CMU-3	12" X 8" X 16" (8"X8") - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND - RAKED FINISH PAINTED TO MATCH PT-1 (STONE MASON DET615)
CMU-4	12" X 8" X 16" (8"X8") - MANUFACTURE: SUPERLITE TYPE: STANDARD BLOCK - PATTERN: STACK BOND - RAKED FINISH PAINTED TO MATCH PT-2 (HISTORIC WHITE DET653)
METAL	
MT-1	METAL CANOPY - COLOR TO MATCH PT-3
MT-2	RIBBED METAL PANELS WALL SIDING BY RIVERSIDE SHEET METAL - COLOR "CARDINAL RED"
MT-3	METAL FLASHING - COLOR TO MATCH PT-3
MT-4	METAL FLASHING - COLOR TO MATCH PT-4
MISC	
CAP-1	2" CMU CAP - COLOR TO MATCH PT-4
CAP-2	2" CMU CAP - COLOR TO MATCH PT-3
CT	CANOPY TUBE - ARCHES AND COLUMNS COLOR: PT-2
FA	FABRIC SHADE COVER, MANU: GALE PACIFIC USA INC. - COLOR: CHERRY RED
HM	HOLLOW METAL DOORS / FRAMES PAINTED COLOR: DOOR TO MATCH WALL COLOR
WP	WALL PACK LIGHTING
PAINT	
PT-1	DUNN EDWARDS - STONE MASON DET615
PT-2	DUNN EDWARDS - HISTORIC WHITE DET653
PT-3	COLOR TO MATCH "CARDINAL RED"
PT-4	DUNN EDWARDS - SUNFLOWER - DE5391
OTHER	
S	SIGNAGE LOCATION, UNDER A SEPARATE PERMIT



VACUUM DETAILS



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COLORS & MATERIALS



A7.0

Scale
Job No.
Date

2024-0272
2025-03-13