



ZONING COMMISSION

AGENDA

Wednesday, April 12, 2023

Work Session 12:00 PM

Public Hearing 1:00 PM

Work Session

In-Person:

City Hall Conference Room 2020

200 Texas Street

2nd Floor-City Hall

Fort Worth, Texas 76102

Public Hearing

In-Person:

City Council Chamber

200 Texas Street

2nd Floor-City Hall

Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/weblink/register/ree639e538cef9adf8999d5a5f35a30b2>

Meeting/ Access Code: 2550 458 7518

Registration Required

Teleconference

(817) 392-1111 or 1-650-479-3208

Meeting/ Access Code: 255 045 87518

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99

City of Fort Worth Website Homepage: [Watch Live Online](#)

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:

<https://www.fortworthtexas.gov/government/boards/list-boards-commissions/virtual-meetings>

To view the docket for this meeting visit: <https://www.fortworthtexas.gov/calendar/boards-commission>

This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.

Members of the Zoning Commission may be participating remotely in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.

****Any member of the public who wishes to address Zoning Commission regarding an item on a listed agenda must sign up to speak no later than 5 p.m. on the day before the scheduled meeting. To sign up, please register through WebEx in accordance with the directions on the City’s website above. This link should be used to register whether you plan to participate in-person or virtually. However, you can also sign-up to speak prior to the Public Hearing if attending in-person. For questions or assistance with registration, please contact Sandra Cejas at sandra.cejas@fortworthtexas.gov or (817)392-8047.**

Please note that the City of Fort Worth is using a third party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.

COMMISSION MEMBERS:

Jarod Cox, CD 1	_____	Dr. Mia Hall, CD 6	_____
Willie Rankin, Chair, CD 2	_____	Jacob Wurman, CD 7	_____
Beth Welch, CD 3	_____	Wanda Conlin, CD 8	_____
Jesse Gober, CD 4	_____	Kimberly Miller, CD 9	_____
Rafael McDonnell, Vice Chair, CD 5	_____		

**I. WORK SESSION/Lunch 12:00 pm City Council Conference Room 2020
A. Overview of Zoning Cases Staff**

II. PUBLIC HEARING 1:00 PM

CASES HEARD AT THIS PUBLIC HEARING ARE TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, MAY 9, 2023 AT 6:00 P.M. UNLESS OTHERWISE STATED.

CALL TO ORDER

A. APPROVAL OF MEETING MINUTES of March 22, 2023 _____ Chair

To view the docket please visit the City Calendar (Boards and Commissions) or visit <http://fortworthtexas.gov/zoning/cases/>

B. CONTINUED CASES District (Old/New)

1. ZC-22-156 CD 3/ Future CD 3

- a. Site Location: 9400 Block Chapin Road
- b. Acreage: 57.54
- c. Applicant/Agent: Rowan Altgelt Laughlin Group, LTD / Zac Thompson, ONM Living
- d. Request: From: "AG" Agricultural
To: "PD-CR/R2" Planned Development-Low Density Multifamily and Townhouse/Cluster, with development standards for open space, building setbacks, parking, building orientation, fencing, perimeter fencing, and waiver to MFD submittal; Site Plan included

2. ZC-23-018 CD 9/ Future CD 9

- a. Site Location: 2801 Townsend Dr
- b. Acreage: 0.14
- c. Applicant/Agent: James W. Eby
- d. Request: From: "A-5" One Family/TCU Residential Overlay
To: "B" Two Family/TCU Residential Overlay

3. ZC-23-027

CD 9/ Future CD 9

- a. Site Location: 3005 & 3011 Stanley Ave
- b. Acreage: 0.43
- c. Applicant/Agent: Tom Hicks / Gina McLean – Nationwide Construction
- d. Request: From: “A-5” One Family
To: “E” Neighborhood Commercial

C. NEW CASES

4. ZC-22-226

CD 5/ Future CD 5

- a. Site Location: 1809 Miller Ave
- b. Acreage: 0.15
- c. Applicant/Agent: Mary Helen Johnson / Alpha Family Group
- d. Request: From: “A-5/SS” One-Family/Stop Six Overlay
To: “B/SS” Two-Family District/Stop Six Overlay

5. ZC-23-026

CD 2/ Future CD 7

- a. Site Location: 5950 Hereford Drive
- b. Acreage: 1.08
- c. Applicant/Agent: Salvador Rodriguez
- d. Request: From: “A-5” One-Family
To: “B” Two-Family District

6. ZC-23-035

CD 6/ Future CD 6

- a. Site Location: 7340 Kingswood Drive
- b. Acreage: 7.47
- c. Applicant/Agent: Robert Yu / Palladium USA International, Inc.
- d. Request: From: “E” Neighborhood Commercial
To: “PD/E” Planned Development for “E” Neighborhood Commercial, excluding certain uses (for list see staff report in docket) plus multifamily developed to “C” Medium Density Multifamily with development standards; site plan included.

7. ZC-23-037

CD 3/ Future CD 6

- a. Site Location: 5404 Wellesley Avenue
- b. Acreage: 0.14
- c. Applicant/Agent: Laura Kate Tucker / Jennifer Tucker
- d. Request: From: “A-5” One Family
To: “PD/A-5” Planned Development for all uses in “A-5” One Family plus short-term rental, site plan included.

8. ZC-23-038

CD 5/ Future CD 5

- a. Site Location: 7808 Brentwood Stair Road
- b. Acreage: 13.854
- c. Applicant/Agent: Amy Hung / Jones Gillam Renz & Andrea Taylor
- d. Request: From: “A-7.5” One Family
To: “C” Medium Density Multifamily

9. ZC-23-040

CD 6/ Future CD 8

- a. Site Location: 12365 South Fwy
- b. Acreage: 1.257
- c. Applicant/Agent: JLI Investments / Ryan Kim
- d. Request: From: PD 203 – “PD/SU” Planned Development Specific Use for the sale of manufactured homes
To: “F” General Commercial

10. ZC-23-041

CD 9/ Future CD 11

- a. Site Location: 4041 Ryan Ave
- b. Acreage: 1.95
- c. Applicant/Agent: Rosemont Holding /National Veterans Outreach Program Inc. / The Berm Consultant Group
- d. Request: From: “A-5” One-Family
To: “D” High Density Multifamily

11. ZC-23-043

CD 8/ Future CD 8

- a. Site Location: 3001 S Riverside Dr
- b. Acreage: 13.01
- c. Applicant/Agent: Amanda Schulte – Bennet Partners / Center for Transforming Lives
- d. Request: To: Amend PD 760 – “PD/I” Planned Development Light Industrial for all uses in “I” excluding chicken battery or brooder, coal, coke or wood yard, outdoor sales and storage with development standards (see staff report in docket), site plan included

12. ZC-23-044

CD 3/ Future CD 3

- a. Site Location: 3505 West Loop 820 South
- b. Acreage: 1.925
- c. Applicant/Agent: Hiley Land LP / Jim Stephenson, VLK Architects
- d. Request: From: “FR” General Commercial Restricted
To: “PD-FR” Planned Development based on General Commercial Restricted zoning, plus “Automotive repair, paint and body” adjacent to residential zoning, with development standards for signage; Site Plan included

This case was withdrawn by applicant. No Public Hearing will be held.

13. ZC-23-045

CD 5/ Future CD 11

- a. Site Location: 5000 David Strickland Rd, 5025-5029 Vesta Farley Rd, 5412 Durothy Rd, 5000-5004 Mosson Rd
- b. Acreage: 2.2
- c. Applicant/Agent: Bowie Holland / Barry Hudson (Dunaway Associates)
- d. Request: From: “B” Two-Family
To: “I” Light Industrial

14. ZC-23-047

CD 9/ Future CD 9

- a. Site Location: 1716-1720 (evens) Galveston Ave, 1703-1719 (odds) Galveston Ave and 1720-1724 S Main St
- b. Acreage: 0.918
- c. Applicant/Agent: Steven Halliday / Christine Panagopoulos

d. Request: From: "E" Neighborhood Commercial, "ER" Neighborhood Commercial Restricted, "B" Two-Family and "F" General Commercial
To: "UR" Urban Residential

15. ZC-23-052

CD 8/ Future CD 8

a. Site Location: 6433 Campus Drive
b. Acreage: 76.55
c. Applicant/Agent: NewCold Fort Worth, LLC
d. Request: From: "J" Medium Industrial
To: "PD/J" Planned Development with a base of "J" Medium Industrial, excluding uses (see staff report in docket) with development standards for building height increase; site plan included.

16. ZC-23-050

ZONING TEXT AMENDMENT

CD 5/ Future CD 5

a. Site Location: Trinity Lakes Form-Based District
b. Applicant/Agent: City of Fort Worth
c. Request: Adoption of an ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth to amend various sections of the Trinity Lakes Development Code as provided by Section 4.1307.D., "Other Development Standards" Of Section 4.1307, "Trinity Lakes ("TL") to revise Table 7.1 "Street Classification" to clarify requirements for street width and on-street parking and update images of cross section of certain streets

17. ZC-23-068

ZONING TEXT AMENDMENT

All Districts

a. Site Location: City Wide
b. Applicant/Agent: City of Fort Worth
c. Request: Adoption of an ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth to amend Chapter 5, Supplemental Use Standards," Article I, "Standards for Selected Uses," to add Section 5.152 "Bars or Taverns" to clarify when a conditional use permit is required for a bar or tavern in the High Intensity Mixed-Use Zoning (MU-2) District and amend Section 4.1203 "Form-Based District Use Table" to add a reference to supplemental use standard Section 5.152

D. ADJOURNMENT: _____

ASSISTANCE AT THE PUBLIC MEETINGS:

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

ASISTENCIA A REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

Executive Session.

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-22-156

District (old/new): 3 / 3

Zoning Map Amendment & Site Plan

Case Manager: [Brett Mangum](#)

Owner / Applicant: Rowan Altgelt Laughlin Group, LTD / Zac Thompson, ONM Living

Site Location: 9400 block Chapin Road

Acreage: 57.54 acres

Request

Proposed Use: Detached Multifamily & Townhomes

Request: From: "AG" Agricultural

To: "PD-CR/R2" Planned Development-Low Density Multifamily and Townhouse/Cluster, with development standards for open space, building setbacks, parking, building orientation, fencing, perimeter fencing, and waiver to MFD submittal; Site Plan included

Recommendation

Land Use Compatibility: Requested change is **not compatible**

Comprehensive Plan Consistency: Requested change is **not consistent**

Staff Recommendation: **Denial**

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7. Site Plan & Open Space Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject property is located along the west side of Loop 820, south of Chapin Road. The 57-acre site is currently vacant except for a gas well. The applicant is requesting to rezone this property from “AG” Agricultural to “PD-CR/R2” Planned Development – Low Density Multifamily & Townhouse/Cluster to allow for development of a detached multifamily (detached apartments & townhome) community. An excerpt from Page 4 of the application is included below for reference:

Page 4 of 7

DETAILED PROJECT DESCRIPTION

Please provide a detailed summary of your proposal below. This should include a detailed description of the proposed use and reason for rezoning, how this use is compatible with surrounding land uses and the City’s Comprehensive Plan, and any other details relevant to your request. Feel free to attach additional pages, concept plans, etc. as needed.

For PD or CUP requests, please explain why your proposal cannot be accommodated by standard zoning districts, clarify if any waivers are being requested and why, and detail any changes from previously approved site plans or development standards.

We are proposing to rezone the property from agriculture to a PD with a base zoning of CR & R2 to allow for the development of a residential cottage and townhome community in accordance with the attached PD standards and site plan. We are proposing a PD with a CR & R2 base zoning because the City of Fort Worth currently does not have a zoning classification for the cottage type residential development. Using the PD zoning will allow us to modify the closest MF zoning to fit our specific product/use and project site.

The Cottages and Villas at Marys Creek subject property consists of 57.01-acres of land generally located south of Chapin Rd, west of Interstate Loop 820 and north of Marys Creek, within the Corporate limits of Fort Worth, Tarrant County, Texas. The proposed development shall be uniquely designed so that units will have the appearance of single family detached and duplex homes and will consist of approximately 136 single-story and two-story structures consisting of two units per structure along with 58 two-story townhome structures. The proposed development shall also include one single-story structure for a leasing area, garages and carports, and common open space.

Surrounding Zoning and Land Uses

North “G” Intensive Commercial / vacant, vehicle sales dealerships located further north
East West Loop 820 Freeway
South “AG” Agricultural / vacant, floodplain; further south: “A-21” One-Family / single family dwellings
West “AG” Agricultural / gas wells, single-family home and landscape business

Recent Zoning History

- ZC-22-050, Request to rezone from “AG” Agricultural to “I” Light Industrial withdrawn by applicant.

Public Notification

300-foot Legal Notifications were mailed on January 26, 2023.
The following organizations were emailed on January 27, 2023:

Organizations Notified	
Montserrat HA*	Chapin Rd & Alameda St NA
Trinity Habitat for Humanity	Fort Worth ISD
Streams & Valleys Inc	

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to rezone this property from “AG” Agricultural to “PD-CR/R2” Planned Development – Low Density Multifamily and Townhouse/Cluster. All property immediately adjacent to this site is zoned “AG” Agricultural District. The site is bordered on the east by the West Loop 820 Freeway, and the parcel to the west appears to be developed with a single-family home and a commercial landscaping business. Property to the north is zoned “G” Intensive Commercial district and is developed with two car dealerships along the highway frontage. The majority of land on the west side of Alameda Street, northwest of the subject property, is zoned “I” Light Industrial including approximately 70 acres of land that were rezoned for industrial use in April 2021. The character of the closest existing residential developments to this site are rural residential, large lot residential, and standard residential single family. Multifamily developments of this nature are by and large out of character with the existing developments in the vicinity. There is no transit service in the area to support dense residential development.

The gas well pad on the site and the proximity to Loop 820 should be taken into consideration when evaluating the site. Both of these features have the potential to generate nuisance complaints from future residents based on noise, odor, and pollution. Proximity to freeways and gas wells are generally not desirable for residential development. The latest plans indicate the second entrance on Loop 820 frontage as “emergency access only”, meaning all 330 units will be entering and exiting from the Chapin Road entrance, which is less than ideal.

Mary’s Creek is located to the south of this site, including a large area of FEMA 100-year floodplain that extends onto the subject property. The Montserrat Subdivision, zoned a combination of “A-21” and “A-43” One-Family, is located to the south of Marys Creek and is developed with single-family homes on large lots. However, the floodplain area that separates this neighborhood and the subject property measures approximately 1,200 feet wide and is heavily wooded, providing a buffer between the two uses. In addition, no direct connection between the residential area and subject property is proposed.

No community support has been provided for this rezoning request, and no letters of support are on file with the Development Services Department as of the writing of this report. Overall, the proposed zoning is **not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far West

The 2022 Comprehensive Plan currently designates a 500 foot strip along the northern portion of the subject property, closest to Chapin Road, as “General Commercial” on the Future Land Use Map. The remainder of the property is designated as “Rural Residential.” The proposed zoning is not designated as an appropriate zoning district within either of these categories.

Although this site does have direct access to the Loop 820 Freeway and Chapin Road (an arterial roadway), Chapin currently serves as a dividing line between industrial uses to the north and agricultural and residential uses to the south. The Future Land Use does anticipate lower-intensity commercial development at the north end of the subject property, which would provide a transition from the industrial uses to the north of Chapin Road and residential uses to the south.

The proposed zoning of “PD-CR/R2” **is not consistent** with the Comprehensive Plan. Additionally, the proposal does not meet any of the land use policies promoted in the Comprehensive Plan for the Far West sector. If the zoning change is approved as presented, staff would recommend that the Comprehensive Plan be updated to reflect the change.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential. The Economic Development Plan does not address housing specifically, and is tailored towards addressing the growth strategies for commercial and industrial properties.

With a portion of the site reserved for future commercial zoning, it would be wise to retain a portion of this site for future commercial use, rather than allowing a purely residential development. The Economic Development Plan does promote the City pursuing a more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

Site Plan Comments

Zoning and Land Use

(Round 2 comments – addressed)

Waiver Exhibit:

- Missing case number and address
- Should be called “development standards”, not “deviations”
- “Proposed PD-CR” rather than “Proposed PD”
- Missing listing of development standards (waivers) at the top
- Missing density (units per acre), bufferyard & screening, landscaping, and urban forestry
- Provide parking counts for required and provided in table

Open Space diagram:

- Eliminate distinctions on Open Space types (easement, floodplain, amenity)
- Add gas well acreage
- Table should show total site acreage, less gas well acreage and row dedication
- Include open space expressed as acreage as well as percent of site (less gas & row or ~48 ac)
- Revise Summary table:
 - Remove developable acreage

- Revise density to 6.7 DU/acre (based on 374 units on 55.7 acres)
- Density is calculated as total acreage minus any right of way dedications, or 57.0 less 1.3 = 55.7
- Remove Open Space Summary Table from Site Plan
- Provide Separate Open Space Diagram exhibit with areas shaded that meet definition of Open Space in Section 9 of the City of Fort Worth Zoning Ordinance.
 - **OPEN SPACE** - The net land area minus all building footprints, parking areas, access drives and fenced patios. Must be open to the sky and cannot be paved, except for necessary sidewalks, active recreation areas and patios that are adjacent to dwelling units and not enclosed by a fence
- Provide additional space for Director signature and date lines
- Add Case # reference ZC-22-156
- Rename "PD Development Plan" to "Site Plan"
- If parking is calculated per the Zoning Ordinance requirements (1 per bedroom plus 1 per 250 square feet of common area) that waiver/development standard could be eliminated. The less development standards the better.

Fire Department

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)

FYI: Plat subject to gas well setbacks for a Permitted Pad site and Lift Compressor.

All gas well setback types must be shown on the plat regardless of the building type.

225' Building Setback measured from the edge of the pad site for Protected Use & Public Building structures.

125' Building Setback from the edge of the Multi Well Permitted gas well site for Habitable Structures.

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 5706.3.1.3.3 Existing Gas Wells

FYI: Additional fire hydrants will be required. Additional hydrants will be required to accommodate the following:

Maximum distance from Fire Department Connection (FDC); if sprinkler systems or standpipes provided: IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Sections 507.5.1 (2) and (3)

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future. It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times. The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.

Transportation/Public Works

TDR (Armond Bryant, 817-392-8702, Armond.Bryant@fortworthtexas.gov)

The tract is subject to a review of the Rough Proportionality and potential construction for roadway improvements to Chapin Road based on the site's impact on the roadway system.

Water

Case review Performed On: 9/28/2022. You may address hold comments by emailing: DSWS@fortworthtexas.gov

Ensure Installation Policy and Design Criteria for Water, Wastewater, and Reclaimed Water requirements are met:

<https://www.fortworthtexas.gov/files/assets/public/government/documents/fw-water-installation-policy-design-criteria.pdf>

Stormwater

Workflow in Accela cleared by Robin Stevens, but no comments provided

Park & Recreation

Workflow in Accela cleared by Lori Gordon, but no comments provided

Platting

No response provided

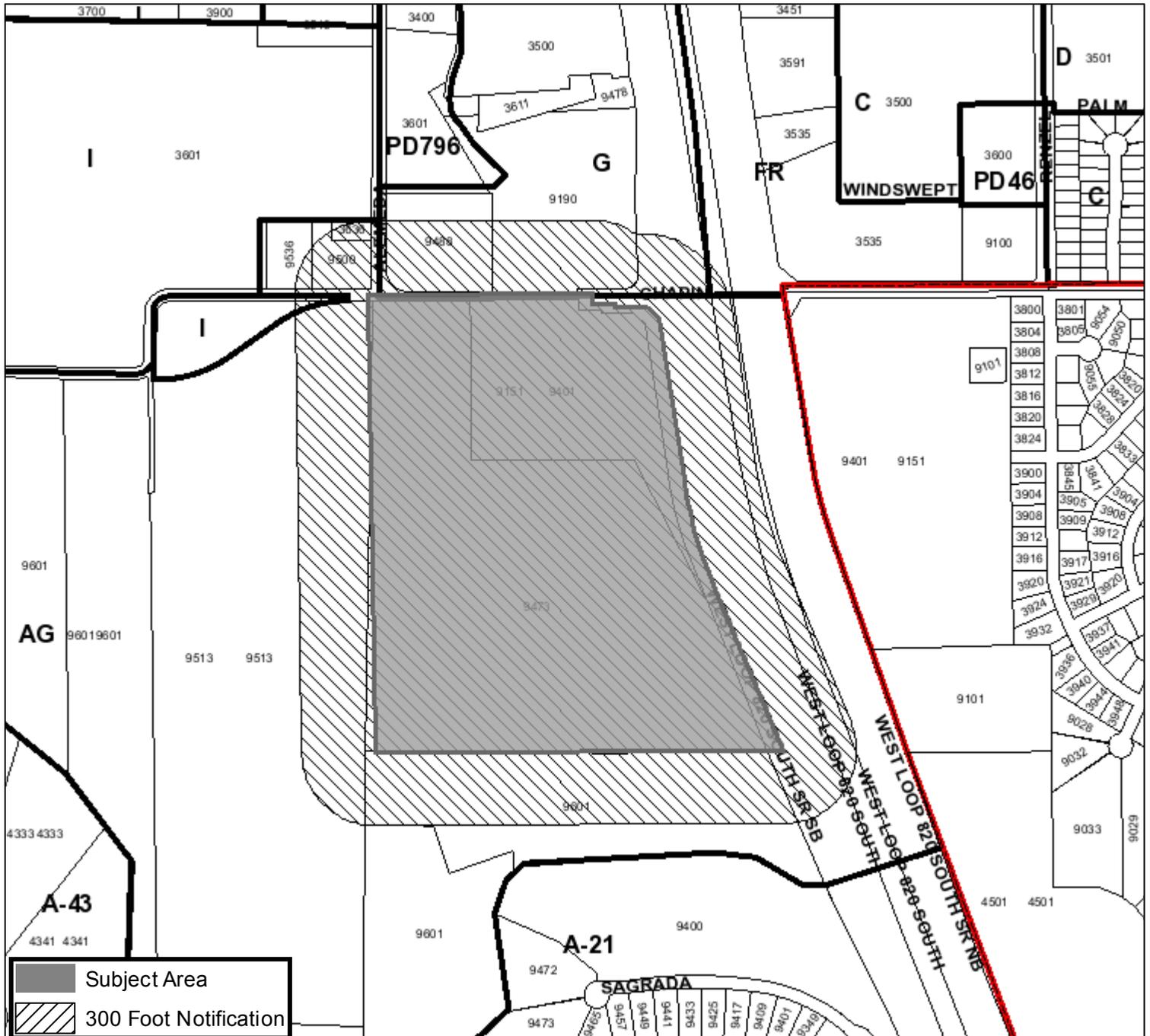
Building Plan Review

No response provided

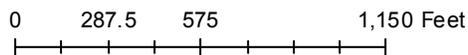
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: Rowan Altgelt Laughlin Group, LTD
 Address: 9400 block Chapin Road
 Zoning From: AG
 Zoning To: "PD-CR/R2" Planned Development for Detached Multifamily & Townhomes
 Acres: 57.53858333
 Mapsco: 72V
 Sector/District: Far West
 Commission Date: 11/9/2022
 Contact: 817-392-8043



Subject Area
 300 Foot Notification



NOTES:

1. SITE AMENITIES INCLUDE: DOG PARK, COURTYARD AREAS, SIDEWALKS THROUGHOUT THE DEVELOPMENT, POOL, PLAYGROUND, OUTDOOR ENTERTAINMENT SPACE WITH PERGOLA AND MOVEABLE FURNITURE, FIRE PIT AND MINIMUM 1500 S.F. AIR CONDITIONED CLUBHOUSE.
2. ALL PROVIDED LIGHTING SHALL CONFORM TO CITY OF FORT WORTH LIGHTING CODE.
3. ALL SIGNS SHALL CONFORM TO ARTICLE 4-SIGNS UNLESS SPECIFIED ON THE SITE PLAN.
4. THIS PROJECT WILL COMPLY WITH ENHANCED LANDSCAPING REQUIREMENTS FOR "CR" DISTRICTS.
5. THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
6. TRASH RECEPTACLES WILL BE SCREENED IN WITH A MASONRY WALL ON ALL THREE SIDES AND CONTAIN A GATE.
7. THE SQUARES ON THE PROPOSED PERIMETER FENCING SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY ARE NOT INDICATIVE OF COLUMN SPACING. PROPOSED COLUMN SPACING WILL BE DETERMINED DURING THE DETAILED LANDSCAPE DESIGN PROCESS. ALL SCREENING WALLS TO BE 6- FEET IN HEIGHT.
8. SIDEWALKS BEHIND FREESTANDING GARAGES SHALL BE OFFSET 3- FEET TO ALLOW FOR A ROW OF SHRUBS OR PLANT MATERIAL.
9. GARAGES AND CARPORTS SHALL BE BE CONSTRUCTED WITH COMPATIBLE ARCHITECTURAL TREATMENTS THAT MATCH THE MAIN BUILDINGS (EG ROOF PITCH, GABLE TYPE AND ORIENTATION, ROOF MATERIALS).
10. ALL LANDSCAPE BUFFERS ARE INCLUSIVE OF EXISTING/PROPOSED EASEMENTS.
11. ALL FIRELANES AND PARKING AREAS TO BE CONCRETE PAVING.
12. ALL PARKING STALLS (INCLUDING ADA SPACES) TO MEASURE 10- FT BY 20- FT AND INCLUDE WHEEL STOPS. ADA SPACES WILL ALSO INCLUDE A 5- FT BY 20- FT LANDING ZONE AND INCLUDE HANDICAP SIGNAGE.
13. ACCESS FROM LOOP 820 SERVICE ROAD TO BE MARKETED AS EMERGENCY ACCESS
14. THIS REQUEST FOR A PLANNED DEVELOPMENT IS IN ACCORDANCE WITH THE "CR" AND "R2" DISTRICT STANDARDS, WITH THE FOLLOWING EXCEPTIONS:

OVERALL COMMUNITY DESIGN STANDARDS

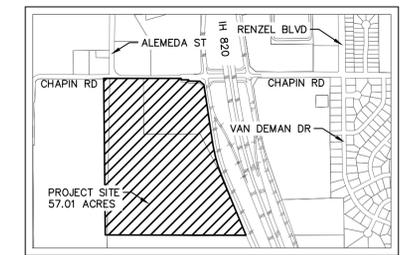
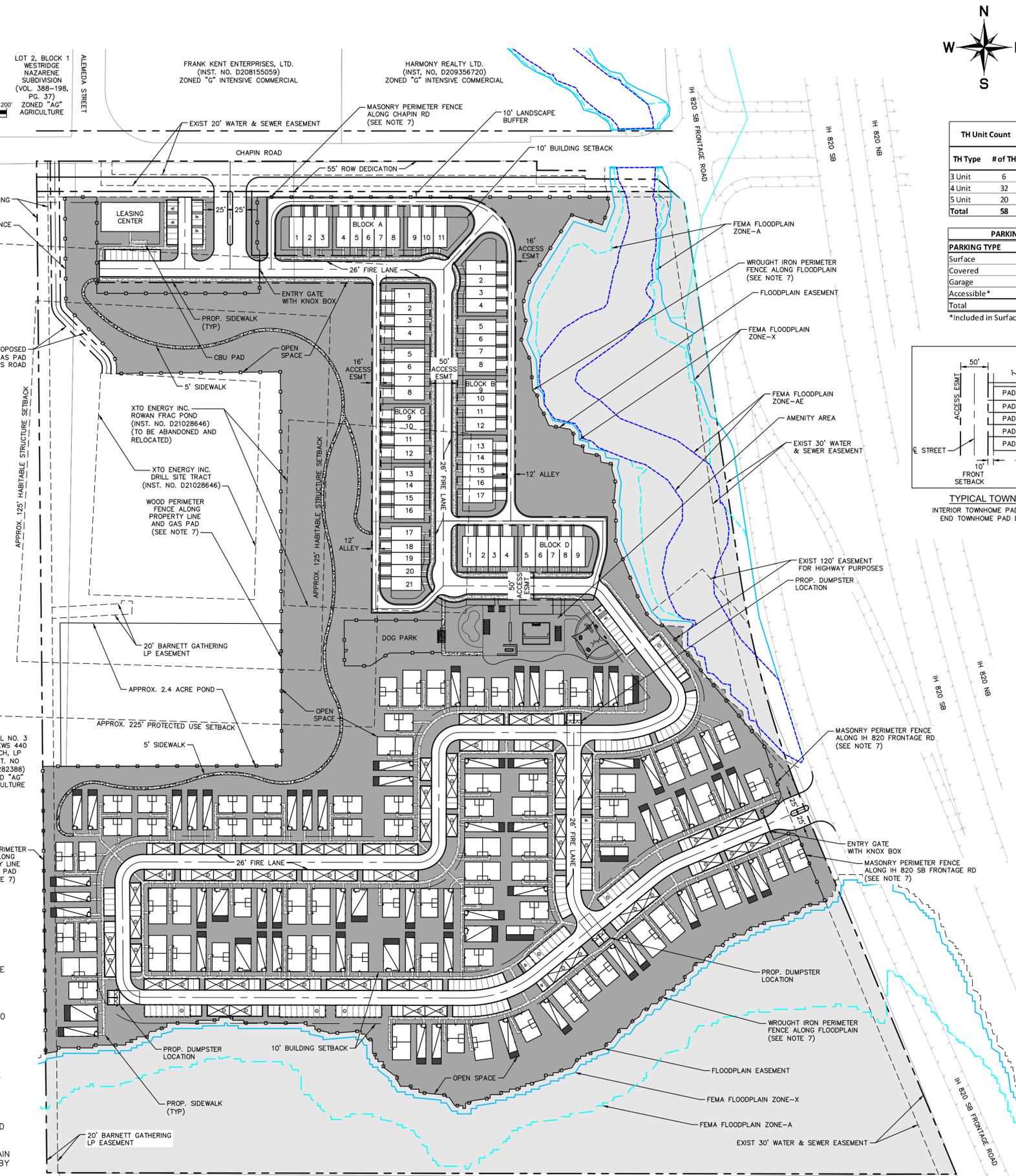
- OPEN SPACE, MINIMUM 40% (19.72 ACRES) (INCLUSIVE OF LEASING OFFICE AND AMENITY AREA). EXISTING AND PROPOSED EASEMENTS, 100-YEAR FLOODPLAIN, COURTYARDS, WELL SETBACKS, AND GREEN/LANDSCAPED AREAS BETWEEN BUILDINGS SHALL BE COUNTED PER OPEN SPACE REQUIREMENTS.
- MAXIMUM DENSITY PER ACRE SHALL BE 16 UNITS PER ACRE. (FOR OVERALL PROJECT)
- ACCESSORY BUILDINGS SHALL INCLUDE: LEASING CENTER, AMENITY CENTER, PARKING GARAGES, MAINTENANCE AND STORAGE BUILDINGS.
- ACCESSORY BUILDINGS SHALL CONFORM TO REQUIREMENTS STATED ON THIS SITE PLAN. NO FURTHER SITE PLANS OR SPECIFIC USE PERMITS SHALL BE REQUIRED FOR THE ACCESSORY BUILDINGS.
- CEMENTIOUS FIBERBOARD (CFB) SIDING, ALSO KNOWN AS COMPOSITE LAP SIDING, SHALL BE A PERMITTED MASONRY MATERIAL FOR THE PLANNED DEVELOPMENT, WITH SOME UNITS HAVING A MAXIMUM OF 90 PERCENT COVERAGE OF CFB ON CERTAIN SIDES; COVERAGE MAY HAVE A MINIMUM OF 80 PERCENT COVERAGE OF CFB ON CERTAIN SIDES.
- A MINIMUM OF 20 PERCENT MASONRY SHALL BE ALLOWED ON THE EXTERIOR FRONT, SIDE, AND REAR ELEVATIONS (EXCLUDING WINDOWS AND DOORS) ON ALL BUILDINGS.
- THE EXTERIOR WALLS (EXCLUDING WINDOWS AND DOORS) OF 50 PERCENT OF THE BUILDINGS SHALL BE A MINIMUM 70 PERCENT MASONRY ON THE FIRST-FLOOR ELEVATION.
- THE 20 PERCENT MASONRY STANDARDS THAT APPLY TO THE FRONT ELEVATION OF ANY RESIDENCE BUILDING SHALL ALSO APPLY TO ANY EXTERIOR WALLS ON A STRUCTURE THAT ARE ADJACENT TO AND FACE A PUBLIC STREET OR FIRE LANE, OR ARE VISIBLE FROM AND LOCATED IMMEDIATELY ADJACENT TO A PUBLIC PARK, RESERVED OPEN SPACE OR NEIGHBORHOOD COMMON AREA, OR AN UNDEVELOPED FLOOD HAZARD OR DRAINAGE AREA THAT IS ALSO ADJACENT TO A PUBLIC STREET.
- A MAXIMUM OF 10 PERCENT OF ANY EXPOSED EXTERIOR WALL MAY CONSIST OF EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- SECOND FLOOR DUTCH GABLE ROOF ELEMENTS ARE NOT REQUIRED TO BE MASONRY IF SET BACK AT LEAST 3 FEET FROM THE FIRST-FLOOR FRONT ELEVATION VERTICAL PLANE.
- BUILDINGS SHALL INCORPORATE AT LEAST 3 OF THE FOLLOWING FACADE VARIATION ELEMENTS:
 - A. A BASE COURSE OR PLINTH COURSE; BANDING, MOLDINGS, OR STRING COURSES; QUOINS; ORIELS; CORNICES; ARCHES; BRACKETS; KEYSTONES; DORMERS; LOUVERS AS PART OF THE EXTERIOR WALL CONSTRUCTION (QUOINS AND BANDING SHALL WRAP AROUND THE CORNERS OF THE STRUCTURE FOR AT LEAST TWO FEET).
 - B. BALCONIES
 - C. BAY WINDOWS
 - D. DOUBLE-ENTRY DOOR(S)
 - E. COVERED ENTRY(IES)
 - F. THE USE OF BOTH STONE AND BRICK ON THE FRONT ELEVATIONS WITH A MINIMUM OF 10 PERCENT COVERAGE OF ONE OF THE ELEMENTS.
 - G. FRONT PORCH OF AT LEAST 50 SQUARE FEET.
 - H. THE INSTALLATION OF AT LEAST TWO (2) COACH LIGHTS.
 - I. SHUTTERS, COLUMNS, AND ARCHITECTURAL WOODEN ACCENTS CAN BE SUBSTITUTED IF ADMINISTRATIVELY APPROVED BY THE ADMINISTRATIVE OFFICIAL.
- WINDOWLESS EXTERIOR WALLS THAT FACE A TRAVEL WAY OR OTHER SIMILAR HIGHLY VISIBLE AREAS ARE PROHIBITED. ON TWO-STORY STRUCTURES, WINDOWS ARE REQUIRED ON THE FIRST AND SECOND STORY FACING A TRAVEL WAY. WINDOWS SHALL BE IN HARMONY WITH AN APPROPRIATE TO THE REST OF THE STRUCTURE. THE USE OF REFLECTIVE GLASS ON RESIDENTIAL STRUCTURES IS PROHIBITED. REFLECTIVE GLASS WILL BE DEFINED AS HAVING A VISIBLE LIGHT REFLECTANCE RATING OF 15% OR GREATER.
- STREET LIGHTS SHALL BE DARK SKY COMPLIANT.
- PAINT COLOR SCHEMES FOR THE BUILDINGS SHALL BE EARTH TONES (WHITES, GRAYS, BLACKS, ETC.)
- ROOFING MATERIALS OF A STRUCTURE MAY ONLY CONSIST OF ARCHITECTURAL ASPHALT SHINGLES (INCLUDING LAMINATED DIMENSIONAL SHINGLES), CLAY AND CONCRETE TILE, METAL SHINGLES, MINERAL SURFACED ROW ROOFING, SLATE AND SLATE-TYPE SHINGLES, OR AN EQUIVALENT OR BETTER PRODUCT AS COMPARED WITH SAID MATERIALS. SHOULD ARCHITECTURAL SHINGLES BE USED AS ROOFING MATERIAL, SAID SHINGLES SHALL BE ACCOMPANIED WITH A MINIMUM 25-YEAR WARRANTY, UNDER NO CIRCUMSTANCE SHALL THREE-TAB SHINGLES BE USED AS ROOFING MATERIAL.
- EXCEPT FOR PORCH ROOFS AND SHED ROOFS, PITCHED ROOFS SHALL HAVE A MINIMUM SLOPE OF 6"x12" (SIX INCHES VERTICAL RISE FOR EVERY 12 INCHES HORIZONTAL RUN) AND SHALL HAVE AN OVERHANG AT LEAST 1-FOOT BEYOND THE BUILDING WALL; HOWEVER, THE OVERHANG SHALL NOT ENCRoACH INTO THE SETBACK MORE THAN 1-FOOT. PORCH ROOFS AND SHED ROOFS MUST HAVE A MINIMUM PITCH OF 4"x12".
- THE ROOFING ON THE GARAGE BUILDINGS SHALL BE 30-YEAR SHINGLES IN BLACK/DARK TONES.
- THE ROOFING ON THE CARPORTS SHALL BE A DARK NON-REFLECTIVE MATERIAL.

COTTAGE COMMUNITY DESIGN STANDARDS

- PARKING BASED ON:
 - 1 BEDROOM UNITS: 1.50 SPACES/UNIT
 - 2 BEDROOM UNITS: 2.00 SPACES/UNIT
 - 3 BEDROOM UNITS: 2.25 SPACES/UNIT
- MINIMUM 20% OPEN SURFACE PARKING ALLOWED.
- MINIMUM 30% COVERED PARKING ALLOWED.
- MINIMUM 10% ENCLOSED GARAGE PARKING ALLOWED.
- MINIMUM SQUARE FOOTAGE FOR A ONE BEDROOM UNIT IS 350 SF.
- FRONT YARD SETBACKS TO BE MINIMUM OF 10' FROM BACK OF CURB
- SIDE YARD SETBACKS TO BE 10' MINIMUM (AC UNITS SHALL BE ALLOWED WITHIN THE SETBACKS)
- REAR YARD SETBACKS TO BE 10' MINIMUM (AC UNITS SHALL BE ALLOWED WITHIN THE SETBACKS)
- BALCONIES AND PORCHES SHALL BE ALLOWED TO ENCRoACH INTO SETBACKS.
- MAXIMUM HEIGHT OF THE DUPLEX UNIT SHALL BE 36' (2 STORY)
- RESIDENTIAL UNITS MINIMUM TEN FOOT (10') SEPARATION WALL TO WALL
- ENCLOSED GARAGE UNITS MINIMUM TEN FOOT (10') SEPARATION FROM RESIDENTIAL UNITS, WALL TO WALL

TOWNHOME DESIGN STANDARDS

- PARKING BASED ON:
 - 2 SPACES LOCATED IN DRIVEWAY
 - 2 SPACES LOCATED IN ATTACHED GARAGE
 - MAXIMUM HEIGHT OF THE TOWNHOME SHALL BE 36' (2 STORY)
- LANDSCAPE DESIGN STANDARDS**
- LARGE CANOPY TREES WILL BE PROVIDED 35- 40 FT ON-CENTER ALONG CHAPIN ROAD.
 - SUSTAINABLE, NATIVE, ENHANCED LANDSCAPING WILL BE PROVIDED AT BOTH COMMUNITY ENTRANCES, AROUND THE AMENITY AREA, AND AT THE LEASING CENTER.
 - TREES WILL BE PROVIDED AT END CAPS OF PARKING STALLS WHERE THERE ARE NO UTILITY CONFLICTS.
 - A MIXTURE OF LARGE CANOPY TREES AND ORNAMENTAL TREES WILL BE PLACED THROUGHOUT THE DEVELOPMENT.
 - EVERGREEN SCREENING SHRUBS WILL BE PLACED ADJACENT TO ALL DUMPSTER LOCATIONS.
 - NATURAL CANOPY AND VEGETATION CONTAINED WITHIN THE LIMITS OF THE 100-YEAR FLOODPLAIN TO BE PRESERVED TO THE EXTENT PERMITTED BY THE CITY.



TH Unit Count

TH Type	# of TH
3 Unit	6
4 Unit	32
5 Unit	20
Total	58

PARKING PROVIDED

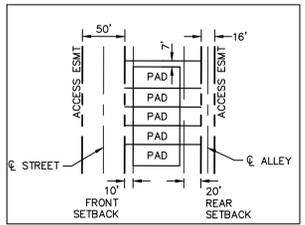
PARKING TYPE	# Spaces	Mix
Surface	163	34.3%
Covered	264	55.6%
Garage	48	10.1%
Accessible*	10	2.1%
Total	475	

*Included in Surface Parking Total

UNIT COUNT AND MIX

Unit Type	Bedrooms in a Unit	Units	Actual %	Goal %
Type 1	1	86	32%	25%
Type 2	2	62	23%	20%
Type 3	1	6	2%	5%
Type 4**	1, 2	106	39%	35%
Type 5	3	12	4%	15%
Total		272	100%	100%

** Two Story Units



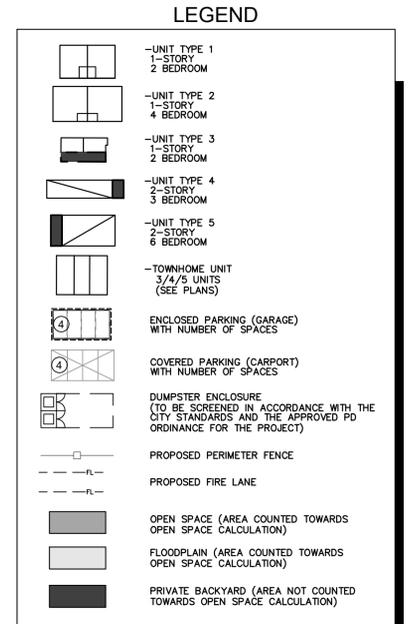
DENSITY CALCULATION TABLE

Total Site Acreage	57 Acre
Gas Pad/Pond	7.7 Acre
ROW Dedication	1.3 Acre
Density*	6.9 DU/Acre

*Excludes acreage reserved for ROW Dedication and Gas Pad/Gas Pad Access.

PARKING REQUIRED

# Bdrm	# Units	Pkg/Unit	Req. Pkg
1 bdrm	145	1.50	217.5
2 bdrm	115	2.00	230.0
3 bdrm	12	2.25	27.0
	272		474.5



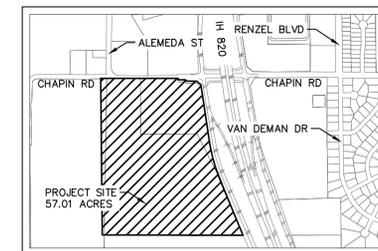
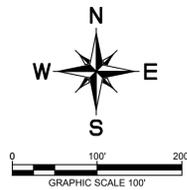
CASE NUMBER: ZC-22-156

EXHIBIT "C" SITE PLAN
FOR
COTTAGES AND VILLAS AT MARYS CREEK
BEING 57.0142 ACRES
OUT OF THE
CRESWELL, LB SURVEY, ABSTRACT NO. 367
IN THE
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

OWNER: ROWAN ALTGELT LAUGHLIN GRP LTD 215 BURR RD SAN ANTONIO, TX 78209 Tel: (817-301-5111) Contact: (IN THE C/O) AUSTIN REILY, LAND ADVISORS	DEVELOPER: ONM LIVING 1038 TEXAN TRAIL FORT WORTH, TX 76051 Tel: (817) 614-9049 Contact: ZAC THOMPSON	ENGINEER/SURVEYOR: Kimley»Horn 400 N. Oklahoma Dr. Suite 105 Celina, TX 75009 Tel: (469) 501-2200 Contact: LORI LUSK, P.E.
DESIGNED: KHA	DRAWN: KHA	CHECKED: KHA
SCALE: AS SHOWN	DATE: JANUARY 2023	KI PROJECT NO.:

PARCEL NO. 2
ANDREWS 440 RANCH, LP
(INST. NO. D214282388)
ZONED "AG" AGRICULTURE

PREPARED BY: KIMLEY-HORN AND ASSOCIATES, INC. (KHA) 17702010-00-AM
 DATE: 01/11/2023
 PROJECT: 2023020047 - ONM - CHAPIN ROAD/CADRELL/MAIN/RYAN/PLANNED DEVELOPMENT (SITE PLAN) (SHP)



VICINITY MAP
SCALE: 1" = 1,000'

OPEN SPACE SUMMARY TABLE	
Total Site Acreage*	48.0 Acres
Provided Open Space Acreage	31.4 Acres
Percentage of Open Space Required	40%
Percentage of Open Space Provided	65%

*Excludes area reserved for ROW Dedication (1.3 acres) and Gas Pad/Gas Pad Access (7.7 acres)

NOTES:

1. SITE AMENITIES INCLUDE: DOG PARK, COURTYARD AREAS, SIDEWALKS THROUGHOUT THE DEVELOPMENT, POOL, PLAYGROUND, OUTDOOR ENTERTAINMENT SPACE WITH PERGOLA AND MOVEABLE FURNITURE, FIRE PIT AND MINIMUM 1500 S.F. AIR CONDITIONED CLUBHOUSE.
2. OPEN SPACE, MINIMUM 40% (19.72 ACRES) (INCLUSIVE OF LEASING OFFICE AND AMENITY AREA). EXISTING AND PROPOSED EASEMENTS, 100-YEAR FLOODPLAIN, COURTYARDS, WELL SETBACKS, AND GREEN/LANDSCAPED AREAS BETWEEN BUILDINGS SHALL BE COUNTED PER OPEN SPACE REQUIREMENTS.

LEGEND

	-UNIT TYPE 1 1-STORY 2 BEDROOM
	-UNIT TYPE 2 1-STORY 4 BEDROOM
	-UNIT TYPE 3 1-STORY 2 BEDROOM
	-UNIT TYPE 4 2-STORY 3 BEDROOM
	-UNIT TYPE 5 2-STORY 6 BEDROOM
	-TOWNHOME UNIT 3/4'S UNITS (SEE PLANS)
	ENCLOSED PARKING (GARAGE) WITH NUMBER OF SPACES
	COVERED PARKING (CARPORT) WITH NUMBER OF SPACES
	DUMPSTER ENCLOSURE (TO BE SCREENED IN ACCORDANCE WITH THE CITY STANDARDS AND THE APPROVED PD ORDINANCE FOR THE PROJECT)
	PROPOSED PERIMETER FENCE
	PROPOSED FIRE LANE
	OPEN SPACE

CASE NUMBER: ZC-22-156

EXHIBIT "D"
OPEN SPACE PLAN
FOR
COTTAGES AND VILLAS AT MARYS CREEK
BEING 57.0142 ACRES
OUT OF THE
CRESWELL, LB SURVEY, ABSTRACT NO. 367
IN THE
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

OWNER: ROWAN ALTGELT LAUGHLIN GRP LTD 215 BURR RD SAN ANTONIO, TX 78209 Tel: (817-301-5111) Contact: (IN THE C/O) AUSTIN REILY, LAND ADVISORS	DEVELOPER: ONM LIVING 1038 TEXAN TRAIL FORT WORTH, TX 76051 Tel: (817) 614-9049 Contact: ZAC THOMPSON	ENGINEER/SURVEYOR: Kimley»Horn 400 N. Oklahoma Dr. Suite 105 Celina, TX 75009 Tel: (469) 501-2200 Contact: LORI LUSK, P.E.
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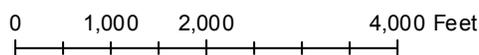
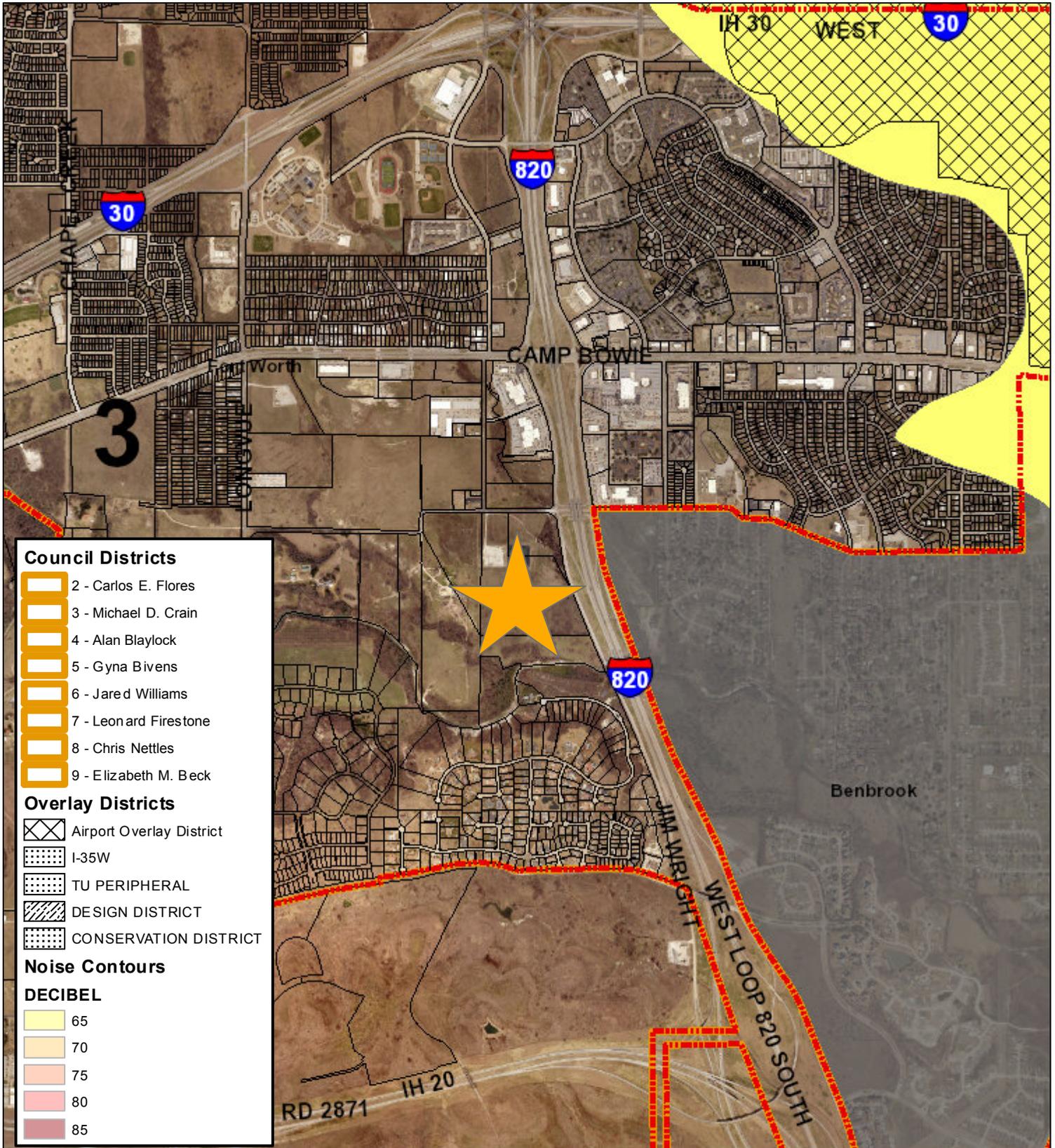
DESIGNED KHA	DRAWN KHA	CHECKED KHA	SCALE AS SHOWN	DATE JANUARY 2023	KI1 PROJECT NO.
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DIRECTOR OF DEVELOPMENT SERVICES

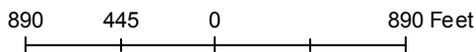
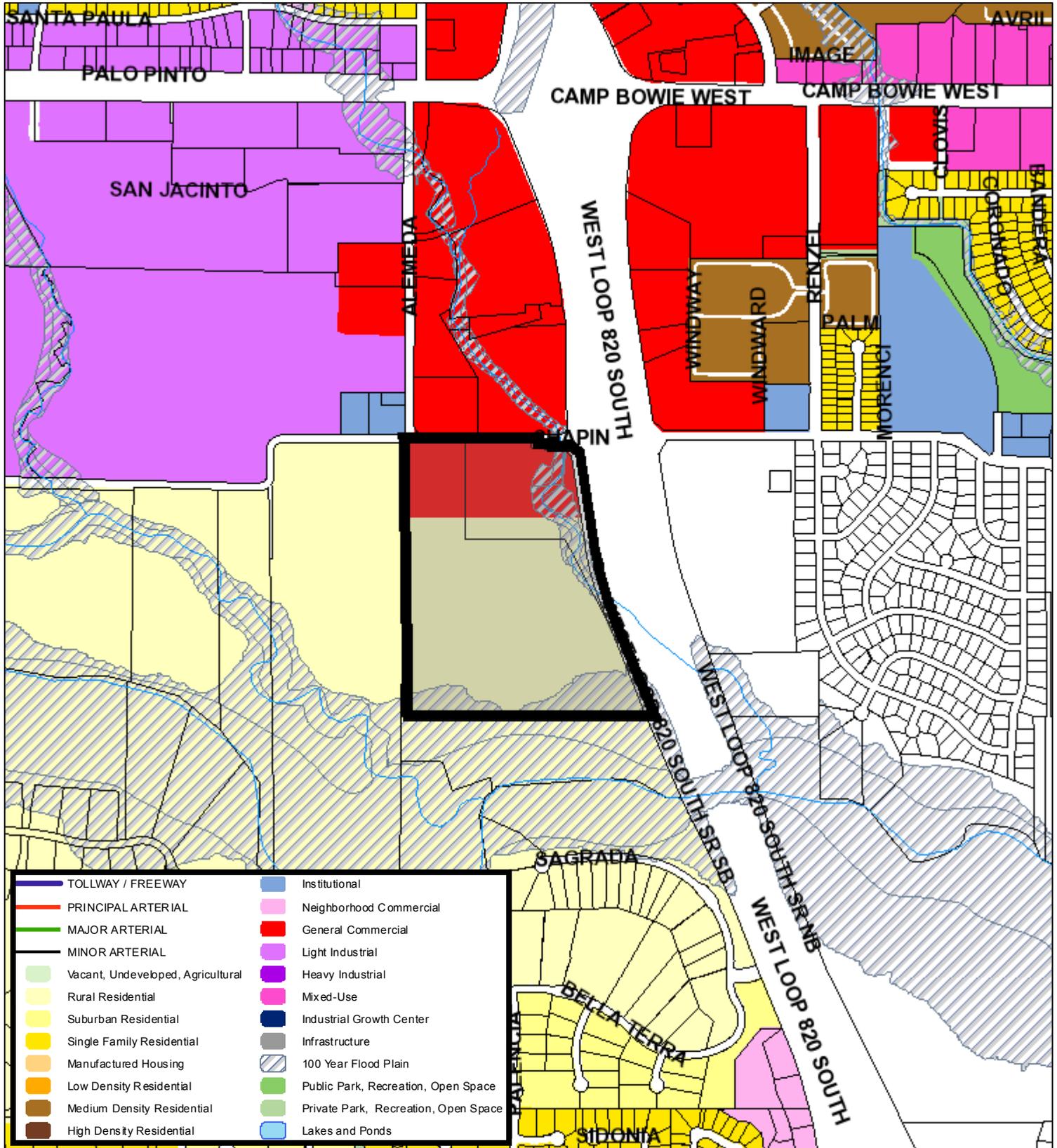
DATE

REVISIONS: 1. 1/10/2023 11:59 AM
 DRAWN BY: KHA
 LAST NAME: KHA
 LAST NAME: KHA
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and shall be without liability to Kimley-Horn and Associates, Inc.

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 550 1,100 2,200 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-018

District: (old/new): 9 / 9

Zoning Map Amendment

Case Manager: [Shad Rhoten](#)

Owner / Applicant: James W. Eby

Site Location: 2801 Townsend Drive

Acreage: 0.14 acres

Request

Proposed Use: Duplex/Two-family attached dwelling

Request: From: "A-5" One-Family/TCU Residential Overlay (Application incorrectly states the property is "A-10")

To: "B" Two-Family/TCU Residential Overlay

Recommendation

Land Use Compatibility: Requested change is **not compatible**

Comprehensive Plan Consistency: Requested change is **not consistent**

Staff Recommendation: **Denial**

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 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
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9. Aerial Photograph

Project Description and Background

Note: This item was continued from the March 22, 2023 Special Called Meeting due to a technical error in the newspaper notice.

The property is part of the Frisco Heights Addition and within the TCU/Westcliff area of the city. It is also within the TCU Residential Overlay District. This request, if approved, would change the current “A-5” zoning to “B” zoning, going from an allowance for one (1) single family dwelling unit to an allowance for one (1) duplex unit containing two (2) dwelling units, attached. The property currently contains a single-family residence with a subordinate accessory building located at the rear (east) portion of the property and to the rear of the single- family structure. The applicant proposes to construct a duplex on the property for student housing as stated in the submitted application.

The lot is approximately 6,350 square feet or 0.14 acres which exceeds the minimum 5,000 square foot lot area required for the “B” district. Due to the smaller lot size, the applicant could construct a two (2) attached units but appears to lack the area to construct two (2) detached units. Additional standards for “B” zoning are 50% maximum building coverage on the lot, 20-foot front yard setback, 5-foot side and rear yard setbacks, 35-foot maximum height, and 2 parking stalls per dwelling unit, situated behind the front building line.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single family residential
East “A-5” One-Family / single family residential
South “A-5” One-Family / single family residential
West “A-5” One-Family / single family residential

Recent Zoning History

- The subject property was rezoned in 2014 under the TCU Residential Overlay District. The purpose of the TCU residential overlay district is to facilitate preservation of existing single-family residential neighborhoods by establishing limitations and special requirements on property uses within the area that are inconsistent with the underlying zoning and original construction thereof by providing a mechanism for making such inconsistent uses compatible.

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.

The following organizations were emailed on March 30, 2023:

Organizations Notified	
Las Familias de Rosemont NA	University Place NA
Park Hill Place HOA	Ryan Place Improvement Assn
Paschal NA*	Park Hill NA
Frisco Heights NA	Berkeley Place NA
Streams And Valleys Inc	Trinity Habitat for Humanity
Berry Street Initiative	Fort Worth ISD

Development Impact Analysis

Land Use Compatibility

The current zoning of “A-5” allows the use of the existing one (1) single family dwelling unit. The proposed zoning of “B” Two-Family would allow the construction and use of Two-family dwelling unit on a single lot of record.

As stated above, the property is located within the TCU Residential Overlay District, created to facilitate preservation of existing single-family residential neighborhoods by establishing limitations and special requirements on property uses within the area that are inconsistent with the underlying zoning and original construction thereof by providing a mechanism for making such inconsistent uses compatible. The overlay also prohibits more than three unrelated persons from occupying a single dwelling unit unless the owner has registered as a nonconforming use by March 31, 2015.

Based on the overall build out of single-family residential surrounding the property and the desire to preserve single-family residential within the TCU Overlay, this rezoning request **is not compatible**.

Comprehensive Plan Consistency – TCU/Westcliff

The 2022 Comprehensive Plan currently designates the subject property as future Single-Family Residential. This land use designation includes zoning districts “A-5”, “A-7.5”, “A-10”, and “AR”. Duplex or “B” Two-Family zoning would be classified as Low Density Residential under the adopted Future Land Use Plan. The difference between Single Family Residential and Low Density Residential is negligible as both have a residential character. A duplex would be slightly more intense than a single-family residence, but both would be less intense uses than commercial or industrial zoning. The proposed zoning is not in alignment with the following policies of the Comprehensive Plan:

- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.
- Encourage small-lot single-family zoning districts (i.e. AR and A-5) on the periphery of mixed-use growth centers (TCU), where the City seeks to concentrate employment and public services. The proposed zoning is not consistent with the Comprehensive Plan Future Land Use designation.

The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation.

Economic Development Plan

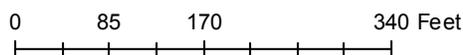
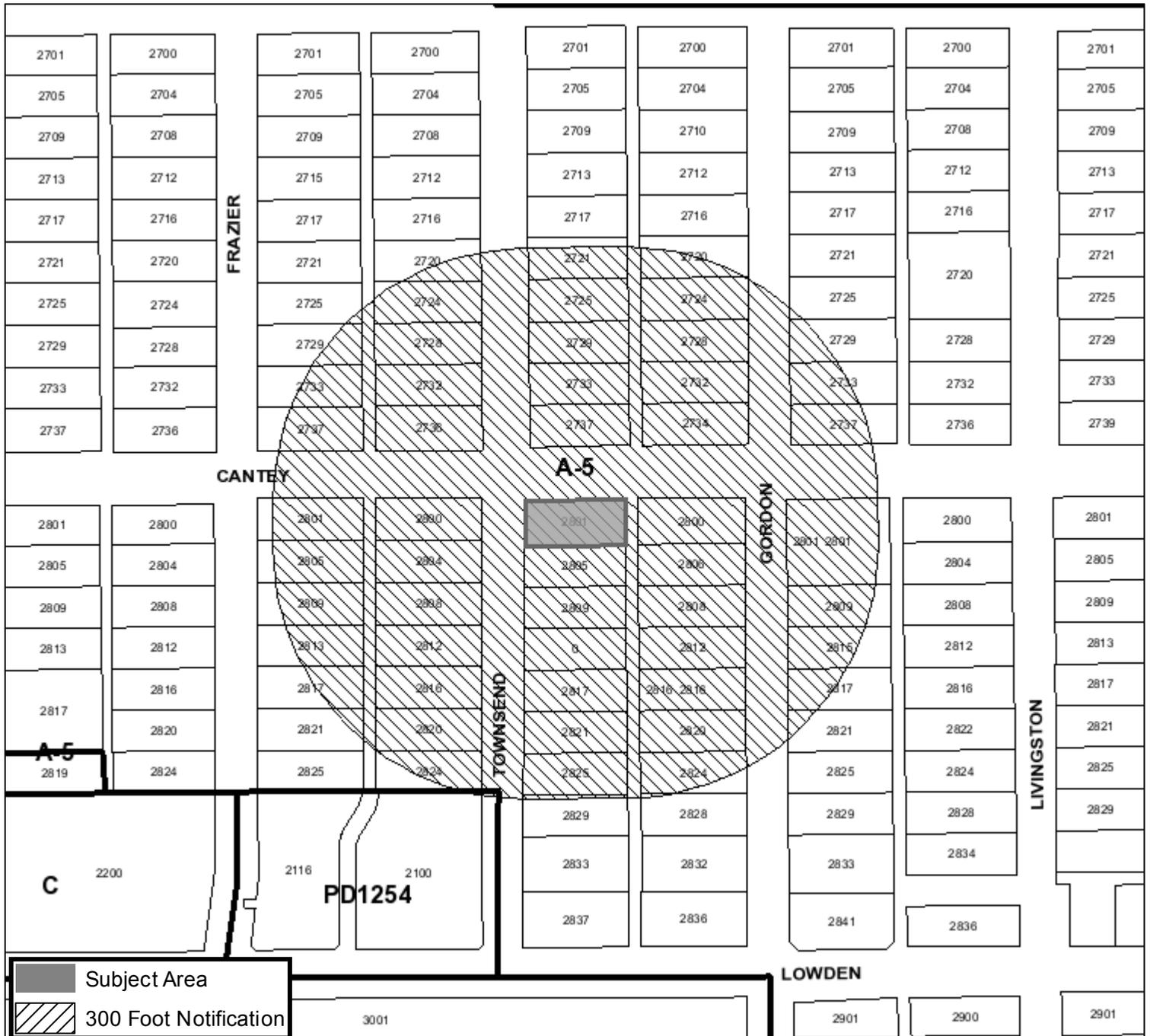
The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.



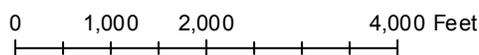
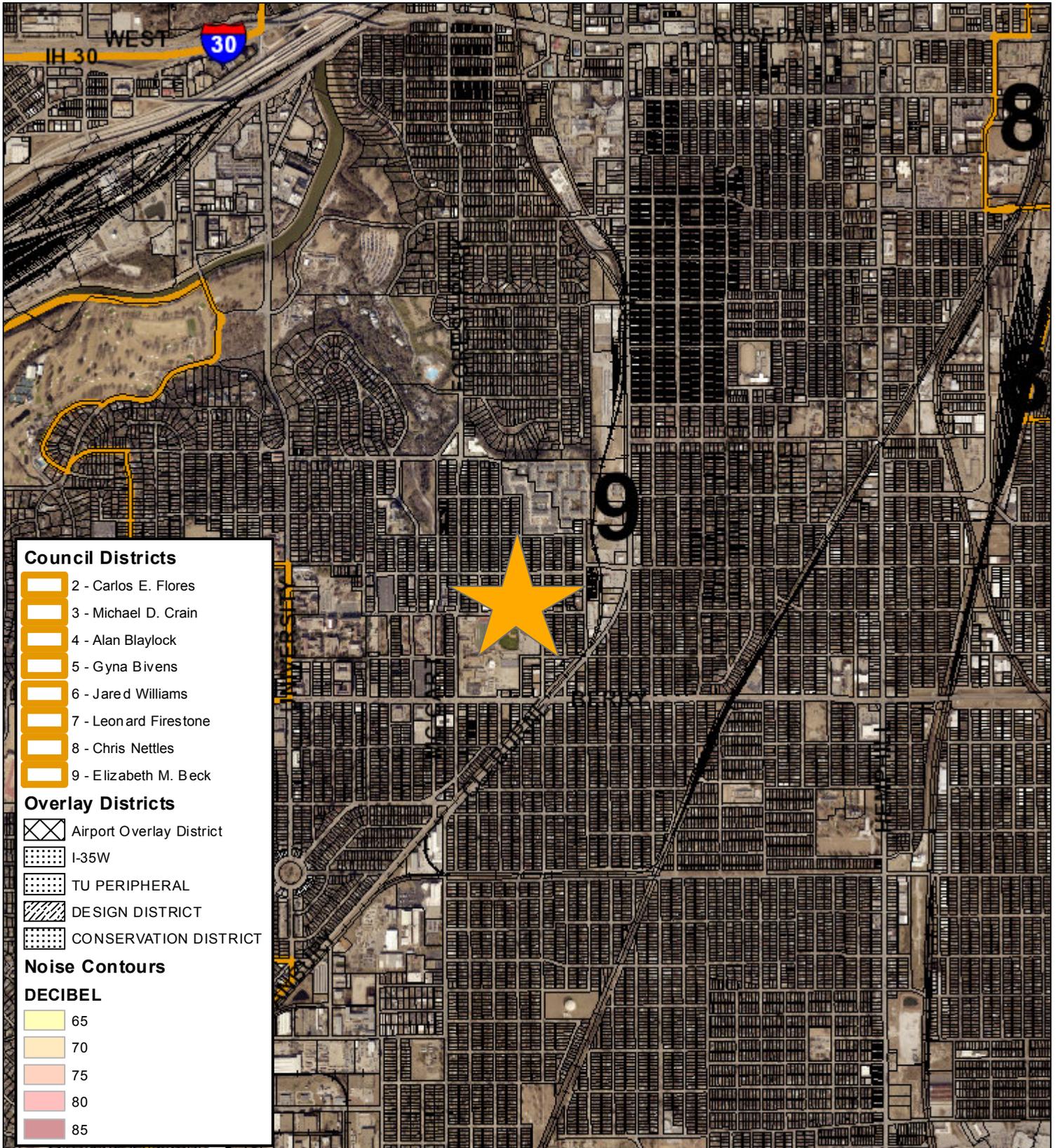
ZC-23-018

Area Zoning Map

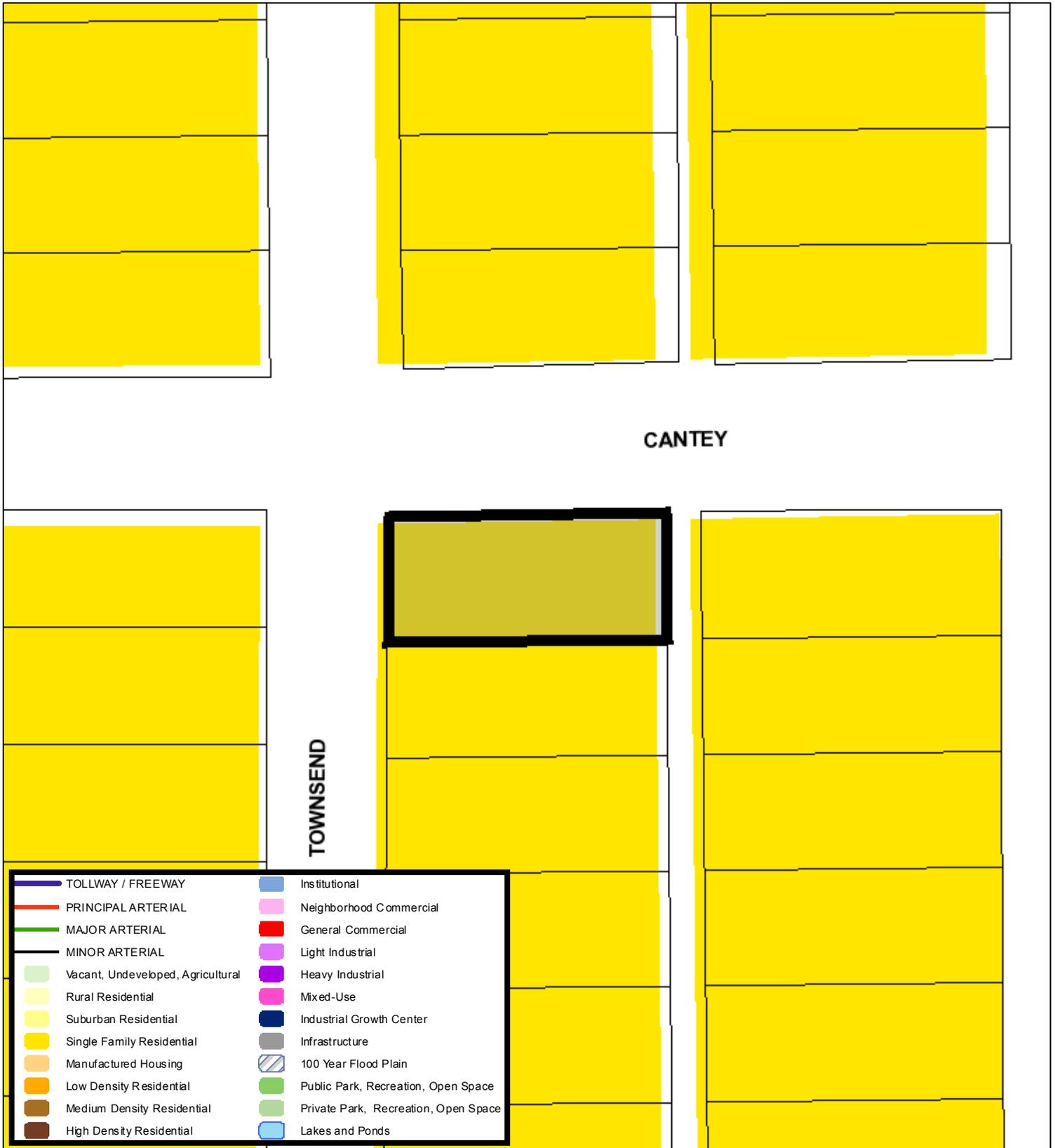
Applicant: Jim Eby
 Address: 2801 Townsend Dr.
 Zoning From: A-5
 Zoning To: B
 Acres: 6407.50301414
 Mapsco: Text
 Sector/District: TCU/Westcliff
 Commission Date: 3/22/2023
 Contact: 817-392-2025



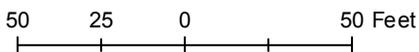
Area Map



Future Land Use



	TOLLWAY / FREEWAY		Institutional
	PRINCIPAL ARTERIAL		Neighborhood Commercial
	MAJOR ARTERIAL		General Commercial
	MINOR ARTERIAL		Light Industrial
	Vacant, Undeveloped, Agricultural		Heavy Industrial
	Rural Residential		Mixed-Use
	Suburban Residential		Industrial Growth Center
	Single Family Residential		Infrastructure
	Manufactured Housing		100 Year Flood Plain
	Low Density Residential		Public Park, Recreation, Open Space
	Medium Density Residential		Private Park, Recreation, Open Space
	High Density Residential		Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 35 70 140 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-027

District: (old/new): 9 / 9

Zoning Map Amendment

Case Manager: [Shad Rhoten](#)

Owner / Applicant: Gina McLean – Nationwide Construction / Tommy Hicks

Site Location: 3005 & 3011 Stanley Ave

Acreage: 0.43 acres

Request

Proposed Use: Restaurant – Wing Stop

Request: From: “A-5” One-Family

To: “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent (Minor Boundary Adjustment)**

Staff Recommendation: **Approval**

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Project Description and Background

This item was continued per request by the applicant during the March 22, 2023 Special Called Zoning Commission Meeting.

The applicant is intending to construct a new Wingstop restaurant on this undeveloped brownfield tract. The site is composed three (3) existing lots (intended to be re-platted) with the northernmost lot already being zoned “E” Neighborhood Commercial. The southern two (2) lots are being requested for rezoning from “A-5” One Family to “E” Neighborhood Commercial so that the entire building site is zoned uniformly to accommodate a restaurant in “E” Neighborhood Commercial.

City Staff recommend **approval** of this application in November, 2021. The report from this hearing can be viewed at the below link.

This request was recommended for **denial** in November, 2021 by the Zoning Commission with a 7-0 vote ([ZC-21-144](#)). Zoning Commission voiced concerns over traffic safety and intrusion into the residential neighborhood with a commercial use.

The City Council also **denied this request without prejudice** on December 14, 2021 to allow the applicant to work with the adjoining neighborhood and modify the site plan to alleviate neighboring property owner concerns.

The applicant has since modified the site plan to reflect a single access point onto Stanley Ave (Bowie Ave access has been removed). Additional landscape buffers have been added along the property frontage (Stanley Ave) and the parking has been pushed back more to the interior of the site. Please refer to attached site plan for reference.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / Vacant
East “A-5” One-Family / single family residential
South “A-5” One-Family / single family residential
West “BU-CX-4” Berry University Commercial Mixed-Use / Vacant

Recent Zoning History

- The subject property was rezoned in 2014 under the TCU Residential Overlay District. The purpose of the TCU residential overlay district is to facilitate preservation of existing single-family residential neighborhoods by establishing limitations and special requirements on property uses within the area that are inconsistent with the underlying zoning and original construction thereof by providing a mechanism for making such inconsistent uses compatible.
- In November 2021, this request was recommended for denial by the Zoning Commission with a 7-0 vote ([ZC-21-144](#)). Zoning Commission voiced concerns over traffic safety and intrusion into the residential neighborhood with a commercial use.

- On December 14, 2021, the City Council **denied this request without prejudice** ([ZC-21-144](#)) to allow the applicant to work with the adjoining neighborhood and modify the site plan to alleviate neighboring property owner concerns.

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
 The following organizations were emailed on March 30, 2023:

Organizations Notified	
Ryan Place Improvement Assoc*	Shaw Clarke NA
Paschal NA	Streams and Valleys Inc
Las Familias de Rosemont NA	Trinity Habitat for Humanity
Frisco Heights NA	Berry Street Initiative
South Hemphill Heights NA	Fort Worth ISD

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Surrounding properties to the north and west are zoned for commercial purposes. Properties to the south and east are zoned “A-5” and developed with single-family homes. City staff is comfortable with the overall compatibility of this development, in conjunction with the screening measures mandated by the Zoning Ordinance for new commercial construction. A combination of fencing and landscaping must equal 25 points from the enhanced landscape table found in Section 6.300.c.3.g of the City of Fort Worth Zoning Ordinance. Applicants are encouraged to exceed the minimum 25 point requirement when possible. In addition, there is a required minimum 5’ buffer yard composed of landscaped area off of the southern and eastern property lines. A supplemental building setback of 20’ prohibits any buildings and structures within 20’ of the southern and eastern property lines. Parking can be in this area, exclusive of the 5’ landscaped buffer yard.

Because any new commercial construction would be subject to the current supplemental buffer yards and setbacks, the lots face other commercial uses on two sides, and the encroachment into the neighborhood is not as far as on similarly situated blocks along the Cleburne Rd. corridor, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

The Comprehensive Plan currently designates the subject property with two designations. The northern 1/3 of the site is indicated as future Neighborhood Commercial. The southern 2/3 of the site is indicated as future single family residential. The rezoning request only pertains to the southern 2/3 of the site, as the northern 1/3 is already zoned appropriately for the proposed use.



The Comprehensive Plan designations reflect the history of the three (3) lots proposed for development. The northernmost lot previously held a small commercial building, and the two (2) southern lots each had one (1) single family residence each. All three (3) buildings were all demolished between 1990 and 2000, leaving the site in its current undeveloped brownfield state.

The proposed zoning is not consistent with the land use designations for this area, but aligns with the following policies of the Comprehensive Plan for the Southside:

13. Stimulate the redevelopment of the Hemphill Street, Berry Street, Evans Avenue, 8th Avenue/Cleburne Road/McCart Avenue, Pennsylvania Avenue, Magnolia Avenue, Rosedale Street, Seminary Drive, and South Riverside Drive commercial districts.

The area requested to be rezoned to “E” Neighborhood Commercial is envisioned as future single family residential, however since the area borders an existing tract of future neighborhood commercial, it is reasonable to envision the boundary being extended to the south by 100’ to accommodate the entirety of the proposed restaurant site. Technically, the proposed zoning **is not consistent (minor boundary adjustment)** with the Comprehensive Plan. If the rezoning request is approved, City staff recommends that the Future Land Use Map component of the Comprehensive Plan be updated to reflect this change.

Economic Development Plan

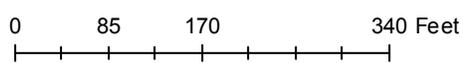
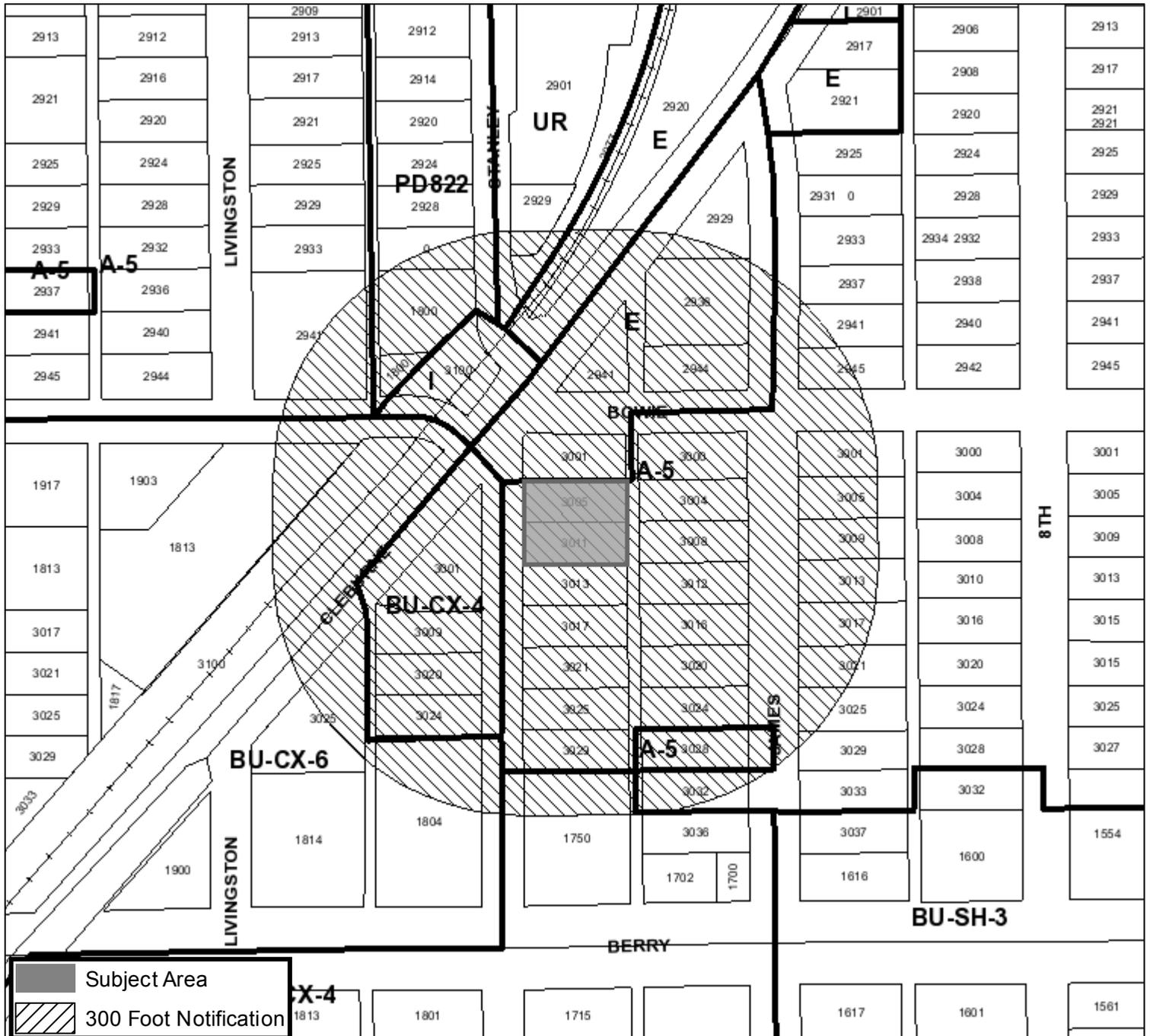
The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.



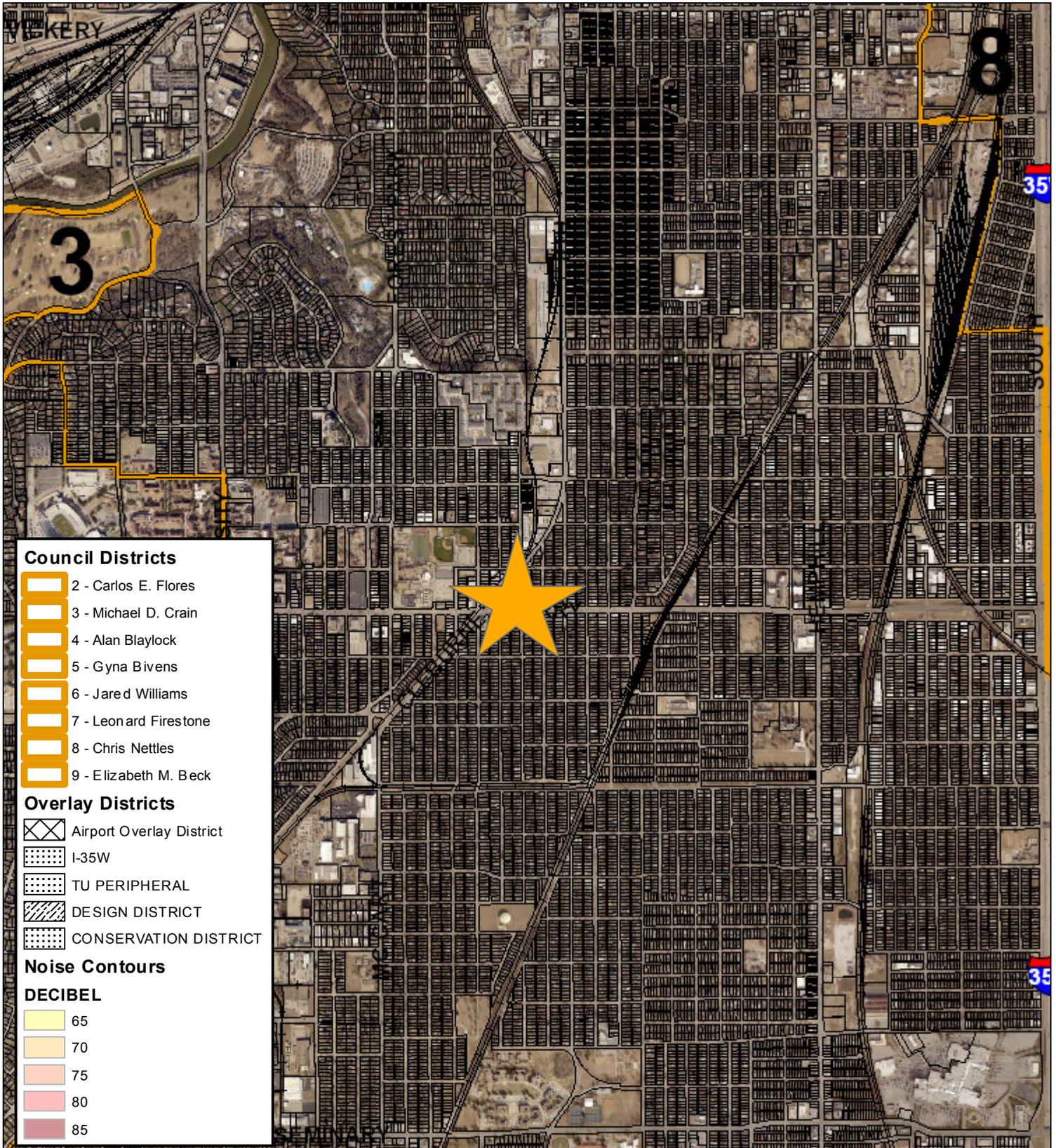
ZC-23-027

Area Zoning Map

Applicant: Tom Hicks
 Address: 3005 & 3011 Stanley
 Zoning From: A-5
 Zoning To: E
 Acres: 12254.03776211
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 3/22/2023
 Contact: 817-392-2025



Area Map



Council Districts

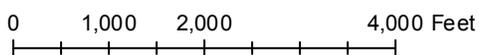
-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

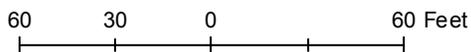
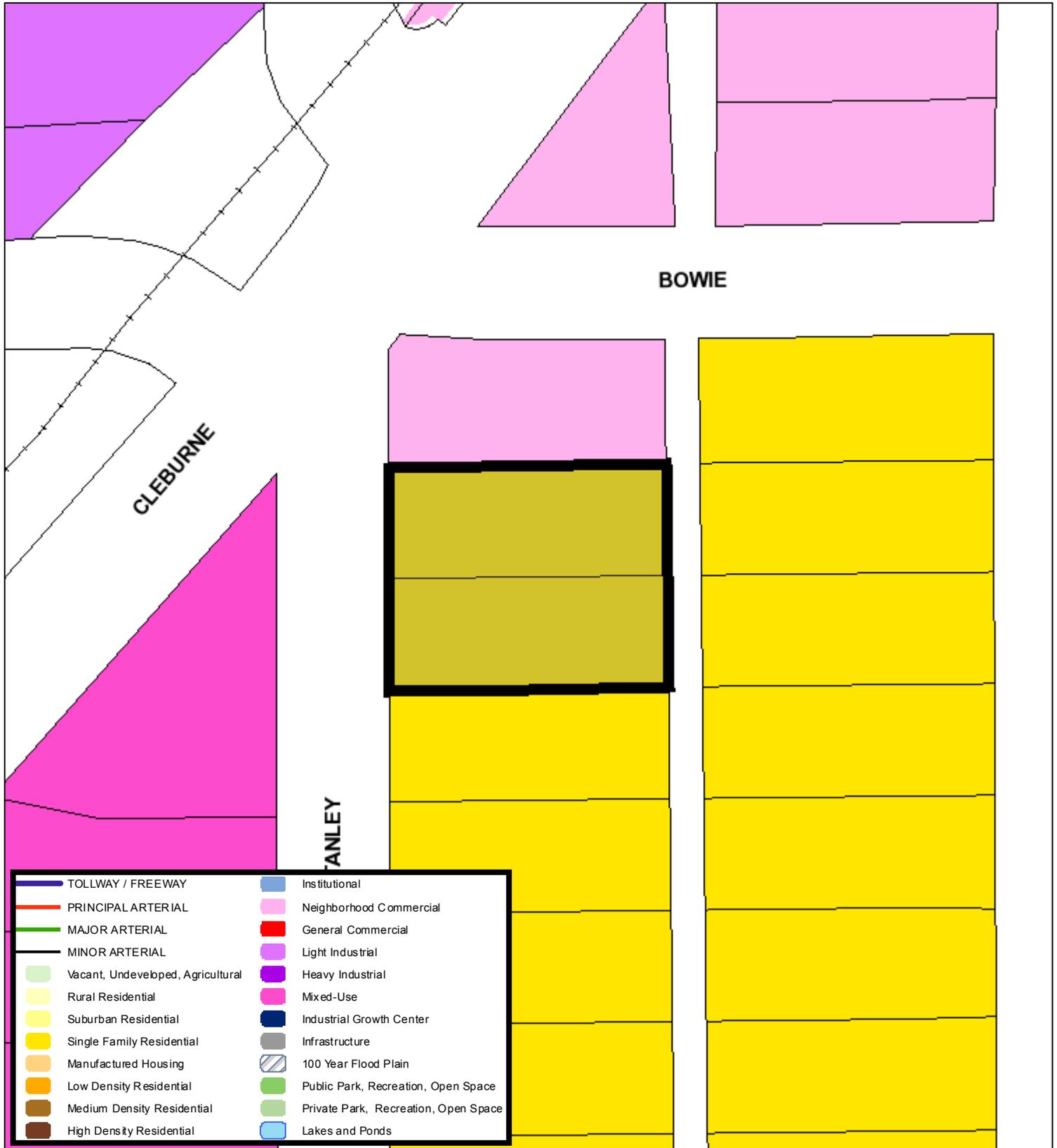
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 37.5 75 150 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-22-226

District: (old/new): 5 / 5

Zoning Map Amendment

Case Manager: [Shad Rhoten](#)

Owner / Applicant: Mary Helen Johnson / Alpha Family Group

Site Location: 1809 Miller Avenue **Acreage:** 0.15 acres (6,320 sq. ft.)

Request

Proposed Use: Duplex

Request: From: "A-5/SS" One-Family/Stop Six Overlay

To: "B/SS" Two-Family/Stop Six Overlay

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
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6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is platted as Lot 1C, Block 8, College Heights Addition and is located within the Stop Six Overlay District and NEZ Area Six. The proposal to rezone this lot would change the current “A-5” zoning to “B” zoning, going from an allowance for one (1) single family dwelling unit to an allowance for two-family dwellings, attached or detached. Based on the application and correspondence with applicant, a duplex is proposed. The property is currently vacant. A single-family residence was previously located on site but demolished between 2009-2010. A curb cut onto Miller Avenue still remains from the previous single-family use.

The lot is approximately 6,320 square feet or 0.15 acres which exceeds the minimum 5,000 square foot lot area required for the “B” district. Due to the smaller lot size, the applicant could construct two (2) attached units but appears to lack the area to construct two (2) detached units. Additional standards for “B” zoning are 50% maximum building coverage on the lot, 20-foot front yard setback, 5-foot side and rear yard setbacks, 35-foot maximum height, and 2 parking stalls per dwelling unit, situated behind the front building line.

Neighborhood Empowerment Zones (NEZ's) promote housing and economic development in central city neighborhoods of Fort Worth. Municipal property tax abatements, fee waivers, and release of city liens are available to property owners who build or rehabilitate property within NEZ's. These incentives are designed to promote affordable housing, economic development and expanded services.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single family residential
East “A-7.5” One-Family / single family residential
South “A-5” One-Family / single family residential
West “A-10” One-Family / undeveloped

Recent Zoning History

- The subject property was rezoned in 2019 (ZC-19-116) under the Stop Six Overlay District. The purpose of the Stop Six Overlay District is to provide high quality detached single-family dwellings that will retain their value over time.
- The subject property was included in an approximate 149-acre city-initiated rezoning in 2011 (ZC-11-015) from a mix of districts A-5, B, E and FR to A-10, A-7.5, A-5, CF, ER and E.

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
Historic Stop Six NA	Streams and Valleys Inc
Stop 6/Poly Oversight*	Trinity Habitat for Humanity
Echo Heights Stop Six Environmental Coalition	Southeast Fort Worth Inc
East Fort Worth, Inc.	East Fort Worth Business Association
Fort Worth ISD	

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The current zoning of “A-5” allows the use of one (1) single family dwelling unit. The proposed zoning of “B” Two-Family would allow the construction and use of Two-family dwelling unit on a single lot of record.

As stated above, the property is located within the Stop Six Overlay District, created to provide high quality detached single-family dwellings that will retain their value over time. The overlay has specific development standards applicable to one-family residential only, such as, building design and architectural features, two-car garage requirements and landscape requirements. A duplex and/or “B” Two-Family zoning would not be subject to the Stop Six Overlay development standards.

Based on the overall build out of single-family residential surrounding the property and the desire to provide high quality detached single-family dwellings within the Stop Six Overlay, this rezoning request is **not compatible**.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as future Single-Family Residential. This land use designation includes zoning districts “A-5”, “A-7.5”, “A-10”, and “AR”. Duplex or “B” Two-Family zoning would be classified as Low Density Residential under the adopted Future Land Use Plan. The difference between Single Family Residential and Low Density Residential is negligible as both have a residential character. A duplex would be slightly more intense than a single-family residence, but both would be less intense uses than commercial or industrial zoning. Although this rezoning request is not compatible with the Future Land Use component of the Comprehensive Plan, it **is in** alignment with the following policies of the Comprehensive Plan for the Southeast Sector:

- Encourage marketable infill houses, particularly in the Polytechnic and Stop Six neighborhoods.
- Support diverse housing options, including duplexes, fourplexes, townhomes, and small courtyard apartments to promote walkable communities, access to neighborhood services, and multimodal transportation options, while ensuring compatibility with the form, sale, and design of existing neighborhoods.

Conversely, the proposed zoning **is not in** alignment with the Comprehensive Plan policies listed below:

- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.
- Preserve the character of rural and suburban residential neighborhoods.
- Improve the percentage of zoning decisions that are consistent with the Comprehensive Plan.
- Encourage Urban Residential and Low Density Residential as transitional uses between Single-Family Residential and high density uses.

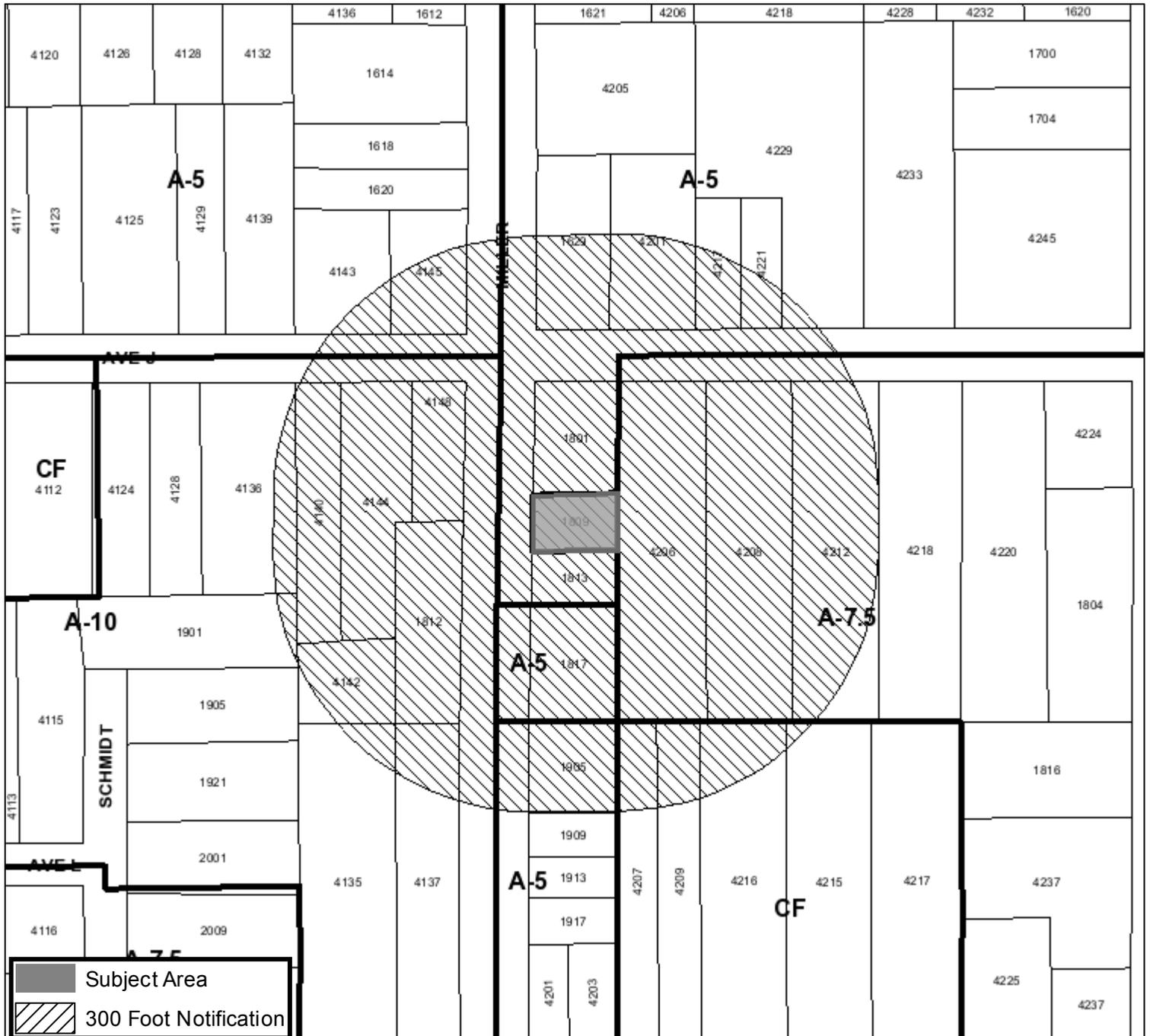
The proposed zoning **is not consistent** with the Comprehensive Plan Future Land Use designation.

Economic Development Plan

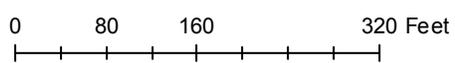
The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.

Area Zoning Map

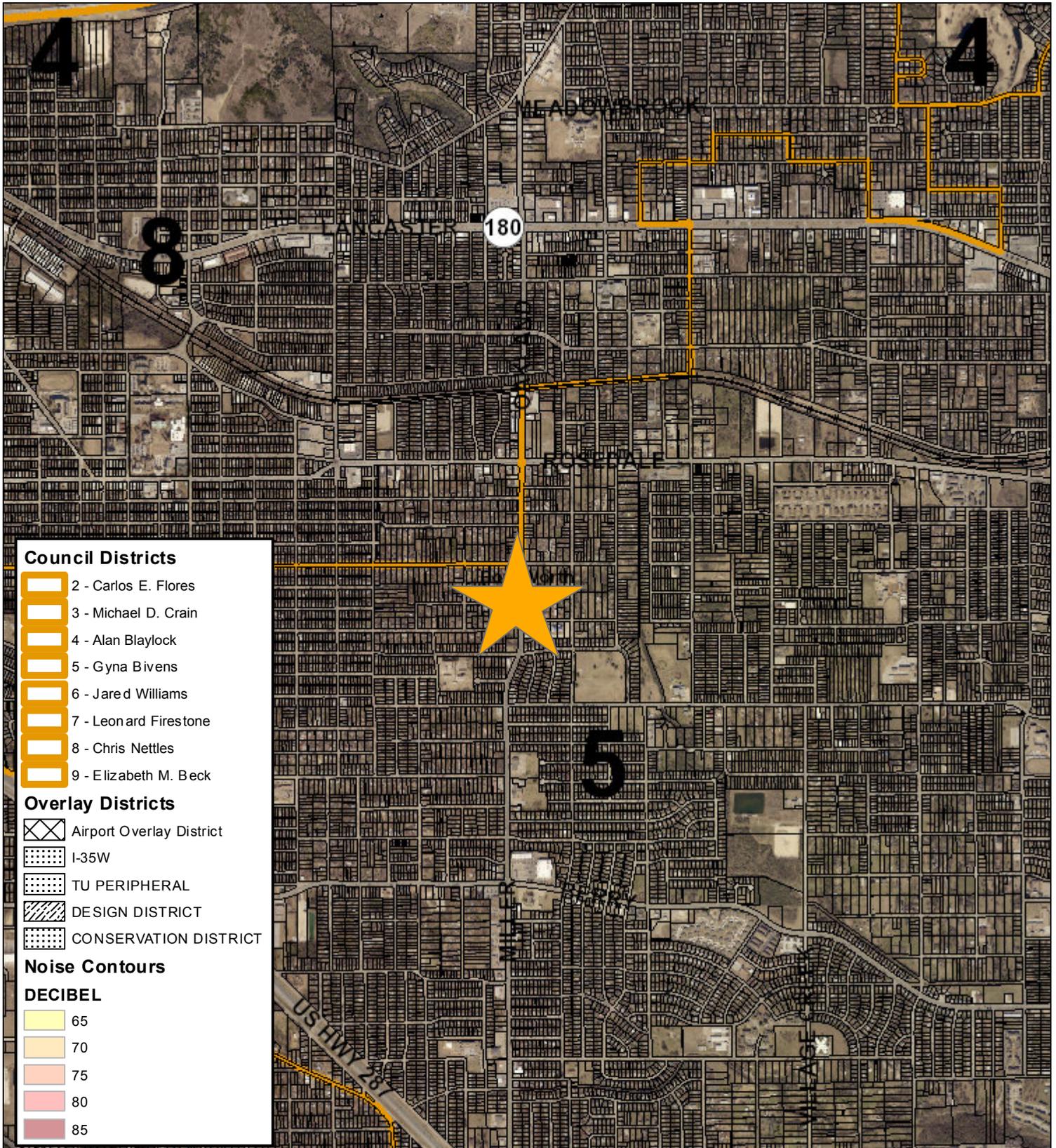
Applicant: Mary Helen Johnson
 Address: 1809 Miller Avenue
 Zoning From: A-5
 Zoning To: B
 Acres: 0.14836844
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 4/12/2023
 Contact: 817-392-8025



- Subject Area
- 300 Foot Notification



Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

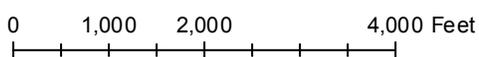
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

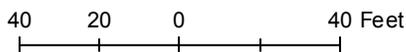
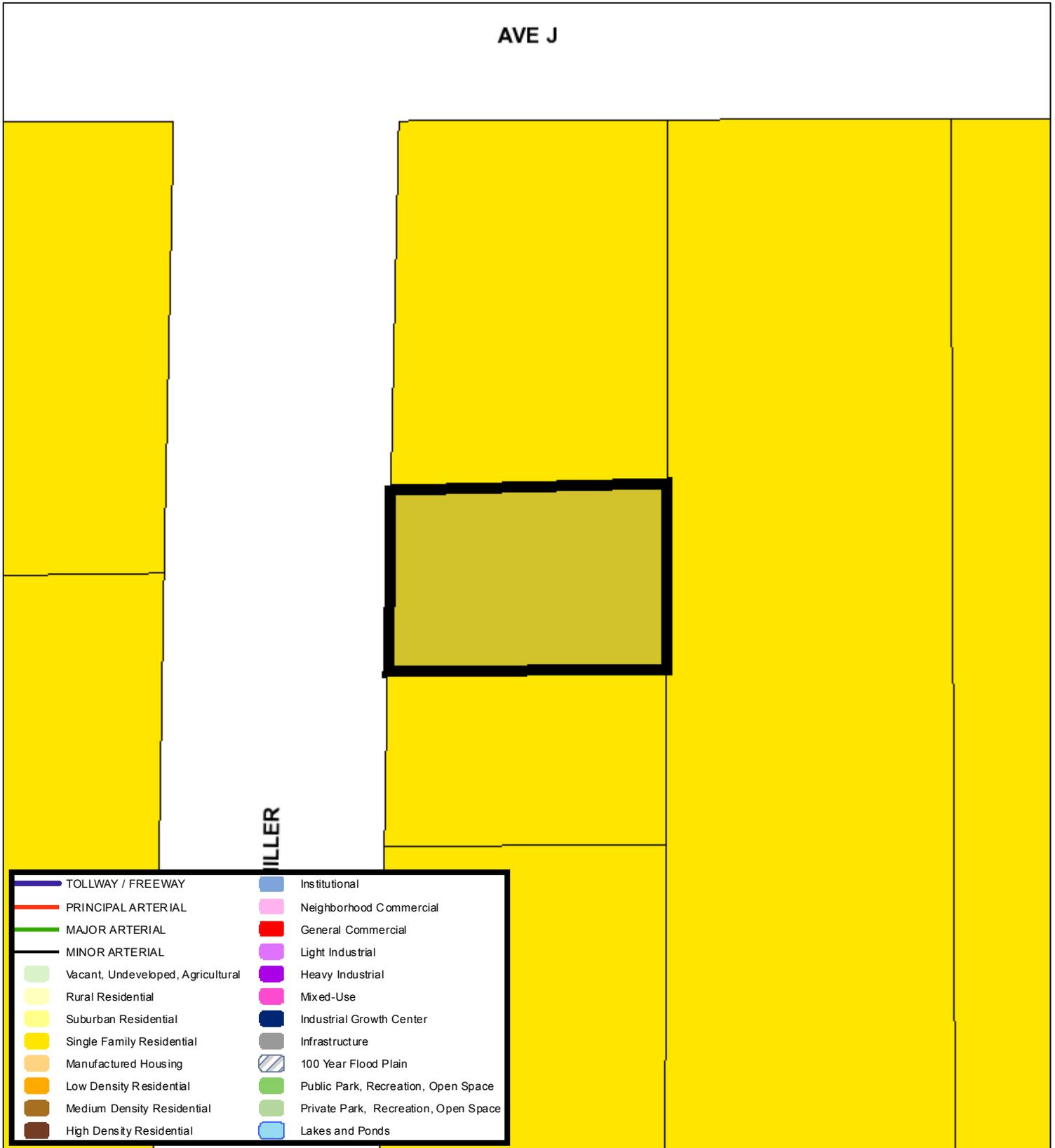
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 30 60 120 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-026

District (old/new): 2 / 7

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Salvador Rodríguez

Site Location: 5950 Hereford Street

Acreage: 1.08 acres

Request

Proposed Use: Duplex

Request: From: “A-5” One-Family

To: “B” Two-Family

Recommendation

Land Use Compatibility:

Requested change **is compatible**

Comprehensive Plan Consistency:

Requested change **is not consistent (technical inconsistency)**

Staff Recommendation:

Approval

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Project Description and Background

The subject property is located in Council District 2, approximately 250 feet east of the intersection of Bob Hanger Street and Hereford Drive. The 1.08-acre parcel is currently vacant, no structures were noted on the lot in the historical aerials (see below), and no issued building permits were found since 2001, reflecting a lack of development interest in the site.



Figure 1- 2001 Aerial View

The proposal to rezone this lot would change the current “A-5” zoning allowing one (1) single family dwelling unit to “B” zoning allowing one (1) duplex unit containing two (2) dwelling units. The lot is over 45,000 square feet can be developed with two (2) attached units or sub-divided into two lots to develop with two detached units each. Other “B” standards are 50% maximum building coverage on the lots, approximately 35-foot front yard setback matching setbacks west of the site, 35-foot maximum height, and 2 parking stalls per dwelling unit behind the front building line.

Surrounding Zoning and Land Uses

North “A-5” One-Family / vacant
East “A-5” One-Family/ single-family residence
South “A-5” One-Family / vacant
West “A-5” One-Family / vacant

Recent Zoning History

- No recent rezoning within the last 10 years.

Public Notification

300-foot Legal Notifications were mailed on March 29, 2023
The following organizations were notified: (emailed March 29, 2023)

Organizations Notified	
Northwest Fort Worth Neighborhood Alliance	Villages of Eagle Mountain HOA
Marine Creek Hills NA	Parkview Hills HOA
Streams And Valleys Inc	Trinity Habitat for Humanity
Eagle Mountain-Saginaw ISD	

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to change the zoning of this property from "A-5" One-Family District to "B" Two-Family, which would allow for attached or detached duplexes based on the lots' dimensions.

The surrounding area is predominantly zoned "A-5" single-family and primarily vacant. Further east on Hereford Street, there is a high school and an elementary school within a 1000 ft. radius of the rezoning site.

The difference between Single Family Residential and Low-Density Residential is minimal in this location as both have a residential character. Duplexes would be slightly more intense than single-family residences.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency

The 2022 Comprehensive Plan currently designates the subject property as Single-Family Residential. This classification is comparable to "A-10", "A-7.5", "A-5", or "AR" zoning. "B" Two-Family zoning for duplexes would be classified as Low Density Residential on the Future Land Use Plan.

The proposed zoning is not strictly consistent with the land use designation for this area, however the proposed zoning would be in alignment with the following policies of the Comprehensive Plan:

- Promote appropriate infill development of vacant lots within developed areas.
- Promote a variety of housing choices

While the proposed zoning is **not consistent** (technical inconsistency) with the Future Land Use designation, it is in conformance with the Comprehensive Plan policies stated above. Therefore, if this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

Economic Development Plan

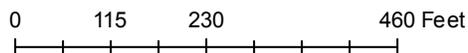
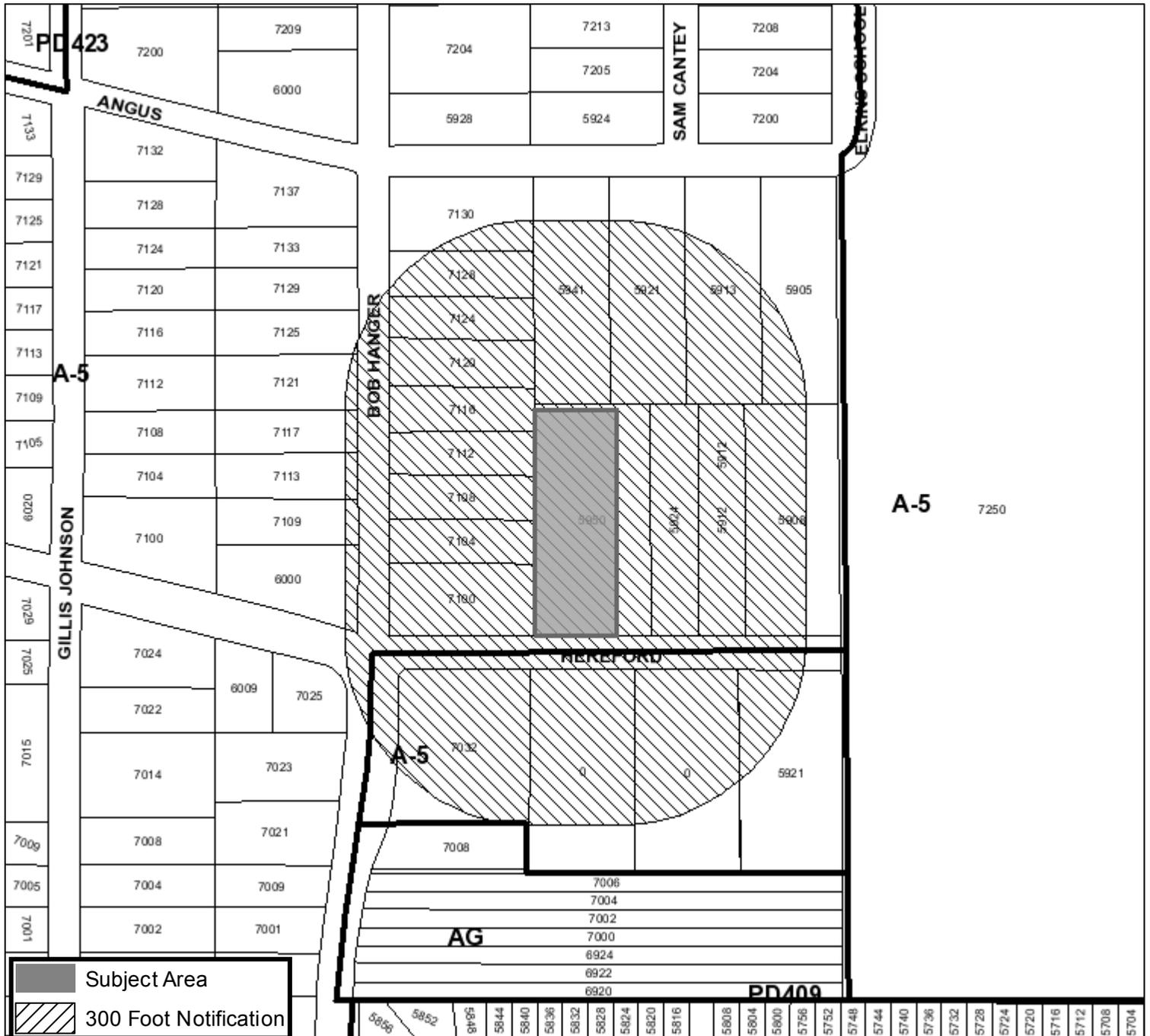
The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential. The Economic Development Plan does not address housing specifically, and is tailored towards addressing the growth strategies for commercial and industrial properties.



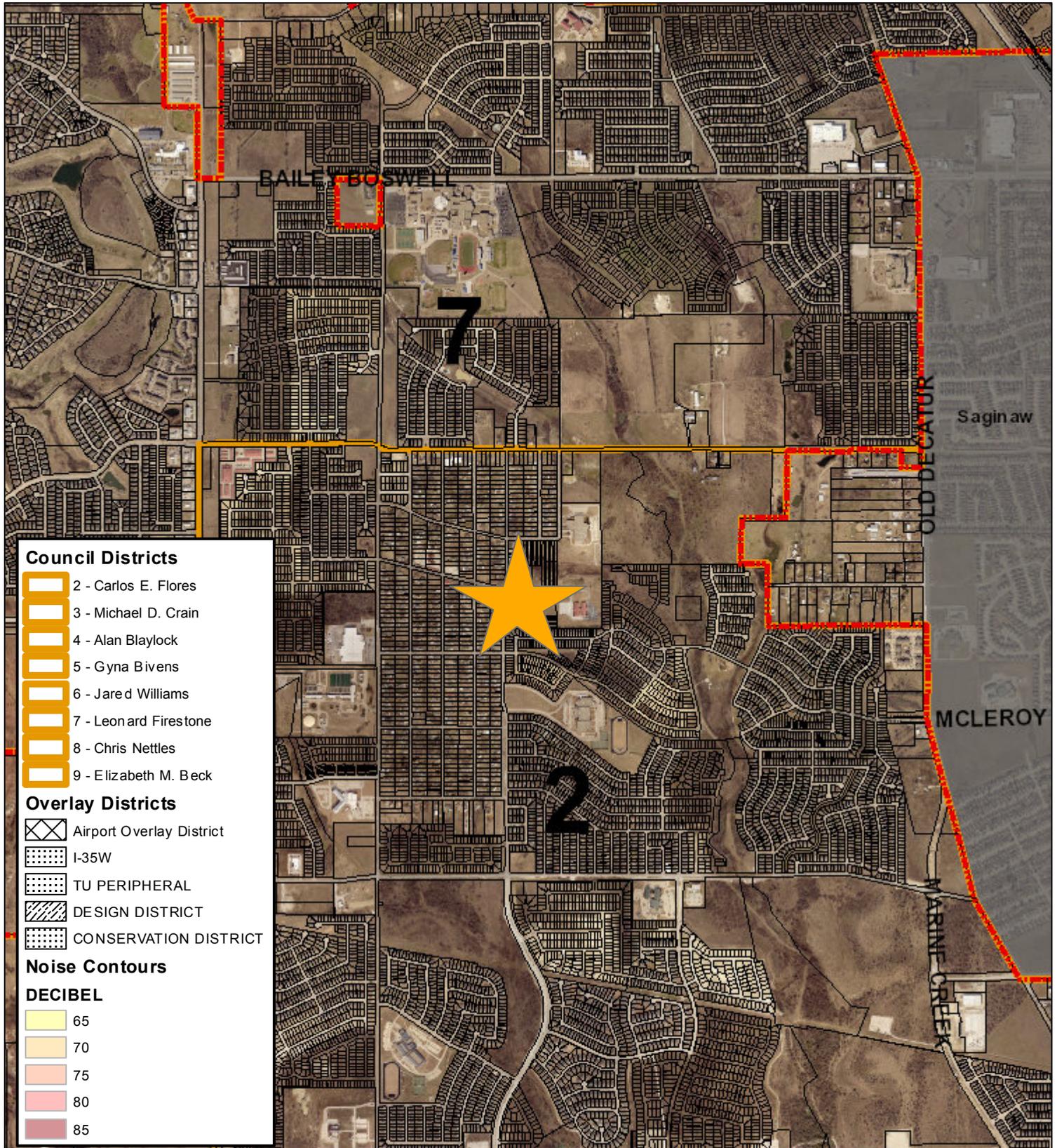


Area Zoning Map

Applicant: Salvador Rodriguez
 Address: 5950 Hereford Drive
 Zoning From: A-5
 Zoning To: B
 Acres: 1.08143162
 Mapsco: Text
 Sector/District: Far Northwest
 Commission Date: 4/12/2023
 Contact: 817-392-2495



Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

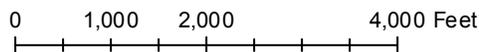
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

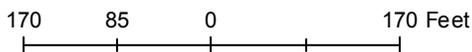
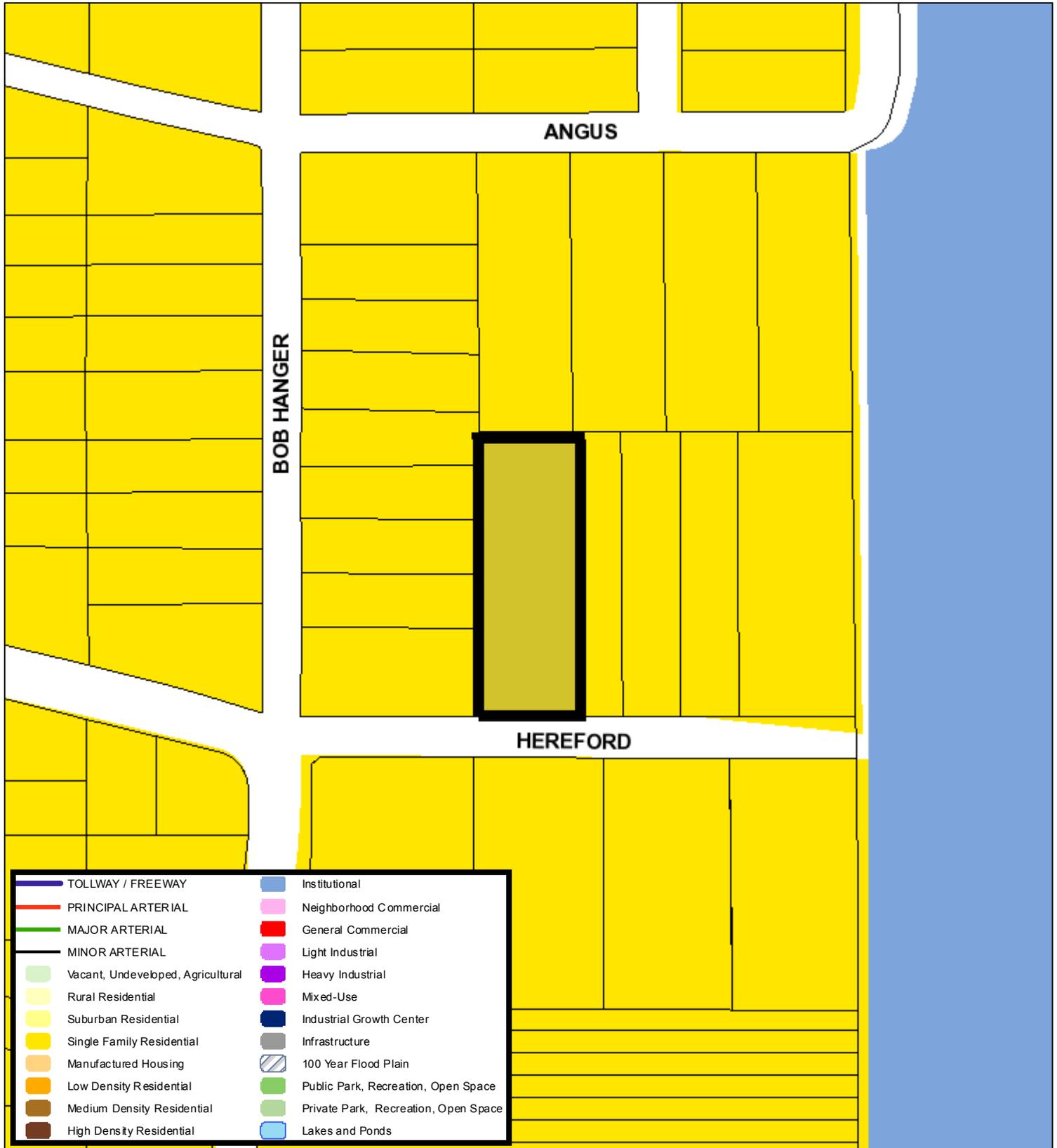
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



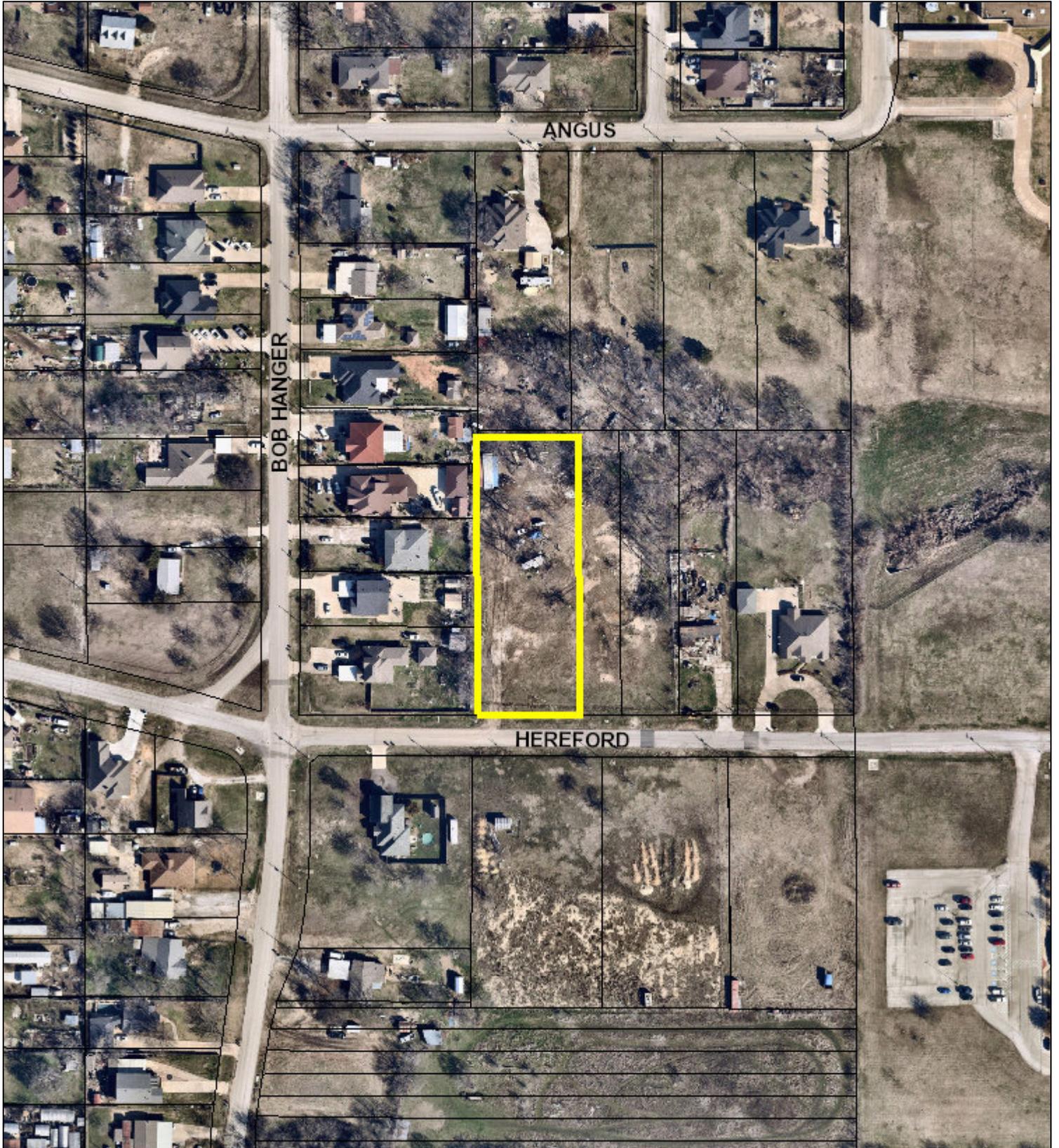
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 110 220 440 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-035

District (Old/New): 6 / 6

Zoning Map Amendment & Site Plan

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Robert Yu / Palladium USA International, Inc.

Site Location: 7340 Kingswood Drive

Acreage: 7.47 acres

Request

Proposed Use: Office spaces and multifamily

Request: From: "E" Neighborhood Commercial

To: "PD/E" Planned Development for "E" Neighborhood Commercial, excluding certain uses (for list see staff report in docket) plus multifamily developed to "C" Medium Density Multifamily with development standards; site plan included.

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change (multifamily portion) is **not consistent**

Staff Recommendation: **Denial**

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 - c. [Economic Development Plan](#)
 - d. [Site Plan Comments](#)
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7. Area Map
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9. Aerial Photograph
10. Site Plan & Open Space Plan

Project Description and Background

The rezoning site is located west of the intersection of Hulen Street and Kingswood Drive, within Council District 6. The site is currently vacant and zoned "E" Neighborhood Commercial.

The applicant wants to rezone the 7-acre site to a Planned Development (PD) with "E" Neighborhood Commercial base zoning and add multifamily uses. They intend to use the southern portion of the site that fronts Kingswood Drive as a neighborhood commercial, excluding some land uses (see exhibit) and develop the northern part with a 90-unit age-restricted multifamily development. The applicant explored the possibility of dividing the lot and have two separate zoning districts; they found it was not feasible with the current configuration as this would have created a "flag" lot which is not allowed in the City. Consequently, they opted to pursue the PD option instead, which would enable them to combine two uses in one lot.

The multifamily development portion is based on "C" Medium-Density Multifamily. C Zoning allows up to 24 units per acre; the applicant is proposing to build a total of 90 units (45 one-bedroom units and 45 two-bedroom units), roughly 18 units per acre, with waivers to the development's "C" Medium Density Multifamily standards to allow reduced parking, under the premise that the targeted age group has a lower demand for parking, waive the building orientation requirement, since their plan is to use that portion for the commercial development.

Requirement	C Standards	Proposed PD/C
Parking	1 space per bedroom plus 1 space per 250 square feet of common areas, offices and recreation - 165 total	1.25 spaces per unit – 113 parking spaces total
Building Orientation	Buildings located on public streets must face the street	Waiver requested
Fence, Front Yard	Fences and gates behind the building facade	Waiver requested
Tree Preservation	Preserve 25% tree canopy coverage	Additional 5% tree planting across site in lieu of preserving the two existing less desirable trees

This site was part of a 28-acre Council Initiated rezoning in 2016, which changed the zoning of the vacant from "F" General Commercial to "E" Neighborhood commercial to align with the City's Comprehensive Plan.

For more background information, here is the description provided by the applicant.

Palladium USA International, Inc. "Palladium" requests approval of a change of zoning from Neighborhood Commercial "E" District to a Planned Development District based on both the Medium Density Multifamily "C" District and (limited) Neighborhood Commercial "E" District for the 7.47-acre parcel located at 7340 Kingswood Drive. The purpose of the Planned Development District is to create two "subdistricts" that accommodate an age-restricted senior living community of 90 units in the rear of the site while programming for compatible neighborhood oriented commercial uses along Kingswood Drive.

The reasons for requesting a PD vs a standard zoning district are as follows:

- The residential community will be age-restricted to residents aged 62 and older. Since the Fort Worth Zoning Regulations do not provide a specific land use classification for age restricted living, the proposal will fall under multifamily. Thus, the PD will set forth age restrictions to ensure it operates as an age restricted community as opposed to a conventional multi-family development.
- The PD will decrease the parking requirement for senior living to align with actual demand.
- The PD will specify that the senior living lot is not required to possess frontage on a public street provided vehicular access is secured by mutual access easement through the commercial portion

- The balance of the property fronting Kingswood Drive will be programmed for future neighborhood retail or services based on the current zoning, "E" District. The PD will also prohibit certain "E" District permitted uses that certain neighbors have deemed to be potentially undesirable or nuisance uses, or those that could be incompatible with the senior living. This provision will avoid violation of Section 31-103.c.1 pertaining to flag or "panhandle" lot configuration.

- Placing the entire area of request under one PD aids in a master planned, well-coordinated development

The PD District would establish these safeguards to ensure compatibility for the community. Palladium, as a developer and long-term holder of class A residential communities, is excited about the prospect of adding a quality living option for the growing senior population. Our team looks forward to working with the city on this endeavor.

Surrounding Zoning and Land Uses

North "CF" Community Facilities / Church

East "PD/E" for all uses in "E" plus auto repair/ Service King Collision Repair

South "CR" Low Density Multifamily and "E" Neighborhood Commercial / Kingswood Townhomes/Vacant

West "CR" Low Density Multifamily / Duplexes

Recent Zoning History

- ZC-16-102 Council Initiated Request to rezone from "CR" Low Density Multifamily, "E" Neighborhood Commercial and "F" General Commercial to "E" Neighborhood Commercial and "PD/E" Plus auto repair

Public Notification

300-foot Legal Notifications were mailed on March 29, 2023.

The following organizations were emailed on March 29, 2023:

Organizations Notified	
Ridgeview Estates HOA	Summer Creek Meadows HA
Wedgwood Square NA	District 6 Alliance
Streams And Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	Crowley ISD

Development Impact Analysis

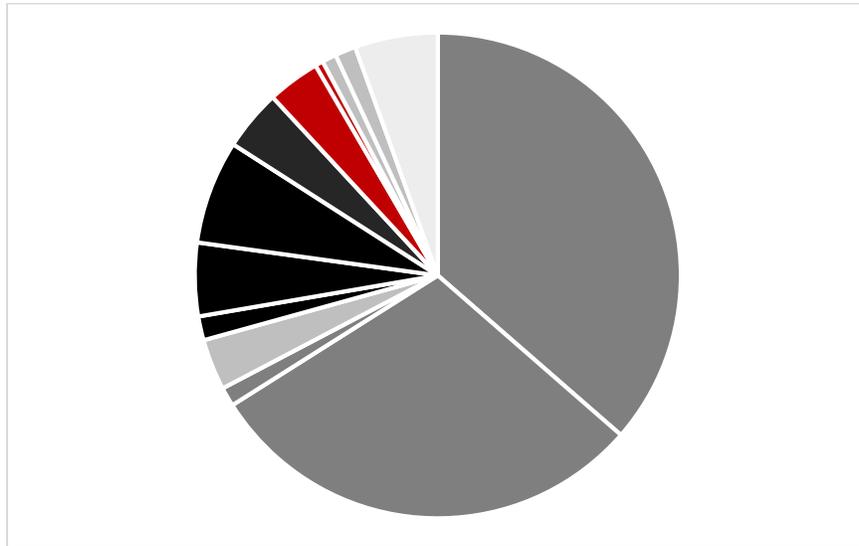
Land Use Compatibility

The Subject Property is located among commercial, community facilities, and residential uses. The property immediately to the north is zoned “CF” Community Facilities; the Hulen Street church sits on that site. To the east, extending to the properties across Hulen Street are zoned “E” Neighborhood Commercial and developed with various commercial uses, including car repair shops and restaurants. Southeast of the rezoning site is a Wells Fargo bank and a Family Dollar store; However, the surrounding land uses are overwhelmingly residential and consist of a mixture of multifamily, duplexes, and single-family uses; outside the 27-acre commercial cluster, residential extends for miles.

Access to public transit is available within 400 ft. of the site, Trinity Metro bus route 52 Hulen and Trinity Metro Xpress route 66 Candleridge/Altamesa Xpress which supports higher density.

Further analysis shows that within a mile of the rezoning site, 87% of the land is used for residential while only 3.5% is dedicated to commercial purposes.

The chart below shows a breakdown where the dark gray represents single-family, black depicts multifamily and red, commercial.



Although the proposed zoning **is consistent** with the surrounding land uses and Staff has no opposition to the portion of the proposal intended for commercial, further reducing the commercial spaces to add more multifamily may not be in the best interest of the City and the residences in the vicinity as the commercial spaces should be protected to service the surrounding neighborhoods.

Comprehensive Plan Consistency – Wedgewood

The Comprehensive Plan designates the subject property as “Neighborhood Commercial”. Although, a portion of the property is consistent with the comprehensive plan, the multifamily aspect of the project is not.

Multifamily has been removed as an encouraged land use in commercial districts in accordance with current Zoning policies. Based on the lack of conformance with the future land use map the proposed multifamily use **is not consistent** with the Comprehensive Plan.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential. The Economic Development Plan does not address housing specifically, and is tailored towards addressing the growth strategies for commercial and industrial properties.

With a portion of the site reserved for future commercial zoning, it would be wise to retain this site for future commercial use, rather than reducing the commercial aspect to allow more residential development. The Economic Development Plan does promote the City pursuing a more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

Site Plan Comments

Zoning and Land Use

- ~~• Add Case # reference ZC 23-035~~
- Missing Land use and zoning classifications of the site area and the immediately adjacent properties abutting the site.
- ~~• Exhibit with requested variances/dev standards should list **only** development standards and waivers in a table format; please remove all other text.~~
- ~~• Provide a Separate Open Space Diagram exhibit with areas shaded that meet the definition of Open Space in Section 9 of the City of Fort Worth Zoning Ordinance.~~
- Label multifamily buildings with square footage
- Show all setbacks as appropriate to the Zoning District **update:** still missing setbacks in the back of the property. Dumpsters setback is 10 ft.
- Remove the fence between the detention pond and the building, fences have to be in line with the building. **Update** requesting waiver
- ~~• Add a 5-foot bufferyard at the SW corner (between commercial and residential)~~
- Need to preserve at least 25% of existing trees; currently have one existing tree on the site, but it is not shown on the site plan – **waiver requested**
- The total parking **required** calculation for multifamily is incorrect; the calculation should be based on the following:
 - 1 space per bedroom plus 1 space per 250 square feet of common areas, offices, and recreation
- Multifamily buildings are required to face public street (wavier required, not listed on the site plan) – **waiver requested**
- ~~• Under the “General Notes,” there is a line for variances; please add a box for waivers, amend the line that reads that the parking requirement is 1.25 parking spaces per unit; remove the age restriction line; add the waiver you are requesting to the multifamily building facing the public street included in a separate document~~
- ~~• Instead of “subdistrict 1” and “subdistrict 2,” label them as Multifamily/Commercial portion respectively~~
- ~~• The site plan shows two “dog park” areas. One is labeled “dog park” and the second one to the northwest is tagged “Senior Living Dog Park” please confirm this is intentional.~~

Open Space Diagram

- No space or area less than 25 feet in either dimension shall be counted as open space; please remove the areas that do not comply with this requirement.
- The community open space area is gated and thus cannot be counted towards open space.
- Based on the comments above, please revise calculation.

Fire Department

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)

FYI: Plat subject to gas well setbacks for a Permitted Padsite and Lift Compressor.

All gas well setback types must be shown on the plat regardless of the building type.

225' Building Setback measured from the edge of the pad site for Protected Use & Public Building structures.

125' Building Setback from the edge of the Multi Well Permitted gas well site for Habitable Structures.

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 5706.3.1.3.3 Existing Gas Wells

FYI: Additional fire hydrants will be required.

Additional hydrants will be required to accommodate the following:

? 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line, and

? 500 ft. hose lay distance to all points of building.

Maximum distance from Fire Department Connection (FDC); if sprinkler systems or standpipes provided:

? 150 ft. for a standpipe system, and/or a sprinkler system.

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Sections 507.5.1 (2) and (3)

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.

Transportation/Public Works

TDR (Armond Bryant, 817-392-8702, Armond.Bryant@fortworthtexas.gov)

1. 6' Sidewalk required along frontage.
2. On street parallel parking requires separate approval.

Water

Water demand and sewer loading required. Contact WPD@FORTWORTHTEXAS.GOV for more information

Stormwater

No response provided

Park & Recreation

No response provided

Platting

(FYI) Need to remove the gates shown crossing the public access easement. Gates can still be provided, but not impeding access within the public access easement.

Building Plan Review

No response provided

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



Fort Worth
Neighborhood Commercial "E" District
Land Use Summary

PUBLIC AND CIVIC USES

Day Care Center (child or adult)
School, elementary or secondary (public or private)
Government office
Museums, library or fine art center
~~Ambulance dispatch station~~

HEALTH CARE FACILITIES

~~Ambulance dispatch station~~
~~Assisted living facility~~
Care facility
Health services (doctor's office or medical clinic)
Hospice
~~Hospital~~
~~Message therapy and spa~~
Nursing home

RECREATION

Center, community recreation or welfare, public or private
Country club, private
~~Golf course~~
Park or playground, public or private

RELIGIOUS

Place of worship
~~Electric power substation, CUP~~
~~Gas lift compressor station~~
~~Stealth communication towers~~
~~Telecommunication antenna (on structure)~~
Utility transmission or distribution line

ENTERTAINMENT AND EATING

Amusement, indoor
Drive in restaurant or business
~~Event center or rental hall~~
Health or recreation club
Lodge or civic club
Museum/cultural facility
Restaurant, café, or cafeteria
Swimming pool, commercial
Theater, drive-in, CUP
Theater, movie theater or auditorium

~~Vendor, food, mobile vendor food court, CUP~~

LODGING

~~Bed and breakfast inn~~
~~Short term home rental~~

OFFICE

Bank, financial institution
Offices

RETAIL SALES AND SERVICE

Antique shop
Appliance, sales, supply or repair
Bakery
Barber or beauty shop
Book, stationary stores or newsstand
Burglar alarm sales and service
~~Business college or commercial school~~
Caterer or wedding service
Clothing/wearing apparel sales, new
Clothing/wearing apparel sales, used
Convenience store
Copy store or commercial print w/out off-set printing
Dance studio
Dressmaking, custom; millinery shop
Duplicating services
Farmer's Market
~~Feed Store~~
~~Firewood sales~~
Furniture sales, new or used
General merchandise store
~~Greenhouse or plant nursery~~
Grocery store; meat market
~~Home improvement store~~
Interior decorating
Large retail store
Laundry or dry cleaning collection office
Laundry, dry cleaning or washeteria
Leather goods shop
~~Liquor or package store~~
Locksmith
Medical supplies/equipment sales or rental
~~Mortuary or funeral home~~
Optician
Pharmacy

Fort Worth
Neighborhood Commercial "E" District
Land Use Summary

Photograph, portrait/camera shop or photo finishing
Recording studio
Retail sales, general
Shoe shine shop
Studio, art or photography
Tailor, clothing or apparel shop
~~Taxidermist shop~~
Veterinary clinic with inside kennels

VEHICLE SALES AND SERVICE

~~Gasoline sales~~
Parking area or garage, storage commercial or auxiliary

AGRICULTURE

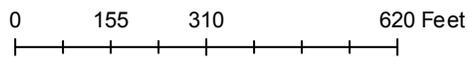
~~Gas drilling and production~~
Urban agriculture
Community garden

Area Zoning Map

Applicant: Robert Yu
 Address: 7340 Kingswood Drive
 Zoning From: E
 Zoning To: PD/E
 Acres: 7.56326513
 Mapsco: Text
 Sector/District: Wedgewood
 Commission Date: 4/12/2023
 Contact: 817-392-2495



Subject Area
 300 Foot Notification



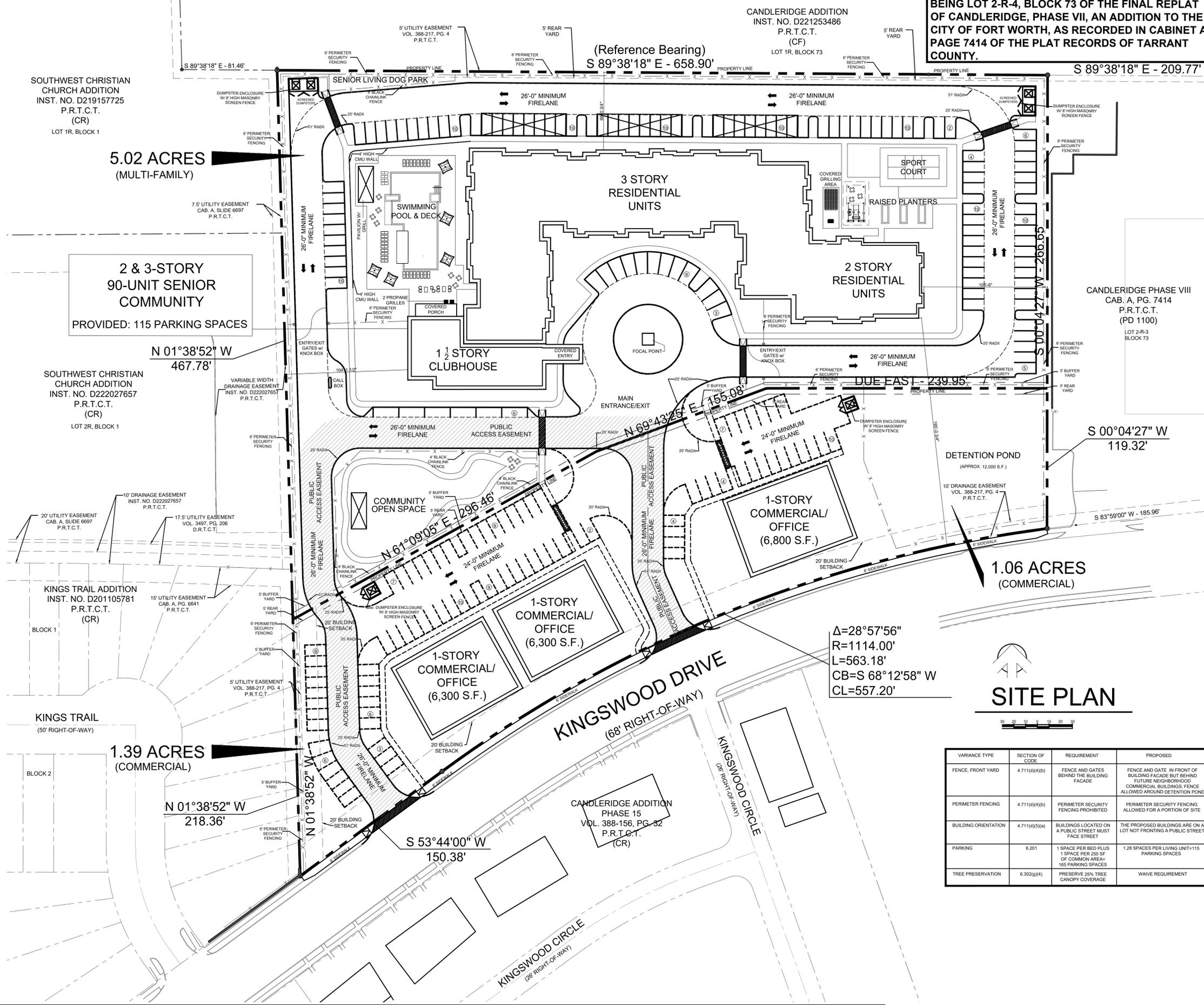
**Palladium Kingswood
Variance List**

VARIANCE TYPE	SECTION OF CODE	REQUIREMENT	PROPOSED
Fence, Front Yard	4.711(d)(4)(b)	Fences and gates behind the building facade	Fence and gate in front of building façade but behind future neighborhood commercial buildings; fence allowed around detention pond
Perimeter Fencing	4.711(d)(4)(b)	Perimeter security fencing prohibited	Perimeter security fencing allowed for a portion of site
Building Orientation	4.711 (d)(5)(a)	Buildings located on a public street must face street	The proposed buildings are on a lot not fronting a public street
Parking	6.201	1 space per bed plus 1 space per 250 SF of common area = 165 parking spaces	1.28 spaces per living unit = 115 parking spaces
Tree Preservation	6.302(g)(4)	Preserve 25% tree canopy coverage	Waive requirement

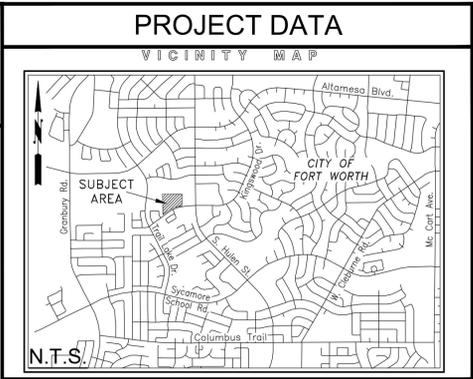
**Palladium Kingswood
Variance List**

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Thursday, April 6, 2023 10:01:00 AM
T:\Palladium USA\7340 Kingswood Fort Worth\Pre-Design\Architecture\Site Plan - 7340 KINGSWOOD DR.dwg
--- SITE PLAN



BEING LOT 2-R-4, BLOCK 73 OF THE FINAL REPLAT OF CANDLERIDGE, PHASE VII, AN ADDITION TO THE CITY OF FORT WORTH, AS RECORDED IN CABINET A, PAGE 7414 OF THE PLAT RECORDS OF TARRANT COUNTY.



PROJECT DATA

OVERALL ACREAGE: 7.47 ACRES (325,393 S.F.)
MULTI-FAMILY - 5.02 ACRES
 - 2 & 3 STORY, SENIOR COMMUNITY (RESIDENTS SHALL BE 62 YEARS OF AGE OR OLDER)
 TOTAL BUILDING S.F.: 51,767 S.F.
 ZONE "C" (AGE RESTRICTED)

UNITS:
 UNIT A1 (1 BED) - 695 S.F. = 45 UNITS
 UNIT B1 (2 BED) - 980 S.F. = 33 UNITS
 UNIT B2 (2 BED) - 980 S.F. = 12 UNITS

TOTAL UNITS = 90 UNITS
 UNITS PER ACRE = 17.9 UNITS

HEIGHT AT PROPOSED BUILDING:
 3RD FLOOR PLATE: 30' - 4 7/8"
 MID-POINT ROOF: 36' - 4"
 PEAK: 41' - 8"

COMMERCIAL - 2.45 ACRES
 - 1 STORY, RETAIL BUILDINGS
 APPROX. 21,000 TOTAL S.F.
 ZONE "E" (RETAIL)

HEIGHT AT PROPOSED BUILDING:
 30' - 0" MAX. HEIGHT

PARKING DATA - MULTI-FAMILY

TOTAL PARKING REQUIRED: 90 UNITS X 1.28 = 115 PARKING SPACES (1.28 SPACES PER UNIT)	TOTAL PARKING PROVIDED: 91 SPACES 24 CARPORTS 115 TOTAL SURFACE PARKING SPACES
--	--

PARKING DATA - COMMERCIAL

TOTAL PARKING REQUIRED: 19,400 RETAIL AREA 1 SPACE PER 250 S.F. = 78 PARKING SPACES	TOTAL PARKING PROVIDED: 85 PARKING SPACES
--	---

GENERAL NOTES

- EXTERIOR CONSTRUCTION MATERIALS SHALL BE CONSTRUCTED WITH NOT LESS THAN 70% MASONRY.
- THIS PROJECT WILL COMPLY WITH ENHANCED LANDSCAPING REQUIREMENTS FOR SECTION C.
- THIS PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.
- ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
- ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE.
- THIS PROJECT WILL COMPLY WITH THE MULTIFAMILY DESIGN STANDARDS (MFD) AND AN MFD SITE PLAN SHALL BE SUBMITTED.

Δ=28°57'56"
 R=1114.00'
 L=563.18'
 CB=S 68°12'58" W
 CL=557.20'



VARIANCE TABLE

VARIANCE TYPE	SECTION OF CODE	REQUIREMENT	PROPOSED
FENCE, FRONT YARD	4.711(d)(4)(b)	FENCE AND GATES BEHIND THE BUILDING FACADE	FENCE AND GATE IN FRONT OF BUILDING FACADE BUT BEHIND FUTURE NEIGHBORHOOD COMMERCIAL BUILDINGS; FENCE ALLOWED AROUND DETENTION POND
PERIMETER FENCING	4.711(d)(4)(b)	PERIMETER SECURITY FENCING PROHIBITED	PERIMETER SECURITY FENCING ALLOWED FOR A PORTION OF SITE
BUILDING ORIENTATION	4.711(d)(5)(a)	BUILDINGS LOCATED ON A PUBLIC STREET MUST FACE STREET	THE PROPOSED BUILDINGS ARE ON A LOT NOT FRONTING A PUBLIC STREET
PARKING	6.201	1 SPACE PER BED PLUS 1 SPACE PER 250 SF OF COMMON AREA = 165 PARKING SPACES	1.28 SPACES PER LIVING UNIT = 115 PARKING SPACES
TREE PRESERVATION	6.302(j)(4)	PRESERVE 25% TREE CANOPY COVERAGE	WAIVE REQUIREMENT

DEVELOPER/OWNER PALLADIUM USA INTERNATIONAL, INC. 13455 NOEL ROAD, SUITE 400, DALLAS, TX 75240 P: 972.774.4435	ARCHITECT ARRIVE ARCHITECTURE GROUP 2344 HIGHWAY 121, SUITE 100, BEDFORD, TX 76021 P: 817.514.0584	SURVEYOR/ENGINEER CROSS ENGINEERING CONSULTANTS, INC. 1720 W VIRGINIA ST, MCKINNEY, TX 75069 P: 972.562.4409
--	--	--

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

ZONING CASE # ZC-23-035 SITE PLAN

KINGSWOOD SENIOR LIVING
Fort Worth, Texas

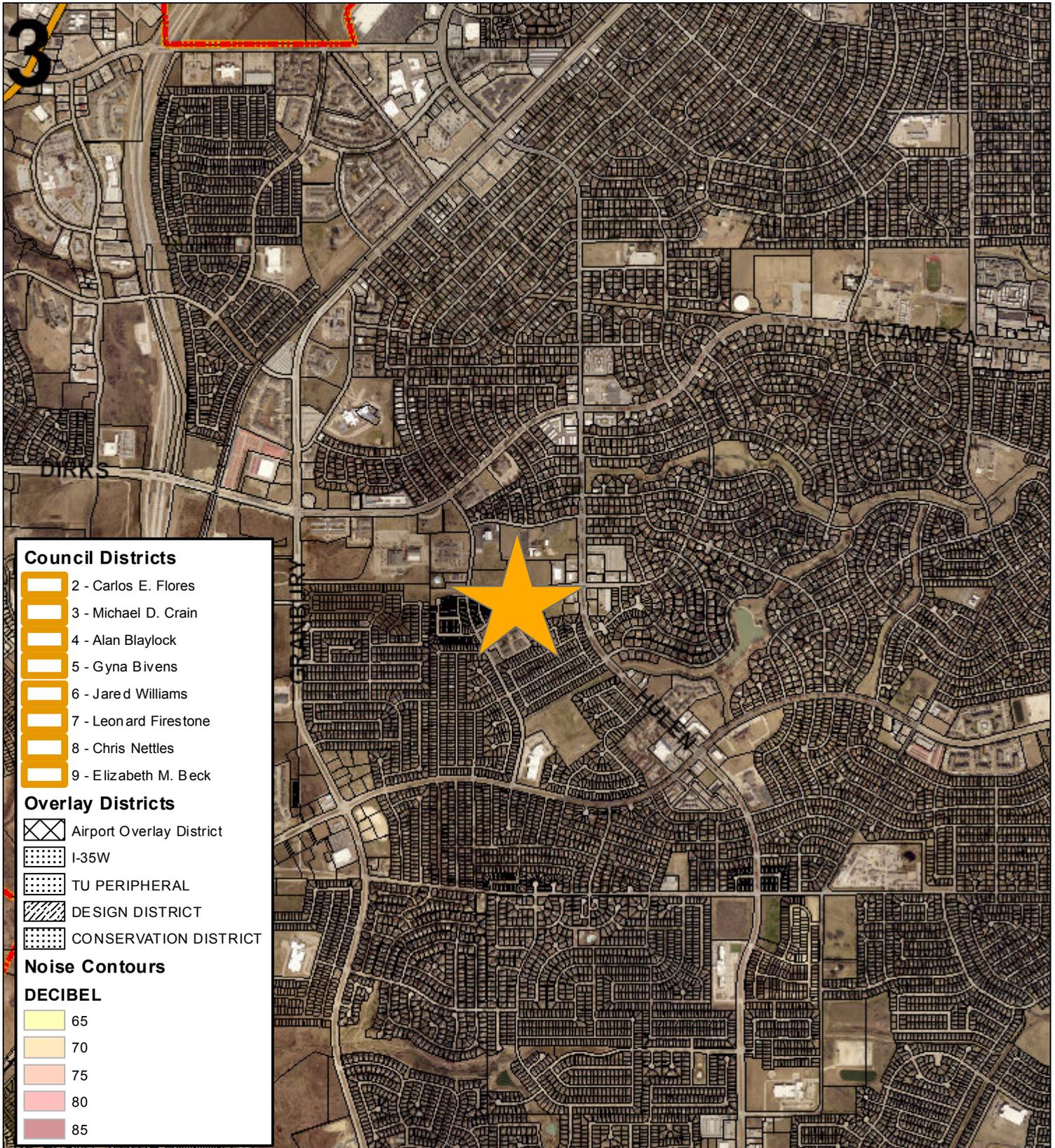
Architecture
Planning
Project Management
ARRIVE
ARCHITECTURE GROUP
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
Ph: 817.514.0584 - Fx: 817.514.0694

REVISION	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DRAWN BY: AAG	CHECKED BY: JMT
PLAT DATE: 4/6/2023	REV. DATE:
SUBMITTAL DATE: 2022	PROJECT NUMBER:
ISSUED FOR: CONCEPT	SHEET NO.:
SCALE: AS NOTED	

© 2015 ARRIVE ARCHITECTURE GROUP. The designs and/or site plans are copyrighted and are subject to copyright protection as an "ARCHITECTURAL WORK" under U.S.C. sec. 102. Known as the Architectural Works Protection Act of 1990 (including form and arrangement of spaces). All other aspects of the design will be subject to the infringer to damages and/or judicial action as provided by the Federal Law.

Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

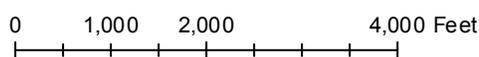
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

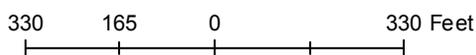
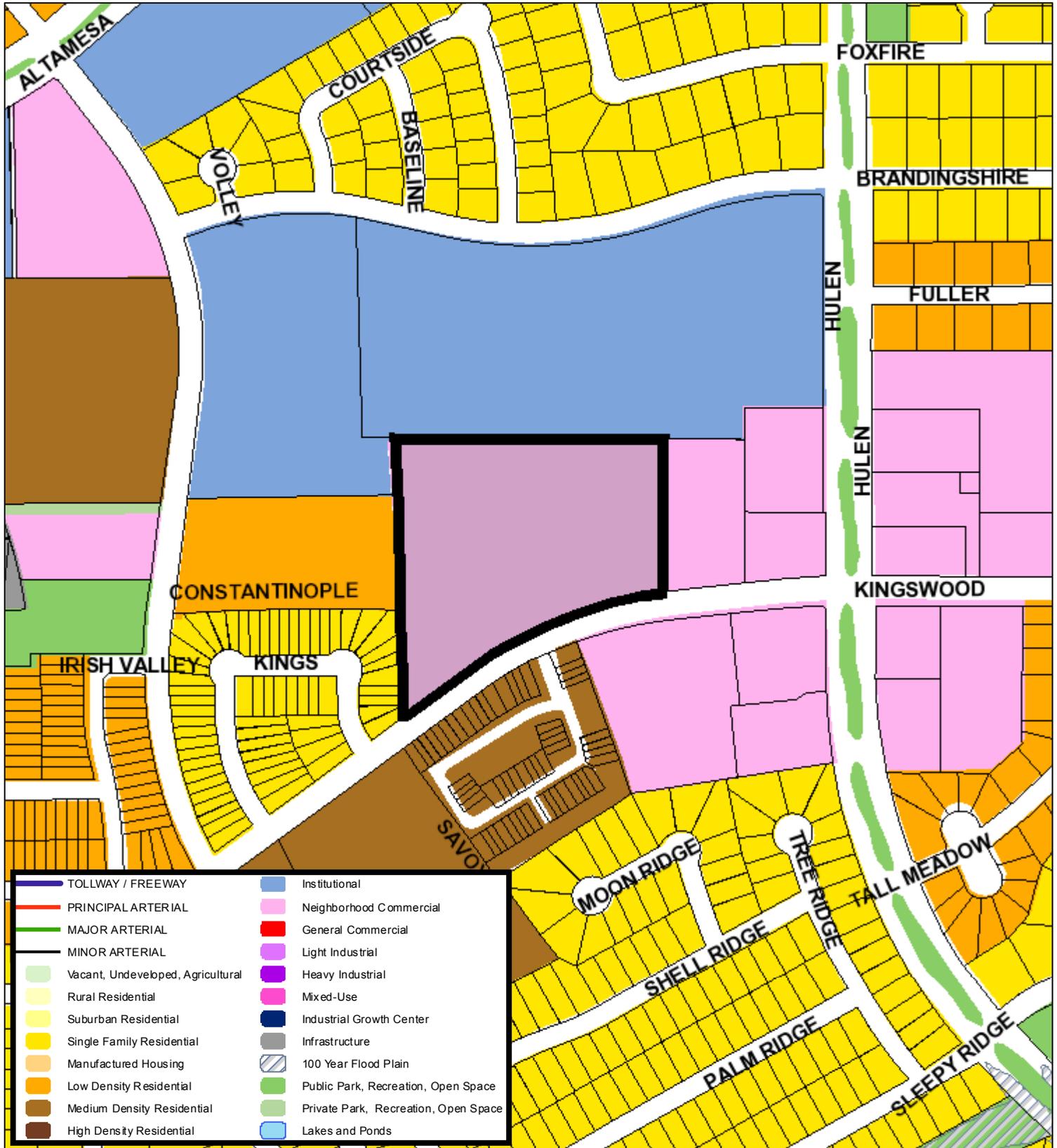
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 210 420 840 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-037

District: (old/new): 3/6

Zoning Map Amendment

Case Manager: [Shad Rhoten](#)

Owner / Applicant: Laura Kate Tucker / Jennifer Tucker

Site Location: 5404 Wellesley Avenue

Acreage: 0.1434

Request

Proposed Use: Short Term Rental

Request: From: “A-5” One-Family

To: “PD/A.5” Planned Development/A-5 – One Family District for all uses in the A-5 district and including Short Term Rental, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Table of Contents

1. [Project Description and Background](#)
2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is within the Chamberlain Arlington Heights 2nd Addition and NEZ Area Three. This application seeks to change the zoning on the property from the current “A-5” zoning to “PD/A-5” zoning, to allow the existing single-family residence to be utilized as a short-term rental (STR). The property is situated in an established single-family neighborhood. The primary use of surrounding property is single-family residential with A-5 zoning. There is existing “B” Two-Family and “E” – Neighborhood Commercial zoned lots located to the east, south and west of the site and within a three (3) block range (*refer to attached zoning map*).

STRs are properties available for rent for guest lodging for a period ranging from 1 to 30 days. They are prohibited from operating by-right in all residential districts nor can they be considered in a residential district under a Conditional Use Permit. STRs are permitted, though, by right within commercial, industrial and mixed-use districts. The Planned Development request, if approved, would allow the STR use only in addition to permitted single family uses but eliminating all other uses permitted within a base commercial zoning district.

Ordinance 26005-02-2023, approved February 14, 2023, established general standards/policies requiring registration of STRs within the City of Fort Worth. These include a registration process which allows the City to locate the site, process to assess/collect HOT and other applicable taxes and recording of contact information for the resolution of complaints/emergencies relevant to the STR operation. Ordinance 26005-05-2023 states: *“An owner who desires to use its premises as a short-term rental must have a valid, active short-term rental registration from the City prior to using, allowing the use of, or advertising the use of said premises as a short-term rental.”* The applicant’s next steps would be to register the STR if this zoning change is approved. Short-term rental registrations are non-transferable.

Additional regulations for STRs are:

- Occupants are limited to two (2) persons per bedroom, plus two (2) additional persons (with a maximum limit of twelve (12) persons).
- The STR can be rented to a maximum of one (1) group at a time.
- The maximum amount of motor vehicles allowed at a short-term rental shall be limited to the number of available off-street parking spaces.
- Gatherings that assemble large numbers of people are prohibited.
- Trash and Noise Ordinances must be adhered to.

Neighborhood Empowerment Zones (NEZ's) promote housing and economic development in central city neighborhoods of Fort Worth. Municipal property tax abatements, fee waivers, and release of city liens are available to property owners who build or rehabilitate property within NEZ's. These incentives are designed to promote affordable housing, economic development and expanded services.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single family residential
East “A-5” One-Family / single family residential
South “A-5” One-Family / single family residential

Recent Zoning History

- The subject property was included in an approximate 366 acre rezoning in 2004 from a mix of districts B, CR, C, ER, E, FR and F to A-5 (ZC-04-199). Subject property and adjoining properties are zoned “A-5” for several blocks. Refer to attached zoning map.

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.

The following organizations were emailed on March 30, 2023:

Organizations Notified	
Como NAC*	Trinity Habitat for Humanity
Sunset Heights NA	Camp Bowie District, Inc
Streams And Valleys Inc	Fort Worth ISD

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The predominant use in this vicinity are single family residential, contained within the boundaries of Camp Bowie Blvd to the north, Lake Como Dr to the east and Vickery Blvd/Bryant Irvin Rd to the south and west respectively.

It appears this requested change would be **compatible** in this area. The use will operate within the existing single-family residence. The site is also located within a short distance of Camp Bowie and Lake Como Park, which offers guests proximity to retail, restaurants and leisure activities. Additionally, the short-term rental registration adds additional protection measures to the adjacent residential in terms of noise and/or other potential nuisances.

Comprehensive Plan Consistency – Arlington Heights

The 2022 Comprehensive Plan currently designates the subject property as future Single-Family Residential. This land use designation includes zoning districts “A-5”, “A-7.5”, “A-10”, and “AR”.

FUTURE LAND USE AND ZONING CLASSIFICATIONS

FUTURE LAND USE	DEFINITION	ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning to a Planned Development with a base district of A-5 – One Family **is consistent** with the land use designation for this area. The PD zoning allows the use of a short-term rental at the site, but limits all other commercial uses that could operate by right under a base commercial zoning district. This proposal is also in alignment with the following policies of the Comprehensive Plan:

- Preserve the character of rural and suburban residential neighborhoods.
- Encourage compatible land use and infill development in the Como neighborhood consistent with its neighborhood empowerment zone plan.
- Stimulate the redevelopment of the Camp Bowie Boulevard, West 7th Street, White Settlement Road, and Vickery Boulevard/Lovell Avenue commercial, mixed-use, and urban residential districts.

Economic Development Plan

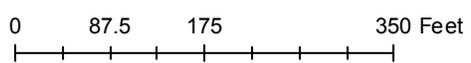
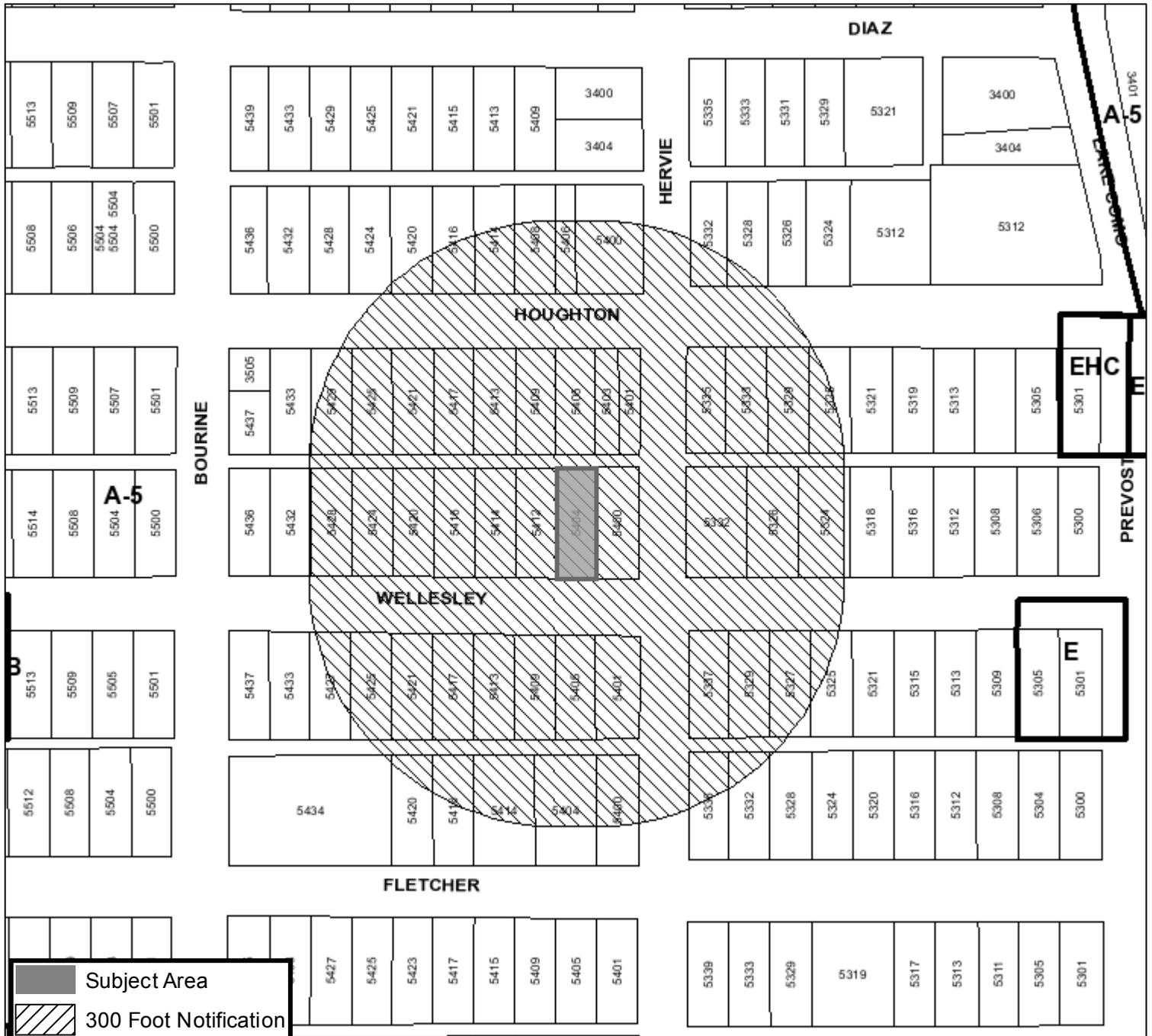
The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.



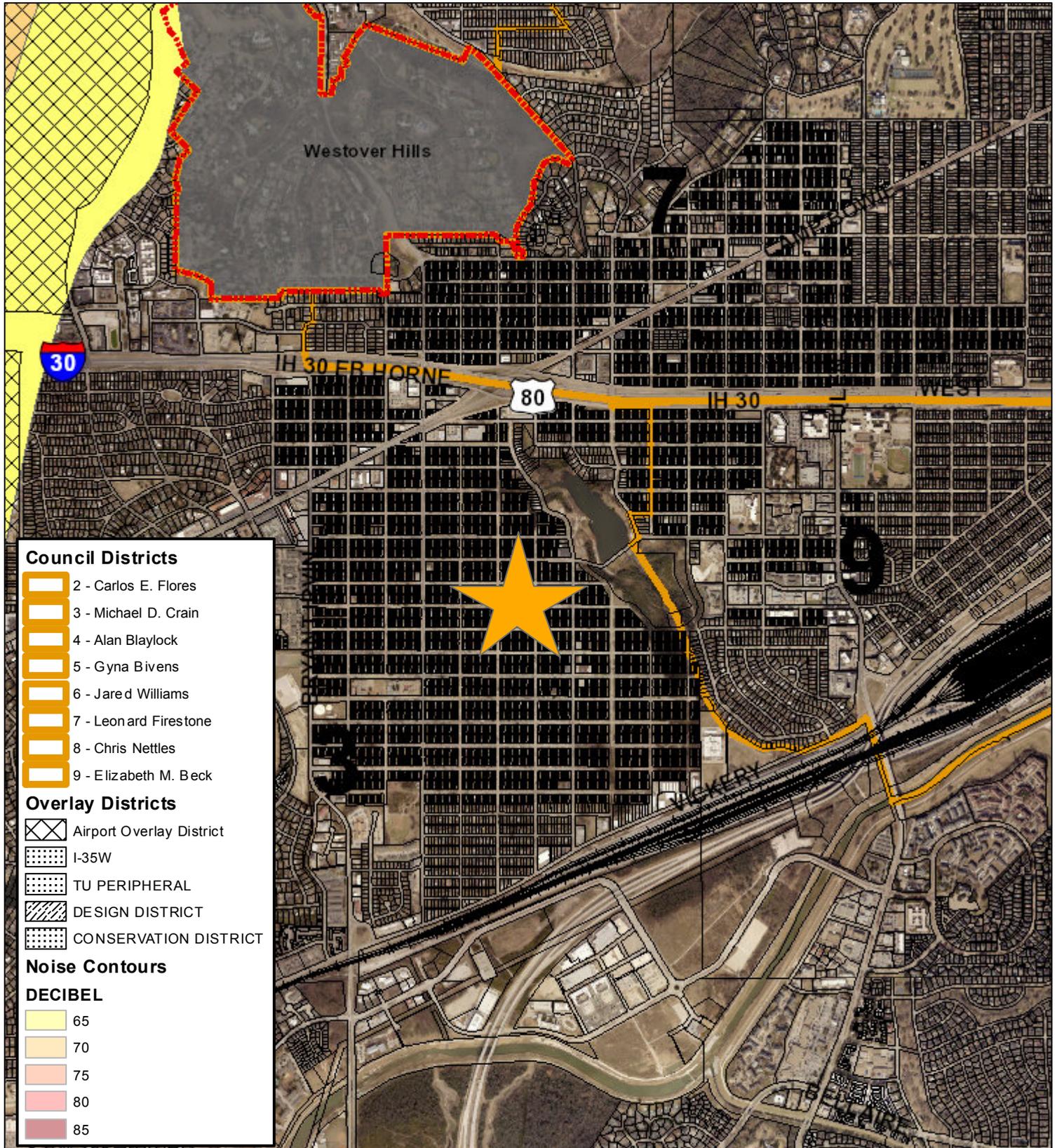
ZC-23-037

Area Zoning Map

Applicant: Laura Kate Tucker
 Address: 5404 Welleley Avenue
 Zoning From: A-5
 Zoning To: PD/A-5 for Short Term Rental Uses
 Acres: 0.1469757
 Mapsco: Text
 Sector/District: Arlington Heights
 Commission Date: 4/12/2023
 Contact: null



Area Map



Council Districts

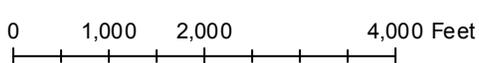
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Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

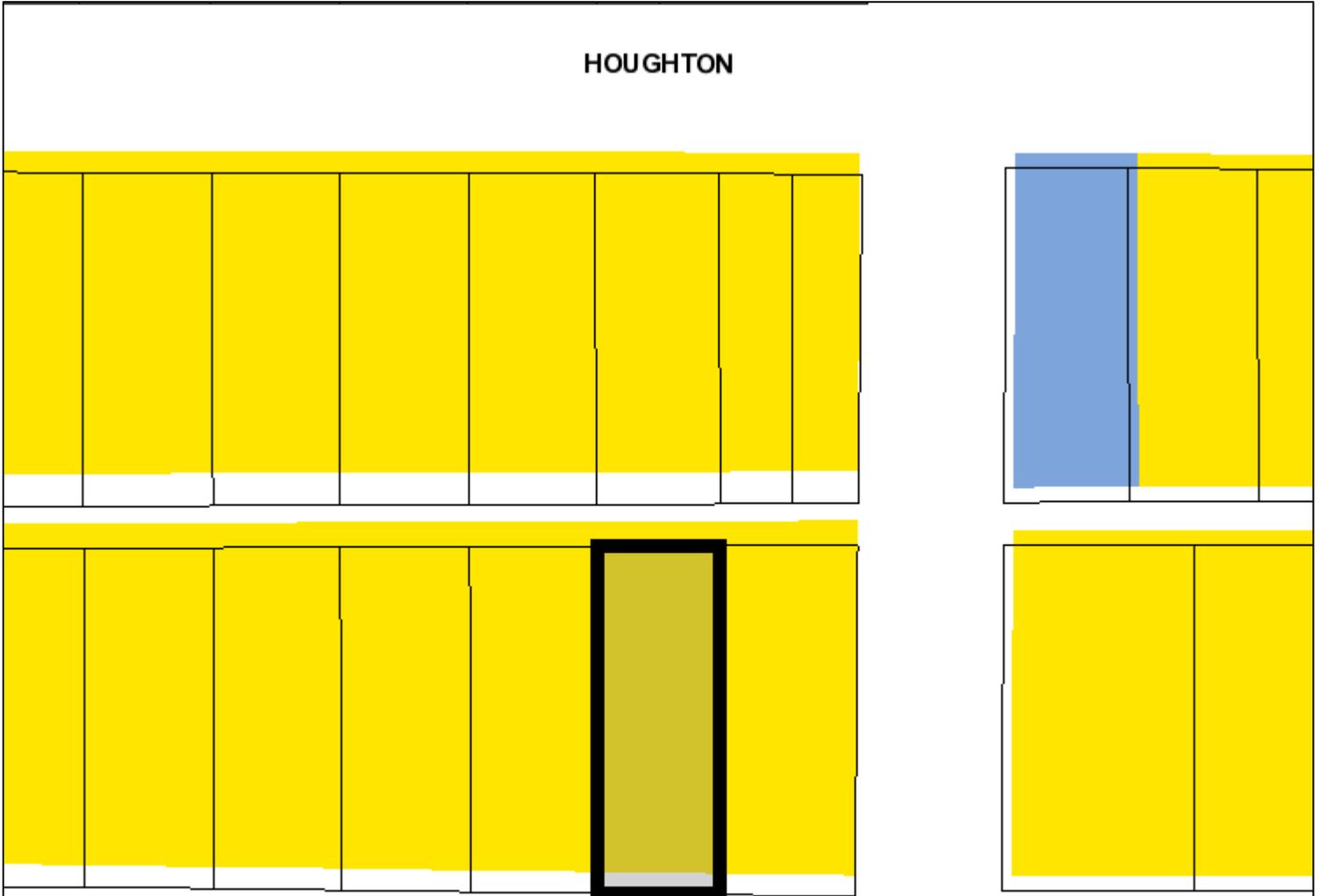
Noise Contours

- DECIBEL**
-  65
 -  70
 -  75
 -  80
 -  85

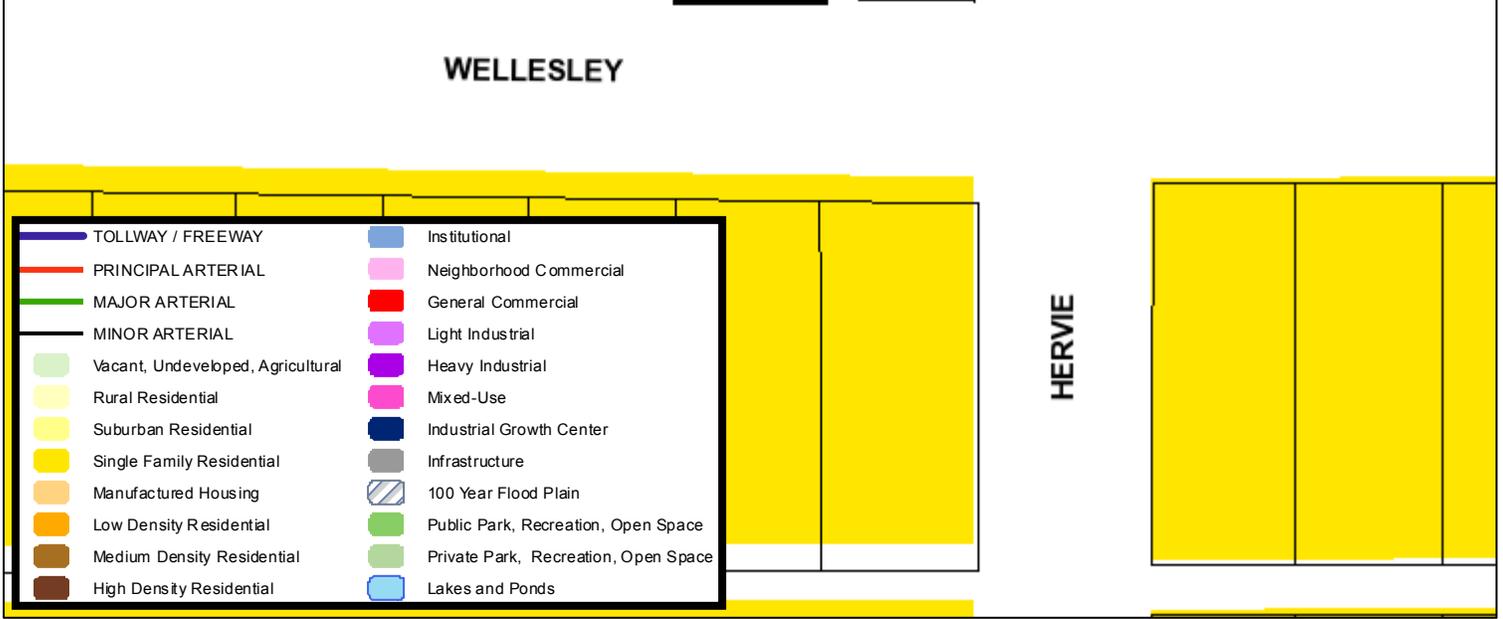


Future Land Use

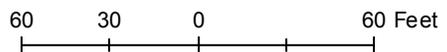
HOUGHTON



WELLESLEY



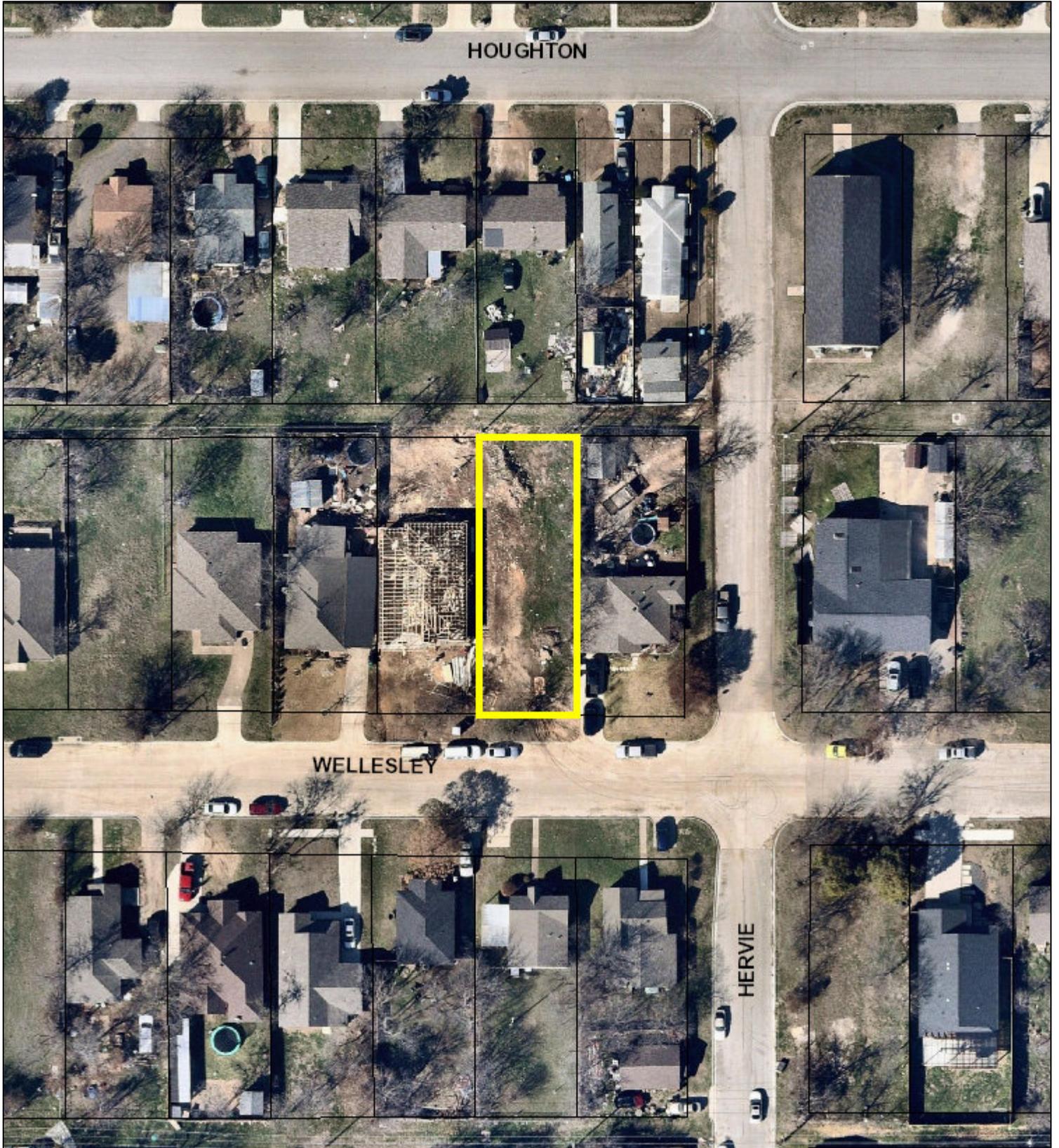
TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-038

District (old/new): 5 / 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Amy Hung (owner) / Jones Gillam Renz (applicant), Andrea Taylor (representative)

Site Location: 7808 Brentwood Stair Road

Acreage: 13.854 acres

Request

Proposed Use: Apartments

Request: From: "A-7.5" One Family Residential

To: "C" Medium Density Multifamily

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

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Project Description and Background

The subject site is located on the east side of Fort Worth, situated at the intersection of Cooks Lane & Brentwood Stair Road, in Council District 5. The site is currently undeveloped. The applicant is requesting to rezone this property from “A-7.5” One Family Residential to “C” Medium Density Multifamily, to accommodate an apartment development with approximately 88 units, for a density of just under 18 dwelling units per acre of gross density. Please note that a formal Site Plan is not required for a rezoning to “C”, however the applicant has provided staff with a preliminary layout (attached to this report under the title “Concept Layout”) showing their most recent development plans in order to give staff and City officials an idea on how the developer envisions the layout and functionality of the site.

Any proposed development will need to meet all other “C” development standards, including minimum 45% open space, 20 foot street side setbacks, 5 foot side and rear setbacks, 36 foot maximum height, one parking space per bedroom plus one space per 250 square foot of common area, and a minimum of 20 points from the enhanced landscape table. Buildings must be oriented with the long side facing the street, parking towards the interior of the site, and no driveways, fences, or parking between the building façade and any street frontage.

Surrounding Zoning and Land Uses

North “C” Medium Density Multifamily / apartments

East “A-5” One Family Residential & “ER” Neighborhood Commercial Restricted / undeveloped

South “A-5” One Family Residential & “C” Medium Density Multifamily / single family & undeveloped

West “A-5” One Family Residential & “C” Medium Density Multifamily / single family & duplexes

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.

The following organizations were emailed on March 30, 2023:

Organizations Notified	
Streams and Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	NAS Fort Worth JRB RCC
Hollow Hills NA*	John T White NA
East Fort Worth, Inc	East Fort Worth Business Association
Handley NA	Historic Randol's Mill Valley Alliance, Inc

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Surrounding land uses in this area vary greatly. There is a mixture of single family residential and duplexes immediately adjacent to the west, with single family predominating in the blocks as you move away from the subject site. The north is zoned and developed as an apartment complex, similar in scope to the zoning being requested in this case. To the east the land is for the most part undeveloped, but is zoned for future neighborhood commercial. To the south are more single family residential neighborhoods, as well as a creek and floodplain.

Access is afforded in all directions, as the site sits where two roadways cross (Cooks Lane & Brentwood Stair Road). The site is easily accessible to I-30 and the DFW freeway network with the Cooks Lane interchange just to the north, and the area is in close proximity to commercial developments at Eastchase Parkway, which is a straight shot down Brentwood Stair. Similar types of housing (multifamily apartments) exist in the immediate vicinity of the subject site, with “C” zoning and garden apartments mirrored across Brentwood Stair to the north.

As long as the proposed new apartment community meets the standards set out in Section 4.711 regulating new (medium density) multifamily development, then the rezoning of this site to “C” would not be disruptive to existing uses in the vicinity. The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2022 Comprehensive Plan designates the subject property as future single family residential. Zoning categories in alignment with this Comprehensive Plan designation would be “A-10”, “A-7.5”, “A-5”, or “AR” One Family residential zoning. The current “A-7.5” zoning is in alignment and consistent with the Comprehensive Plan designation. In order to accommodate the current development and rezoning proposal, a designation of Medium Density Residential would be required in order to accommodate a rezoning to “C” Medium Density Multifamily.

The proposed zoning **is not consistent** with the Comprehensive Plan. If the zoning change is approved as presented, staff recommends that the Future Land Use Plan designation be updated to reflect this change.

Economic Development Plan

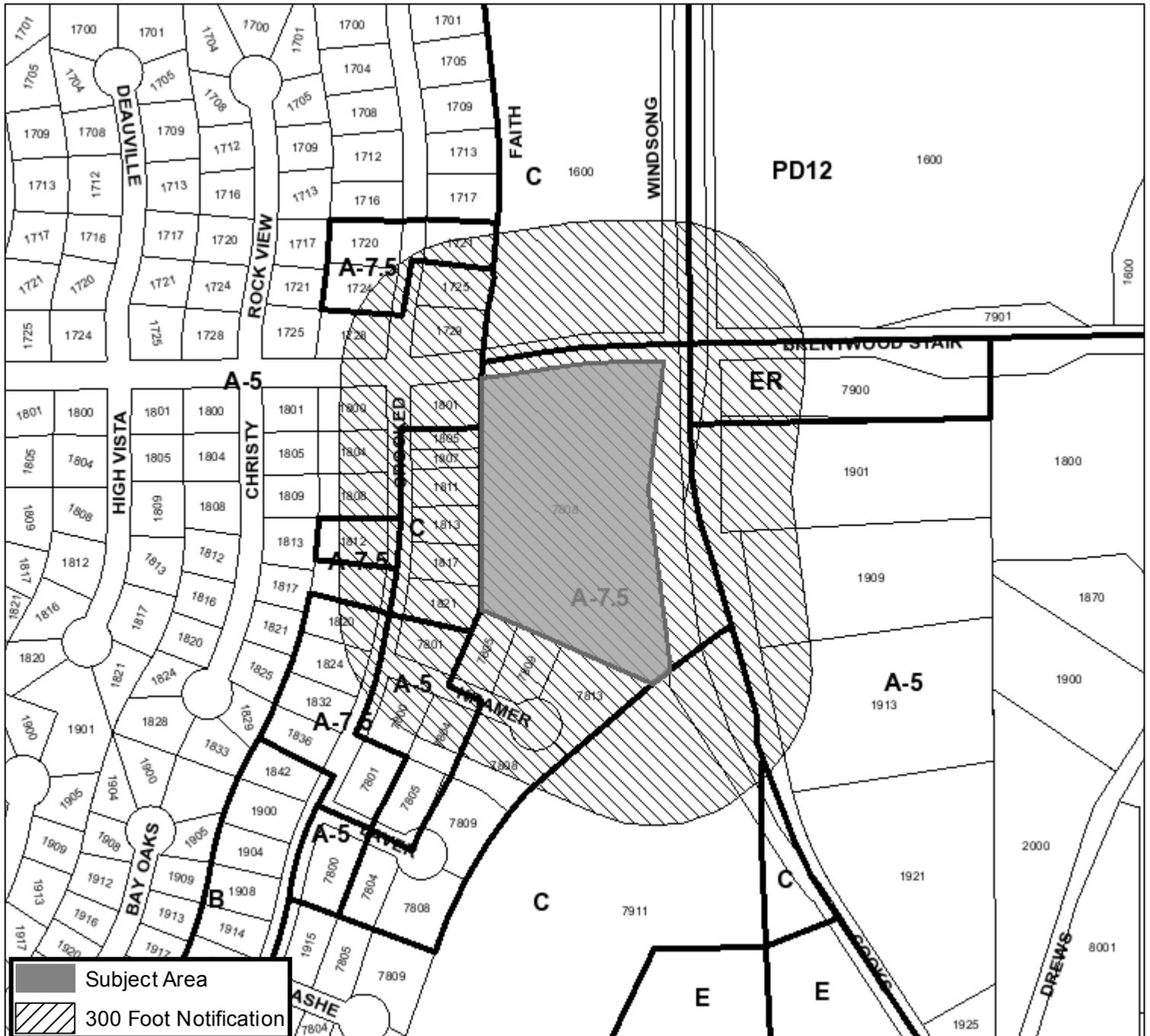
The 2017 Economic Development Strategic Plan calls for the City to allow development of a diverse range of high quality housing with a range of types and price points. The apartment community proposed would fit into this objective.

3.2.2. Encourage substantial new housing investment and development in the city’s under-served neighborhoods.

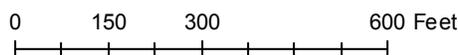
3.2.2.1. Provide developer incentives for the creation of new high-quality housing stock on vacant properties. These should include a range of housing types and price points such as single-family homes, townhomes, high-quality multi-family properties, and mixed-use developments with residential units on upper floors and retail/office space on ground floors.

Area Zoning Map

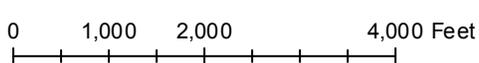
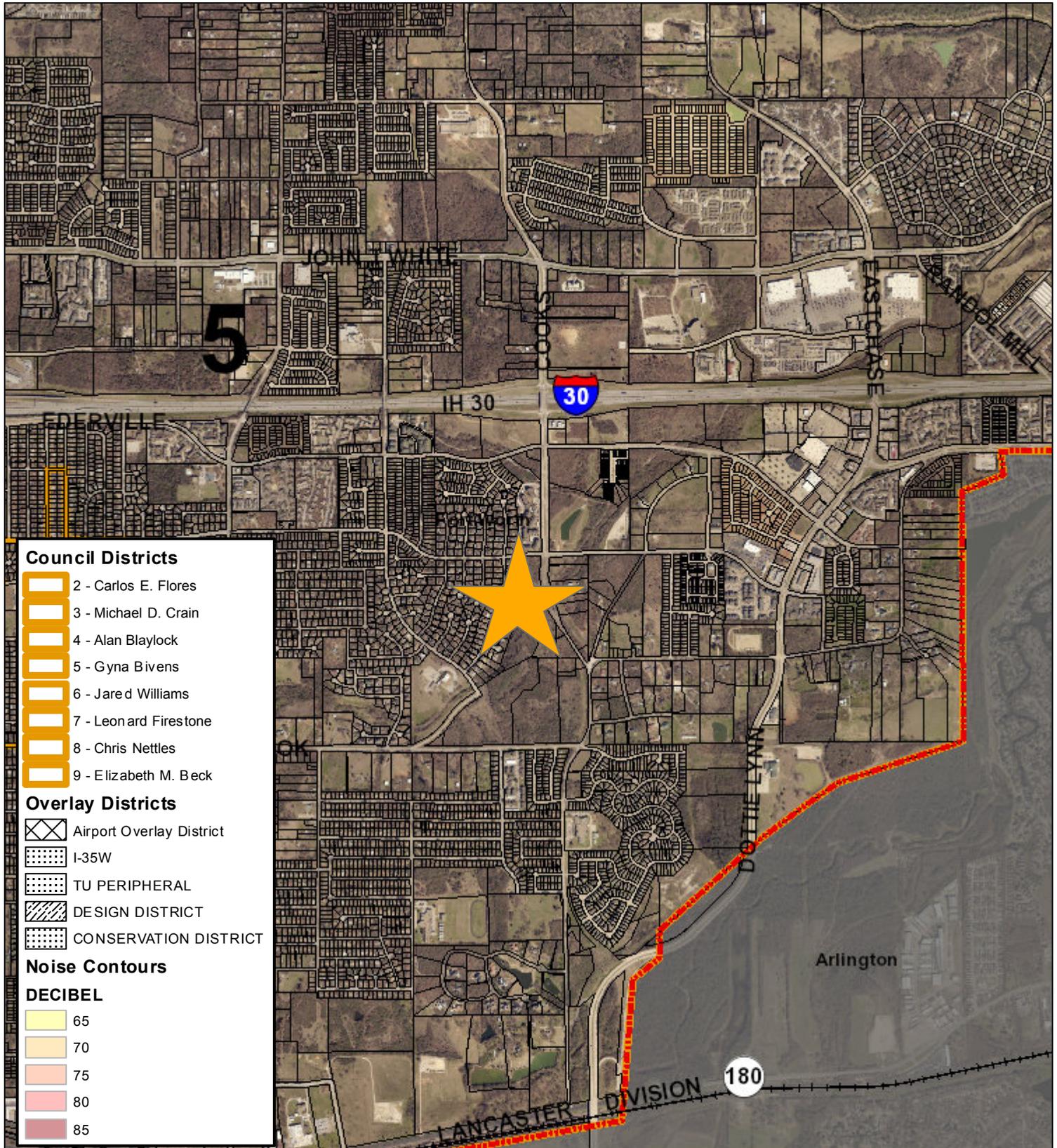
Applicant: Amy Hung/Andrea Taylor
 Address: 7808 Brentwood Stair Road
 Zoning From: A-7.5
 Zoning To: C
 Acres: 5.09631373
 Mapsco: Text
 Sector/District: Eastside
 Commission Date: 4/12/2023
 Contact: 817-392-8043



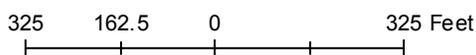
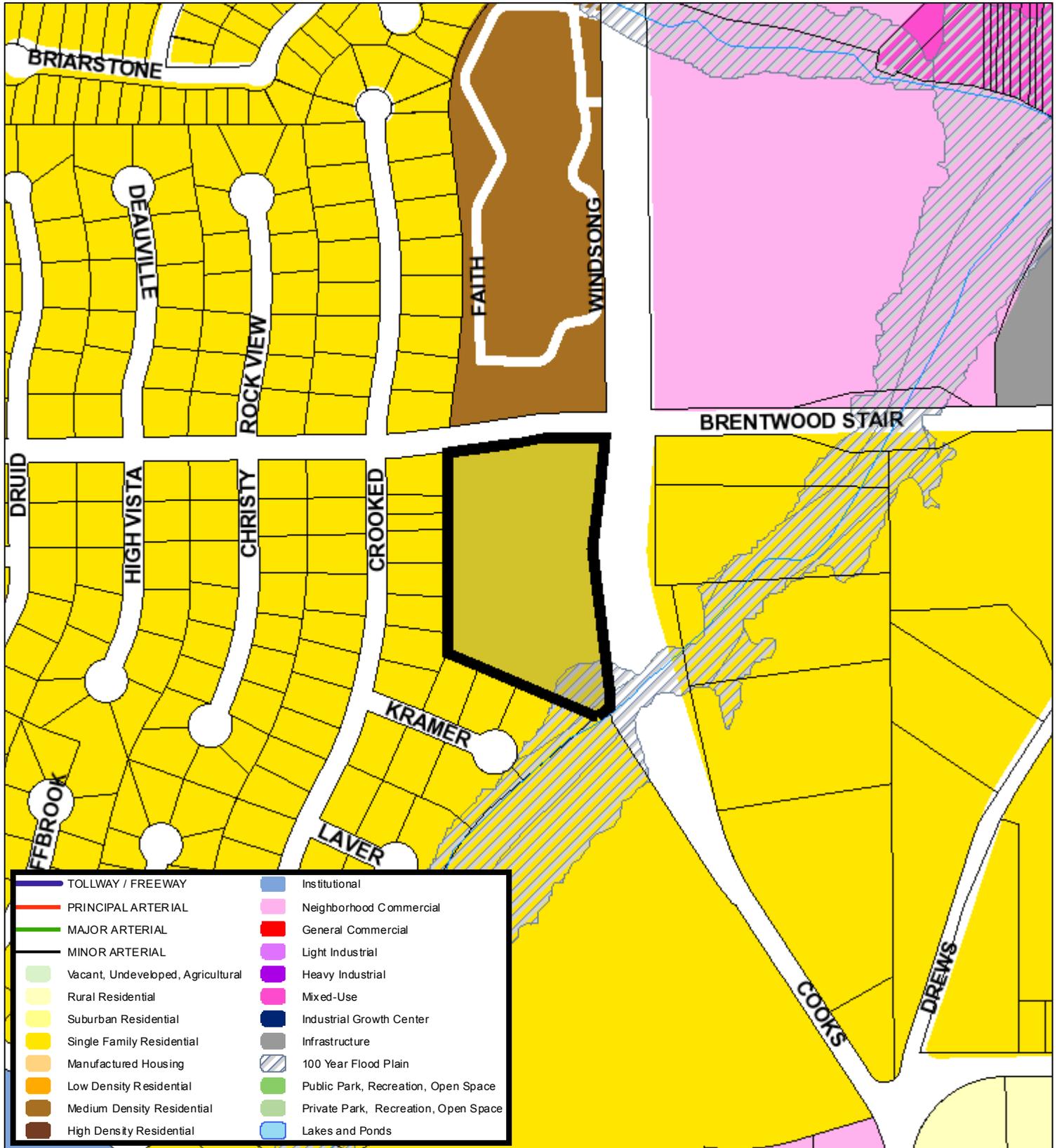
	Subject Area
	300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 205 410 820 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-040

District (old/new): 6 / 8

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: JLJ Investments / Ryan King

Site Location: 12365 South Freeway

Acreage: 1.23 acres

Request

Proposed Use: Restaurant/Retail

Request: From: "PD 203" for sales of manufactured homes

To: "F" General Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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Project Description and Background

The proposed site is located on the northeast corner of Rendon-Crowley Road and the access road to IH-35 North. The rezoning site is a remnant of a more extensive planned development (PD). In 2010 the southern portion of said PD was rezoned to “E” Neighborhood Commercial to accommodate a gas station and a convenience store.

The applicant is proposing to zone the subject site from “Neighborhood Commercial to “F” General Commercial, the purpose of the general commercial (“F”) district is to provide for commercial uses intended to serve the entire community.

In their application, the applicant expressed that they would develop a 9,500 sq. ft. building, of which 5,000 sq. ft. will be used for restaurants, and the rest will be leased for retail purposes.

Surrounding Zoning and Land Uses

North “F” General Commercial / restaurant
East “E” Neighborhood Commercial / residence
South “E” Neighborhood Commercial / gas station and convenience store
West Across South Freeway “I” Light Industrial / vacant

Recent Zoning History

- ZC-17-129 directly north of the site rezoning from “MU-1” Low-intensity Mixed Use to “F” General Commercial.

Public Notification

300-foot Legal Notifications were mailed on March 29, 2023.
The following organizations were emailed March 29, 2023:

Organizations Notified	
District 6 Alliance	Streams And Valleys Inc
Trinity Habitat for Humanity	Burleson ISD
Crowley ISD	

Development Impact Analysis

Land Use Compatibility

The site is completely surrounded by properties zoned commercial on sides, and the actual land uses are largely commercial comprised of restaurant, gas stations and convenience stores, except for the 4-acre site directly to the east which is developed with a single-family residence.

The site is at a high-traffic intersection, a major east/west thoroughfare between the Cities of Mansfield and Crowley, and the proximity to IH35W. Commercial uses are appropriate at major intersections.

The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

The 2022 Comprehensive Plan currently designates the subject site as future General Commercial. Properties on all four adjacent sides are all marked as future General Commercial. All commercial zoning, as well as mixed-use zoning are considered to be acceptable zoning classifications within future General Commercial areas.

COMMERCIAL		
Neighborhood Commercial*	Retail, services, offices and mixed uses serving daily needs for a local market area	ER, E, MU-1
General Commercial*	Retail, services, offices and mixed uses serving occasional needs for a larger market area	All Commercial, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Center are more intensive	AR, B, R1, R2, CR, C, D, UR, All Commercial, MU-1, MU-2, Form-Based Codes

*Multifamily has been removed as an encouraged land use and applicable zoning districts in accordance with current Zoning policies.

The proposed rezoning is consistent with the following policies of the Comprehensive Plan:

- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development
- Locate large commercial and institutional uses adjacent to arterial streets, preferably at the intersections of other arterials and highways.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas

The proposed rezoning **is consistent** with the Comprehensive Plan.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.

The following Economic Development policies support the rezoning as presented:

- A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.





ZC-23-040

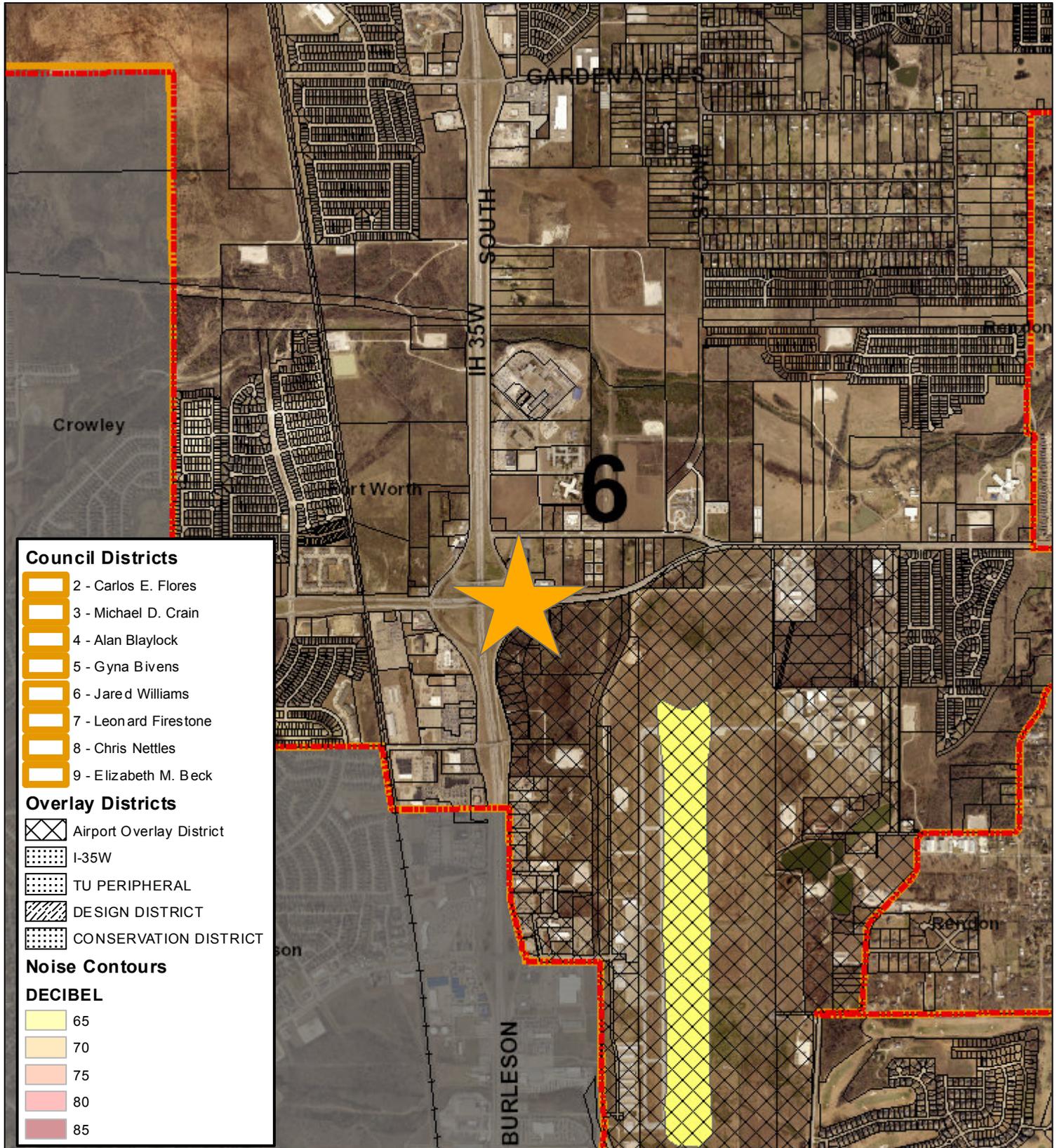
Area Zoning Map

Applicant: JLJ Investmets/Ryan Kim
 Address: 12365 South Freeway
 Zoning From: PD 203
 Zoning To: F
 Acres: 1.23347933
 Mapsco: Text
 Sector/District: Far South
 Commission Date: 4/12/2023
 Contact: 817-392-8028



0 130 260 520 Feet

Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

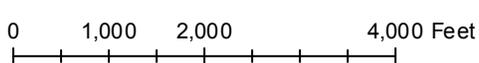
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

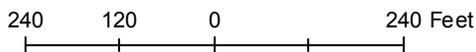
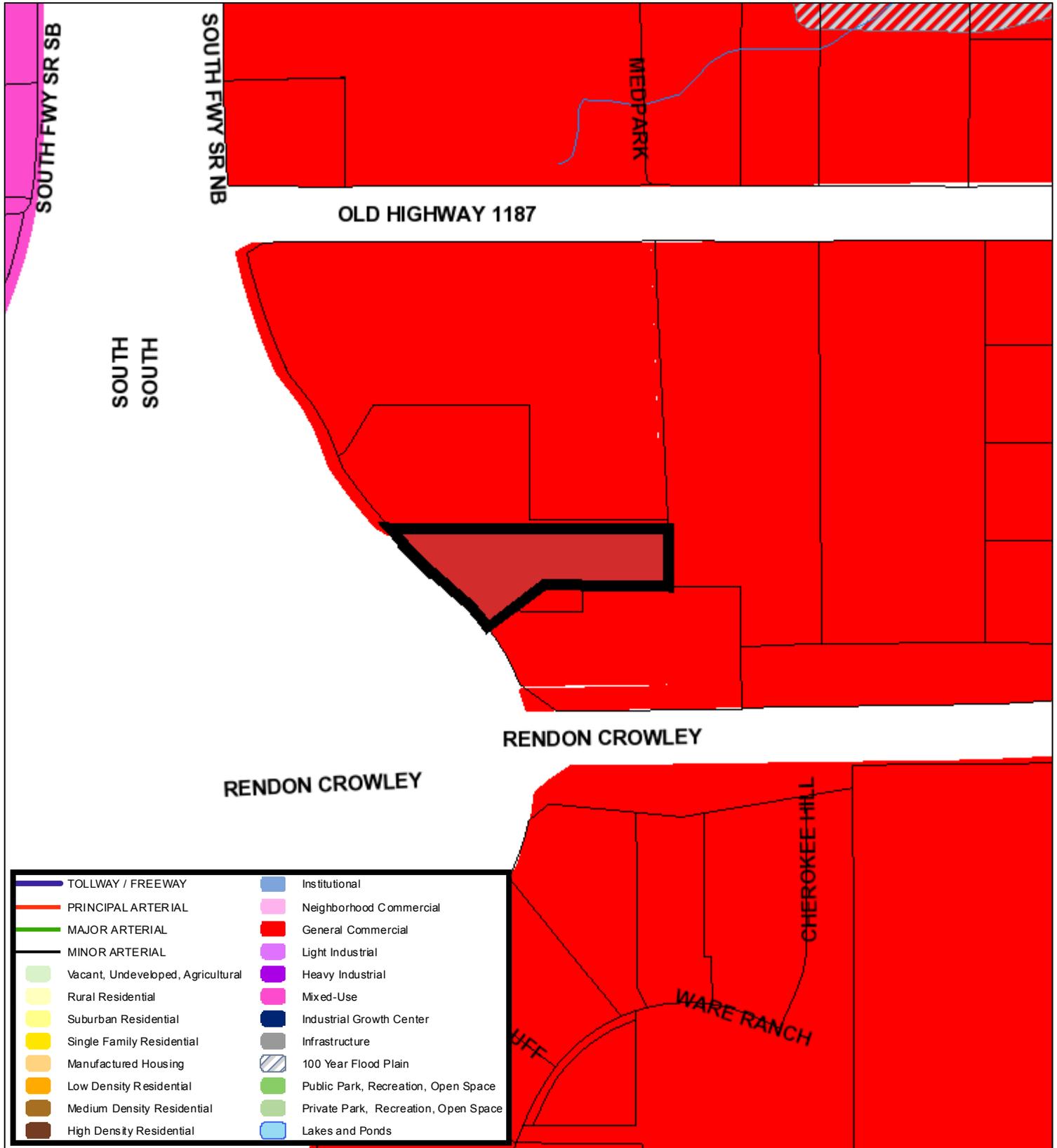
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 155 310 620 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-041

District (old/new): 9 /11

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Rosemont Holding /National Veterans Outreach Program Inc. / The Berm Consultant Group

Site Location: 4041 Ryan Ave

Acreage: 1.95 acres

Request

Proposed Use: Apartments

Request: From: “A-5” One Family Residential

To: “D” High Density Multifamily

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

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10. Aerial Photograph

Project Description and Background

The subject site is located on the south side of Fort Worth, situated at the intersection of Bolt Street & Ryan Avenue. The site is currently a vacant church. The applicant is requesting to rezone this property from “A-5” One Family Residential to “D” High Density Multifamily. The applicant would like to redo the inside of the building to create housing for veterans. Below is an excerpt of their proposal.

The American GI Forum National Veterans Outreach Program (NVOP), a 501 C3 Charitable Organization, proposes to rezone the current Church on 4041 Ryan Avenue, listed as "A-5" one-family to Multi Family "D" High density.

The purpose of this zoning change is to convert the current church and 2-acre lot into a Veteran living community that offers Transitional and Permanent Housing with supporting services. An exceptionally effective model that combines independent living with supportive services, targeting transitioning and vulnerable Veteran populations. This intervention combines affordable housing assistance with services to ensure that residents live a more stable and productive life. NVOP ensures the greatest impact within its housing programs by being very responsive, using trauma-informed care, working diligently to link clients to many community partners, and providing in-house supports such as clothing closets, food banks, and transportation.

Consistent with a recent surge of Veterans moving into Tarrant County, the housing program will ensure immediate housing for Veterans transitioning from military service. Complimentary resources will include wrap-around services like employment assistance, wellness services, transportation, disability assistance as needed to set the condition for a successful community transition. The site will have a combination of single room transitional quarters while they receive transitioning services, and studio apartments for permanent housing upon transition. The NVOP uses this very effective two-step process to ensure Veterans receive the services and skills needed to complete the transition successfully.

Skilled, on-site, case managers and administrative staff will guide the residents in maximizing their income through employment (job search assistance & work-related items) and/or by facilitating access to benefits that they qualify for (VA benefits, State assistance); establishing permanent housing (funds or deposits, rental assistance, household goods, beds); and securing needed services (medical, dental, legal, education/training, wellness services) by providing that assistance or by linking the residents to a network of community partners. NVOP expects this program to thrive greatly in this welcoming and dynamic city.

Benefits to the community include providing affordable housing in otherwise unaffordable housing markets. NVOP has both Federal and State grants that provide funding for housing, employment and a myriad of complimentary services. A decreased use of shelters, hospitals, emergency rooms, jails/prisons and an economic stimulus, and improved safety of neighborhoods. Additionally, NVOP seeks to contribute to Tarrant County through beautification/rehabilitation of the facility, career opportunities and hiring of local vendors (NVOP is especially eager to work with small businesses including those that hire Veterans.)

Surrounding Zoning and Land Uses

North “A-5” One Family Residential / single-family
East “A-5” One Family Residential / single-family
South “A-5” One Family Residential / Rosemont Park
West “A-5” One Family Residential / single family

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
Las Familias de Rosemont NA*	Trinity Habitat for Humanity
South Hills NA	FWISD
Streams and Valleys	

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Surrounding land uses are primarily single-family with Rosemont Park across Bolt Street. The applicant intends to use the existing building, which will lessen the impact to the surrounding neighborhood. They will need to bring the building up to Code and ensure they are meeting “D” requirements for parking, setbacks, open space etc. The proposed use would also promote the public interest by providing housing for veterans in need.

As a result, the proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

The adopted Comprehensive Plan designates the subject property as future community facilities. In order to accommodate the current development and rezoning proposal, a designation of High Density Residential would be required in order to accommodate a rezoning to “D” High Density Multifamily.

The proposed zoning **is not consistent** with the Comprehensive Plan. If the zoning change is approved as presented, staff recommends that the Future Land Use Plan designation be updated to reflect this change.

Economic Development Plan

The 2017 Economic Development Strategic Plan calls for the City to allow development of a diverse range of high quality housing with a range of types and price points. The apartment community proposed would fit into this objective.

3.2.2. Encourage substantial new housing investment and development in the city's under-served neighborhoods.

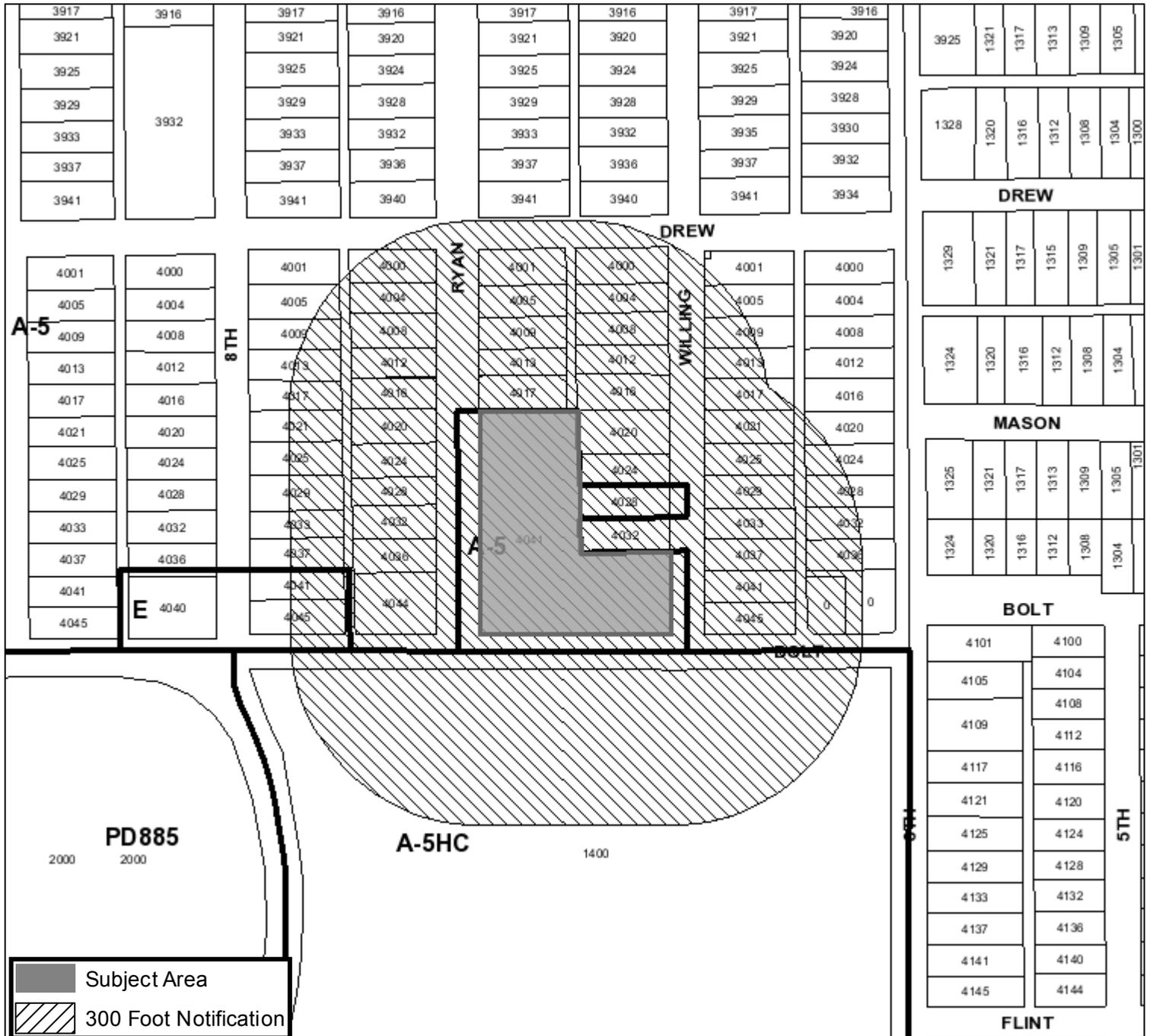
3.2.2.1. Provide developer incentives for the creation of new high-quality housing stock on vacant properties. These should include a range of housing types and price points such as single-family homes, townhomes, high-quality multi-family properties, and mixed-use developments with residential units on upper floors and retail/office space on ground floors.



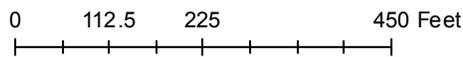
ZC-23-041

Area Zoning Map

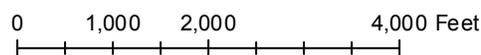
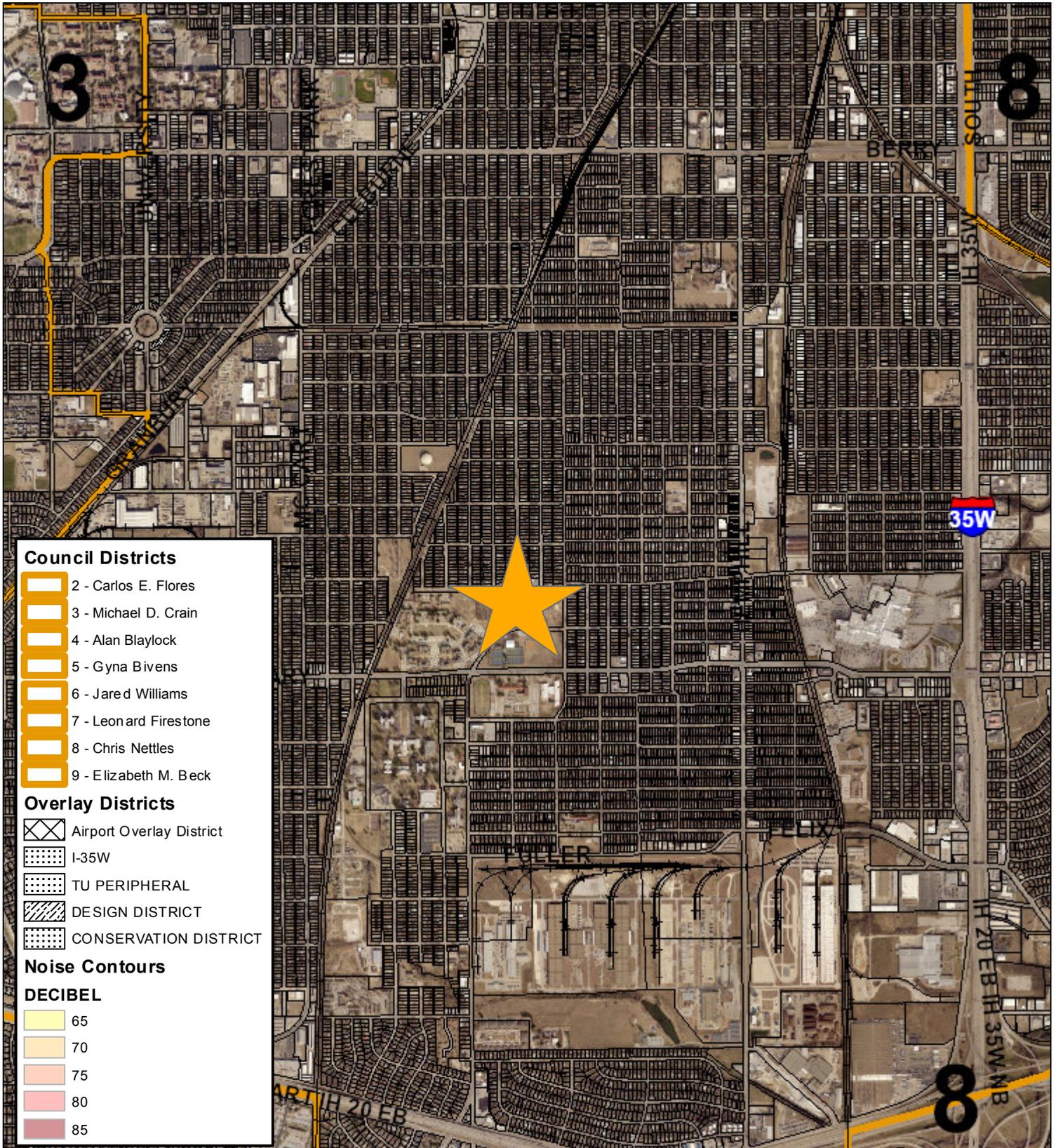
Applicant: Rosemont Holding/NVOP
 Address: 4041 Ryan Avenue
 Zoning From: A-5
 Zoning To: D
 Acres: 1.68734022
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 4/12/2023
 Contact: 817-392-8028



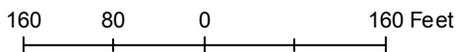
	Subject Area
	300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 105 210 420 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-043

District: (old/new): 8/8

Zoning Map Amendment

Case Manager: [Shad Rhoten](#)

Owner / Applicant: Amanda Schulte – Bennet Partners / Center for Transforming Lives

Site Location: 3001 S Riverside Drive

Acreage: 13.01

Request

Proposed Use: Office, Counseling Office, Daycare, Retail, Coffee Shop, Trade School

Request:

From: PD 760 – “PD/I” Planned Development Light Industrial for all uses in the “I” excluding chicken battery or brooder, coal, coke or wood yard, outdoor sales and storage, and retaining current PD 760 standards

To: Amend PD 760 – “PD/I” Planned Development Light Industrial for all uses in “I” excluding chicken battery or brooder, coal, coke or wood yard, outdoor sales and storage with development standards (see staff report in docket), site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval with the requested development standards (waivers) with the exception of waiver to Zoning Ordinance, Section 6.300(d) (no screening element) in which Staff recommends denial.**

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- Area Map
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- Aerial Photograph

Project Description and Background

The subject property is approximately 13 acres situated at the northeast corner of South Riverside Drive and East Berry Street within NEZ Area 6. There is an existing 100,000 square foot, two-story building located on the property. The property is being redeveloped to add parking and maneuvering and landscape improvements. The existing building will be repurposed to host a mix of uses including office, conference and meeting space, resale, child care, trade school and warehousing. These uses are permitted under the “I” Light Industrial base zoning district for PD 760.

The site is currently zoned PD 760 – “PD/I” Planned Development Light Industrial with all uses in the “I” district excluding chicken battery or brooder, coal, coke or wood yard, outdoor sales and storage. The current zoning was approved under zoning case [ZC-19-114](#)/Ordinance 23765 on August 20, 2019 with land use and development standards established at that time. The applicant now seeks to amend the current PD 760 to request certain development standard “waivers” to (*refer to attached PD site plan for reference*):

- **Section 6.201 (b)(1) Minimum Off-Street Parking Requirements:** Reduce the required parking spaces from 183 to 145 (decrease of 38 spaces);
- **Section 6.300(b) Restrictions of the use of Bufferyard:** Allow the dumpster and enclosure to be located within the required bufferyard;
- **Section 6.300(d) Screening Requirements within a Bufferyard:** Allow for the exception of the screening element, as there is no additional square footage being added to the primary structure.
- **Section 6.300(i)(1) Exemptions and Exceptions:** Allow for the exception of the bufferyard requirements as there is no additional square footage being added to the primary structure. In fact, square footage will be removed in order to create a natural courtyard.
- **Section 6.3021(d)(1)(a)(1) Protective Fencing:** Allow for a wood deck with minimal invasion to be placed over critical root zone and around tree in order to protect it.

This application does not seek to amend any of the land uses established under Ordinance 23765. The amendment only proposes to amend the development standards itemized above. A site plan has been submitted depicting the general development layout for the site and includes the requested development standards waivers. The following narrative was provided by the applicant in the submitted change of zoning application:

The project consists of the adaptive re-use of the 1950s era former Montgomery Ward building located at 3001 S Riverside Drive for a new headquarters for Center for Transforming Lives. This local non-profit provides a range of wrap-around services for at-risk women and children, from initial crisis support and high-quality childcare, to financial education, housing services, trauma-informed family counseling and job training.

The existing building is two-stories and approximately 100,000 sf. New uses in the building include: conference and meeting space, economic mobility center, commercial kitchen, child development center, counseling center, office space, resale shop, coffee shop, donation storage area, and a future trade school.

The existing zoning is PD with an I - Light Industrial base zoning. We can accomplish all the above uses under the I base zoning, however, we are requesting waivers to more closely align with neighboring single-family and mixed use zoning districts. We are not requesting a change to MU-1 base, as the existing building on a large lot is less conducive to the mixed-use requirements.

The following analysis is provided in response to the requested development standards waivers:

Minimum Off-Street Parking Development Standard

The following table provides the required ratio of parking for each use that will operate on the property.

Day care	1 space per facility plus 1 space per 10 children (as licensed by the state) in back of front building line
Office, professional building	2.5 spaces per 1,000 square feet of <u>gross</u> floor area
Commercial business, retail sales and service (except large retail see § 5.134(a)(10))	4 spaces per 1,000 square feet (25% reduction for conversion from a more restricted use)
Medical clinic, health services facility, assisted living facility	1 space per doctor plus 1 space per 4 employees plus 4 spaces per 1,000 square feet of gross floor area
College or university	1 space per 2 teachers and administrative staff plus 1 space per 4 additional employees plus 1 space per 3 students residing on campus plus 1 space per 5 students not residing on campus
Warehouse building	1 space per 4 employees 4 spaces minimum
Restaurant, cafeteria	1 space per 100 square feet (25% reduction for conversion from a more restricted use)
Retail store, large	1 space per 250 gross square feet

Since the property is within 250 feet of the “A-5” One-Family District (bounds subject property to the north), these minimum parking requirements are mandatory and not optional. This request, if approved would allow a decrease in the required parking for Phase 1 of the development from 183 spaces to 145 spaces (deficit of 38 spaces). The applicant has provided a parking study to justify this development standard (see attached). **Staff is supportive** of this request as it reduces excess impervious surface on the site. Furthermore, the submitted parking study appears to have captured an exact parking ratio that is anticipated to support the various uses on site.

Restriction of the bufferyard - Dumpster Enclosure Development Standard

A fifty (50) foot building setback is required along the north property line where the site is bounded by A-5 One family district. Section 6.300(b) states the following:

*Restrictions of the use of bufferyard and/or building setback areas. These areas are intended to serve as a buffer between potentially incompatible uses. Structures are not permitted to be located in these areas, nor can such areas be used for signs, **dumpsters** or other garbage containers, any type of storage or any nonresidential activity. Passenger car parking, automobile and truck access and loading or unloading of goods during the daylight hours shall be permitted within the building setback areas exclusive of the landscaped areas.*

The applicant is requesting a development standard waiver through the PD to allow the dumpster with the supplemental fifty (50) foot building setback. The dumpster would be thirty (30) feet from the north property line. **Staff supports this request.** The building is pre-existing and creates some site constraints. This also allows the dumpster to be placed at the rear of the property which is encouraged for property aesthetics.

Restriction of the bufferyard – Screening Wall Development Standard

Screening wall must be constructed and maintained along the northern property line (where adjacent to A-5 one family zoning) in the form of a solid masonry wall, wood fence, or combination thereof, to a height that is a minimum of six feet above the grade of adjacent property along the entire adjacent property line. The applicant is requesting to waive this standard. **Staff is not supportive of this request.** The screening wall is intended to

provide an additional barrier in addition to buffer yards and building setbacks to protect single family uses. The site plan depicts parking and driveways near the common property line; therefore, screening along this property line will provide a visual barrier.

Section 6.300(i)(1) – Enhanced Bufferyard

An enhanced buffer yard of twenty (20) feet is required when adjacent to One-Family zoning. This is applicable along the northern property line in addition to the enhanced fifty (50) building setback. The applicant is proposing ten (10) foot buffer yard (reduction of 10 feet) along the northern property line. **Staff is supportive of this request.** The building is pre-existing and the northern driveway is utilizing an existing curb cut off Riverside Drive. This appears to limit the area needed to achieve the 20-foot bufferyard.

Section 6.3021(d)(1)(a)(1) Protective Fencing

This request is to allow for a wood deck with minimal invasion to be placed over critical root zone and around tree in order to protect it in lieu of protective fencing. **Staff is supportive of this request.** Urban Forestry has reviewed the site plan and provided the following commentary:

“The protective fencing variance sounds acceptable. For trees where fencing that encompasses the critical root zone is impractical or impossible, we typically allow fencing as far from the trunk as possible sometimes combined with bark protection. The wood deck being proposed sounds like it would effectively accomplish the goal of traditional tree protective fencing.”

Surrounding Zoning and Land Uses

North “A-5” One-Family / single family residential in development
East “E” Neighborhood Commercial / undeveloped
South “MU-1” Low Intensity Mixed-Use / office, motel, contractor’s office
West “PD-UR” Planned Development Urban Residential (*PD 1124*) / apartments

Recent Zoning History

- ZC-21-075 - Amend “PD 760” Planned Development for all use in “I” Light Industrial plus mini-warehouses including outdoor sales, rental and storage including yards, contractors, lumber or storage, automobiles, equipment, storage yards and containers, building materials excluding certain uses with development standards, site plan waiver requested. **Denied**
- ZC-19-114 - from “PD 760” Planned Development to “PD 760” Planned Development for all use in “I” Light Industrial, excluding chicken battery or brooder, coal, coke or wood yard, outdoor sales and storage, and retaining current PD 760 standards, site plan waived. **Approved**
- ZC-07-078 - from “K” Heavy Industrial to “PD/SU” Planned Development for Specific Use for “E” Neighborhood Commercial w/ exclusions; effective 5/15/07. **Approved**

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
United Communities Association of South Fort Worth	Streams and Valleys Inc*
Glencrest Civic League NA	Trinity Habitat for Humanity*
The New Mitchell Boulevard NA	Southeast Fort Worth Inc*
Morningside NA	Fort Worth ISD

**Located within this registered Neighborhood Redevelopment Organization/Alliance*

Development Impact Analysis

Land Use Compatibility

The site is bounded by apartments and mixed-use zoning districts to the west and south. Commercial zoning districts (E and ER) adjoin the property on the east. The northern property was previously a zoned “MU-1) Low Intensity Mixed-Use; however, it was rezoned to “A-5” One-Family in 2020 under zoning case number ZC-20-071. The adjoining mixed-use zoning is appropriate to buffer the more intense industrial zoning (subject site) from one-family uses located to the west and south of the subject property. Although industrial uses are not desirable adjoining one-family, as is the case with the northern property, the current PD zoning does prohibit outside activities such as storage for automobiles, equipment, storage yards, containers and building materials. With the addition of a screening element along the shared northern property line, Staff is of the opinion the requested use **is compatible**.

Comprehensive Plan Consistency – Southside

The 2022 Comprehensive Plan currently designates the subject property as Light Industrial on the Future Land Use Map. Furthermore, this application does not seek to change allowable uses previously established under ZC-19-114. The purpose of this PD amendment is to modify current development standards only. The proposed zoning is consistent with the land use designations for this area, and aligns with the following policies of the Comprehensive Plan:

- Promote adaptive re-use of older buildings and the renovation of existing multifamily units.
- Encourage office and high-density residential uses which will support area commercial uses.
- Stimulate the redevelopment of the Hemphill Street, Berry Street, Evans Avenue, 8th Avenue/Cleburne Road/McCart Avenue, Pennsylvania Avenue, Magnolia Avenue, Rosedale Street, Seminary Drive, and South Riverside Drive commercial districts.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city

Based on conformance with the policies stated above, this request **is consistent** with the Comprehensive Plan.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.

Site Plan Comments

Fire Department

No comments provided

Transportation/Public Works

No comments provided

Stormwater

No comments provided

Park & Recreation

No comments provided

Platting

No comments provided

Building Plan Review

No comments provided

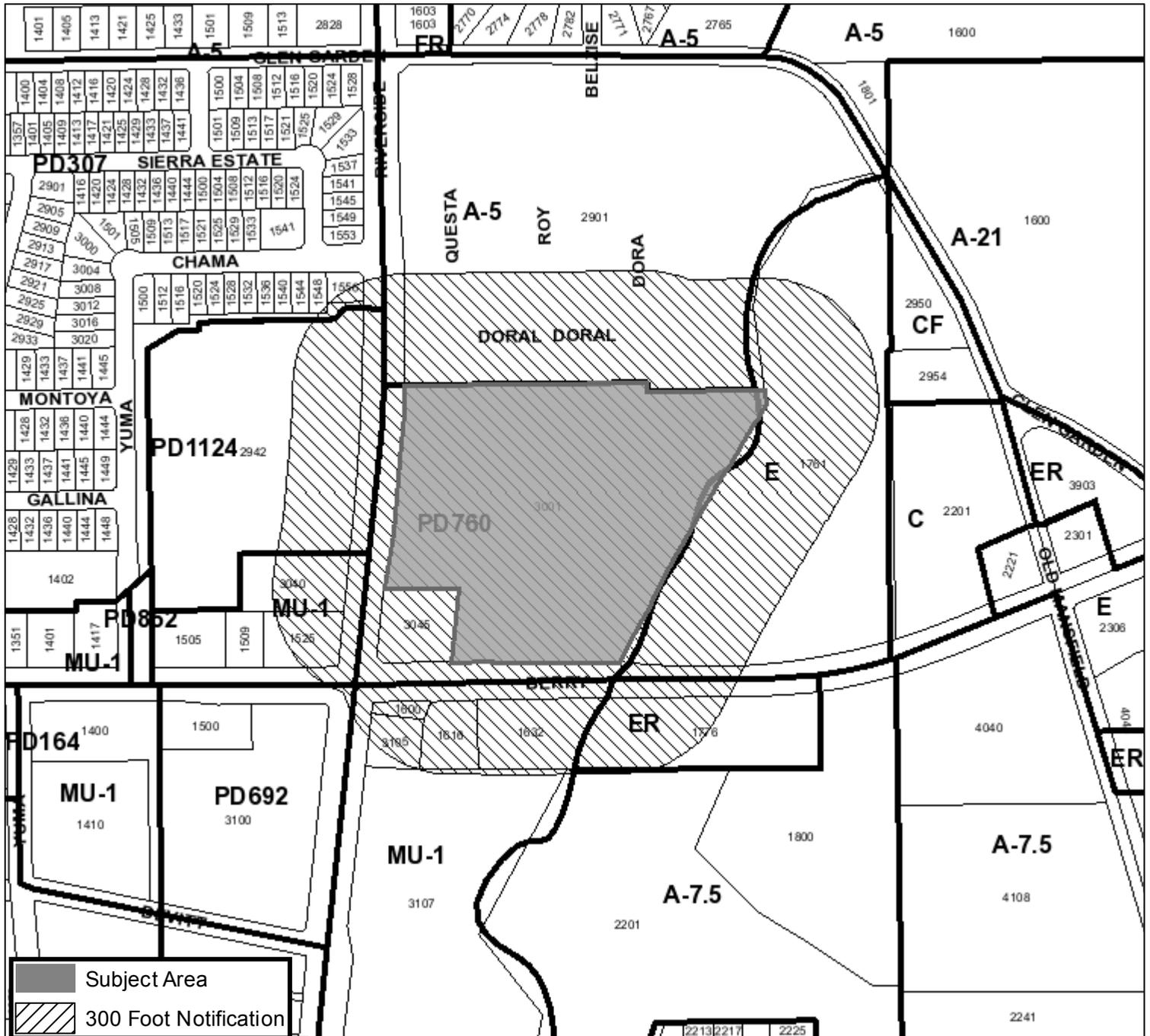
Water Engineering Review

- lot has existing water and sewer in S.Riverside Dr R.O.W

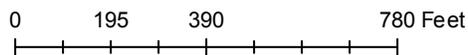
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: Center for Transforming Lives
 Address: 3001 S. Riverside Drive
 Zoning From: PD760
 Zoning To: Amend PD 760 to include Office, counseling office, daycare, retail coffeshop and trade school
 Acres: 12.9883754
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 4/12/2023
 Contact: 817-392-8025



 Subject Area
 300 Foot Notification



Parking Study – January 09, 2023

Fort Worth Zoning Requirements

Day care	1 space per facility plus 1 space per 10 children (as licensed by the state) in back of front building line
Office, professional building	2.5 spaces per 1,000 square feet of <u>gross</u> floor area
Commercial business, retail sales and service (except large retail see § 5.134(a)(10))	4 spaces per 1,000 square feet (25% reduction for conversion from a more restricted use)
Medical clinic, health services facility, assisted living facility	1 space per doctor plus 1 space per 4 employees plus 4 spaces per 1,000 square feet of gross floor area
College or university	1 space per 2 teachers and administrative staff plus 1 space per 4 additional employees plus 1 space per 3 students residing on campus plus 1 space per 5 students not residing on campus
Warehouse building	1 space per 4 employees 4 spaces minimum
Restaurant, cafeteria	1 space per 100 square feet (25% reduction for conversion from a more restricted use)
Retail store, large	1 space per 250 gross square feet

Phase 01 - Level 01

CTL/Economic Mobility Center: 19,460 gsf
Office = 49 parking spaces

Child Development Center: 120 children
Day Care = 13 parking spaces

Drop-in Daycare: 20 children
Daycare = 3 parking spaces

Retail: 2,751 gsf
Retail = 11 parking spaces

Coffee Shop: 1,128 sf
Restaurant = 12 parking spaces

Warehouse: 5 employees; 4,546 sf (965 retail storage, 364 receiving dock, 1,628 donation storage and the 1,589 facilities work area)
Warehouse = 4 parking spaces

Phase 01 - Level 02

CTL Offices: 27,349 sf

Office = 69 parking spaces

Clinical Counseling: 1 Director (employee), 7 counselors (doctor), 3,420 gsf

Health Services Facility = 22 spaces

Phase 01 total

183 parking spaces total

Future Trade School - Level 01

Trade school: 1 teacher, 1 administrative staff, 2 employees, 20 students not residing on campus; 5,838 sf

College or University = 6 parking spaces

Future Trade School - Level 02

Trade school: 6 teachers, 4 administrative staff, 0 employees, 120 students not residing on campus; 15,622 sf

College or University = 29 spaces

Future Trade School total

35 parking spaces

Main Building + Future Trade School total

218 parking spaces

Site Plan from 01/09/2023, 132 parking spaces

For Phase 01, -51 spaces (72% of required parking provided)

For Phase 01 & 02, -86 space (60.5% of required parking provided)

Transportation Studies Provided by CTL

Phase 01 - Level 01

CTL/Economic Mobility Center:

- Annually, 70% of patrons (about 400 per year) arrive by car and 30% (about 170) by other means (bus, uber). Typically, when these participants come on site, there would be a maximum of 10 for a class or clinic, and usually no more than 3 having a 1:1 session at any time.

Drop In Child Care/Child Development Center:

- Most participants are only present at the pick up and drop off hours.
- Many of the employees and teachers will ride share to and from the center.

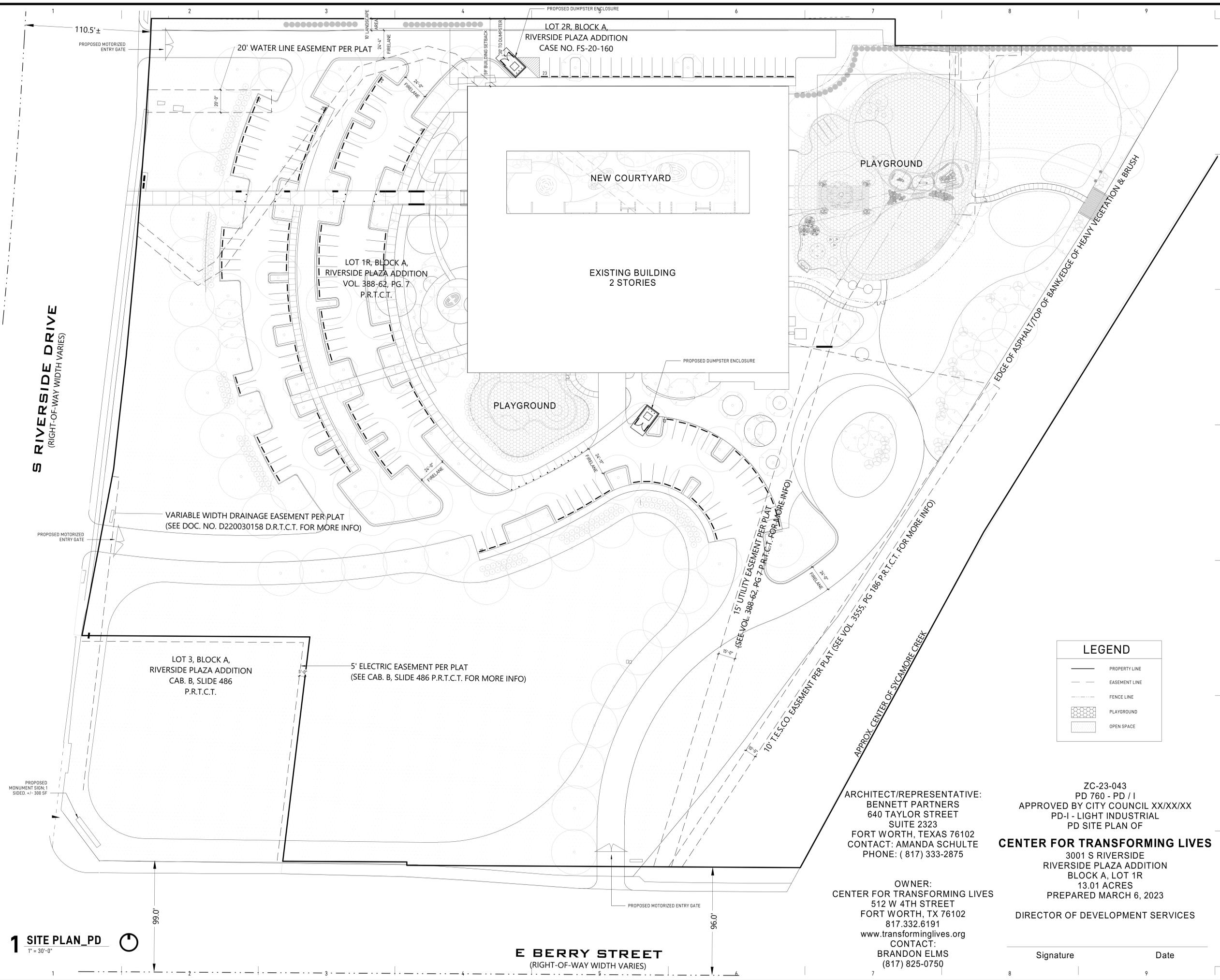
Phase 01 - Level 02

Housing Services/CTL Offices:

- Actively, serving 85 families, 15% of whom have vehicles and an 85% majority utilize the bus. Each month, 18-25 families will come into the office for their redetermination.

Clinical Counseling:

- 83 per month total participants are currently served – 50.5 % by bus or public transportation; 45% drive a car or are driven by family/friends and dropped off; 4.5 % utilize Lyft or Uber (recognizing that these participants are also currently engaged in other CTL services). Typically, there are no more than 4 sessions happening simultaneously with a maximum of 10 for a group session.



1 SITE PLAN_PD
1" = 30'-0"

LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE LINE
	PLAYGROUND
	OPEN SPACE

ARCHITECT/REPRESENTATIVE:
BENNETT PARTNERS
 640 TAYLOR STREET
 SUITE 2323
 FORT WORTH, TEXAS 76102
 CONTACT: AMANDA SCHULTE
 PHONE: (817) 333-2875

OWNER:
CENTER FOR TRANSFORMING LIVES
 512 W 4TH STREET
 FORT WORTH, TX 76102
 817.332.6191
 www.transforminglives.org
 CONTACT:
BRANDON ELMS
 (817) 825-0750

ZC-23-043
 PD 760 - PD / I
 APPROVED BY CITY COUNCIL XX/XX/XX
 PD-I - LIGHT INDUSTRIAL
 PD SITE PLAN OF
CENTER FOR TRANSFORMING LIVES
 3001 S RIVERSIDE
 RIVERSIDE PLAZA ADDITION
 BLOCK A, LOT 1R
 13.01 ACRES
 PREPARED MARCH 6, 2023
 DIRECTOR OF DEVELOPMENT SERVICES

Signature _____ Date _____



CIVIL
 EVOLVING TEXAS
 400 International Plaza, Suite 150
 Fort Worth, Texas 76109
 817.329.2700

LANDSCAPE
 STUDIO OUTSIDE
 824 Exposition Ave.
 Dallas, TX 75226
 214.954.7160

STRUCTURAL
 LAFUESS PARTNERS
 3333 Lee Parkway, Suite 300
 Fort Worth, Texas 76109
 817.333.4991

03/01/23
 Michael Bennett AIA, 12795
 These documents are incomplete
 and may not be used for regulatory
 approval, permit, or construction.



PD Site Plan
 Project No: 22135.00
 Issue Date: 03/01/23

Rev	Description	Date

640 Taylor Street, Suite 2323
 Fort Worth, Texas 76102
 817.333.4991 | www.bennettPartners

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**PLANNED DEVELOPMENT
 SITE PLAN**

SP-100

**WAIVERS REQUESTED FROM BASE "I" ZONING DISTRICT
ZC-19-114**

Zoning Change Request: PD-I TO PD-I FOR LIGHT INDUSTRIALS WITH WAIVERS

- | | |
|---|---|
| <p>1. 6.201(b)(1) Minimum Off Street Parking Requirements</p> <p>2. 6.300(b) Restrictions of the use of bufferyard and/or building setback areas</p> <p>3. 6.300(d) Screening requirements within a Bufferyard</p> <p>4. 6.300(l)(1) Exemptions and Exceptions</p> <p>5. 6.302(d)(1)(a)(1) Protective Fencing</p> | <p>Requested Variance: Decrease the required number of spaces to 145, as there is sufficient evidence to support the assertion that there is no need for the additional 38 spaces. Please see full parking study attached for reference.</p> <p>Requested Variance: Allow for dumpster, with aesthetic 8' screening enclosure, to be permitted within the building setback, 30' from property line. Allow for drive aisle and parking within the building setback, 10' from property line.</p> <p>Requested Variance: Allow for the exemption of the screening wall/fence, as there is no additional square footage being added to the primary structure.</p> <p>Requested Variance: Allow for the exception of the supplemental bufferyard requirements as there is no additional square footage being added to the primary structure. In fact, square footage will be removed in order to create a natural courtyard. Allow for a 10' landscape area between the drive aisle and property line, in lieu of a bufferyard.</p> <p>Requested Variance: Allow for a wood deck with minimal invasion to be placed over critical root zone and around tree in order to protect it.</p> |
|---|---|

NOTES

1. ALL DUMPSTERS AND GROUND LEVEL EQUIPMENT SHALL BE SCREENED FROM PUBLIC RIGHT OF WAY
2. ALL LIGHTING WILL CONFORM TO THE LIGHTING CODE
3. PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY
4. LANDSCAPE AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH CITY OF FORT WORTH CODE
5. EXISTING FIRE HYDRANTS ARE LOCATED IN THE VICINITY OF THE DEVELOPMENT IN ACCORDANCE WITH THE FIRE CODE
6. EXISTING BUILDING EXTERIOR CONSTRUCTION IS POURED IN PLACE CONCRETE
7. EXISTING BUILDING HEIGHTS COMPLY WITH CURRENT ZONING RESTRICTIONS
8. PLEASE REFERENCE EXISTING ELEVATION DRAWINGS TO ENSURE THE BUILDING IS COMPLIANT WITH FACADE DESIGN STANDARDS

SITE DATA

GROSS ACREAGE:	13.01 ACRES
EXISTING ZONING:	PD-I
EXISTING LAND USE:	INDUSTRIAL WAREHOUSE
PROPOSED ZONING:	PD-I
PROPOSED USE:	OFFICE, COUNSELING OFFICED, DAYCARE, RETAIL, COFFEE SHOP, TRADE SCHOOL
MAX HEIGHT ALLOWED:	55'-0"
MAX HEIGHT PROPOSED:	34'-0" EXISTING

BUILDING DATA

ENCLOSED SF, EXISTING:

BUILDING 01, EXISTING: 71,600 SF

PROJECT LOCATION MAP



ARCHITECT/REPRESENTATIVE:
 BENNETT PARTNERS
 640 TAYLOR STREET
 SUITE 2323
 FORT WORTH, TEXAS 76102
 CONTACT: AMANDA SCHULTE
 PHONE: (817) 333-2875

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 3001 S RIVERSIDE
 RIVERSIDE PLAZA ADDITION
 BLOCK A, LOT 1R
 13.01 ACRES
 PREPARED MARCH 6, 2023

DIRECTOR OF DEVELOPMENT SERVICES

Signature Date

PARKING STUDY

Fort Worth Zoning Requirements

Day care	1 space per facility plus 1 space per 10 children (as licensed by the state) in back of front building line
Office, professional building	2.5 spaces per 1,000 square feet of gross floor area
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 Office = 49 parking spaces

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Drop-in Daycare: 20 children
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**Phase 01 total
183 parking spaces total**

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Future Trade School - Level 02

Trade school: 6 teachers, 4 administrative staff, 0 employees, 120 students not residing on campus; 15,622 sf
 College or University = 29 spaces

**Future Trade School total
35 parking spaces**

**Main Building + Future Trade School total
218 parking spaces**

Site Plan from 01/12/2023, 145 parking spaces

For Phase 01, -38 spaces (79% of required parking provided)
For Phase 01 & 02, -73 space (66.5% of required parking provided)

Transportation Studies Provided by CTL

- Phase 01 - Level 01**
 CTL/Economic Mobility Center:
- Annually, 70% of patrons (about 400 per year) arrive by car and 30% (about 170) by other means (bus, uber). Typically, when these participants come on site, there would be a maximum of 10 for a class or clinic, and usually no more than 3 having a 1:1 session at any time.
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03/01/23
 Michael Bennett AIA, 12795
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 and may not be used for regulatory
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ARCHITECTURE
 INTERIORS
 PLANNING

640 Taylor Street, Suite 2323
 Fort Worth, Texas 76102
 817.335.4991 | www.bennettPartners.com

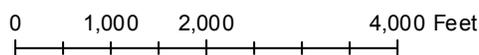
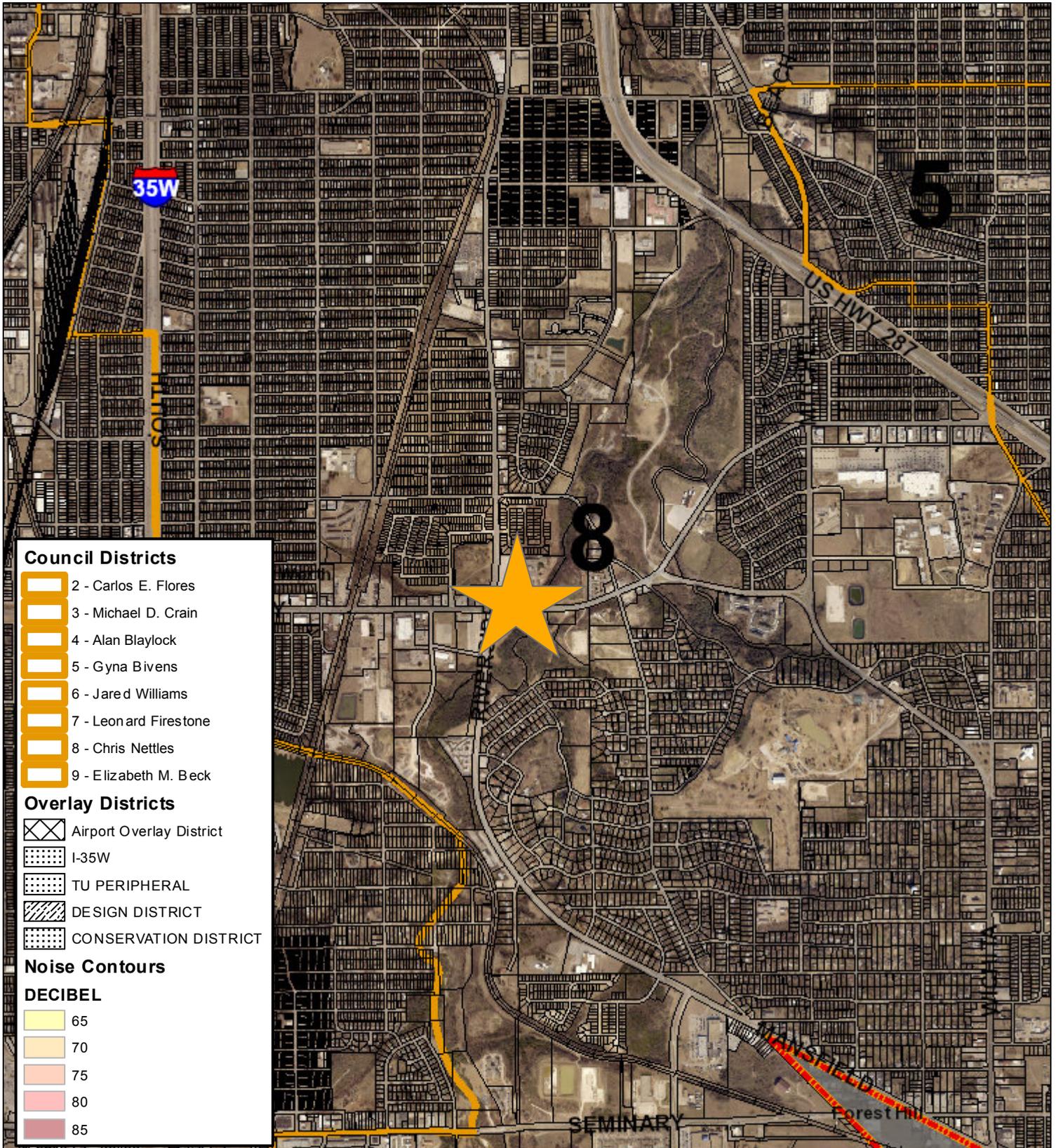
PD Site Plan

Project No: 22135.00
 Issue Date: 03/01/23
 Rev Description Date

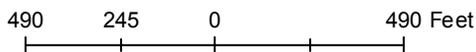
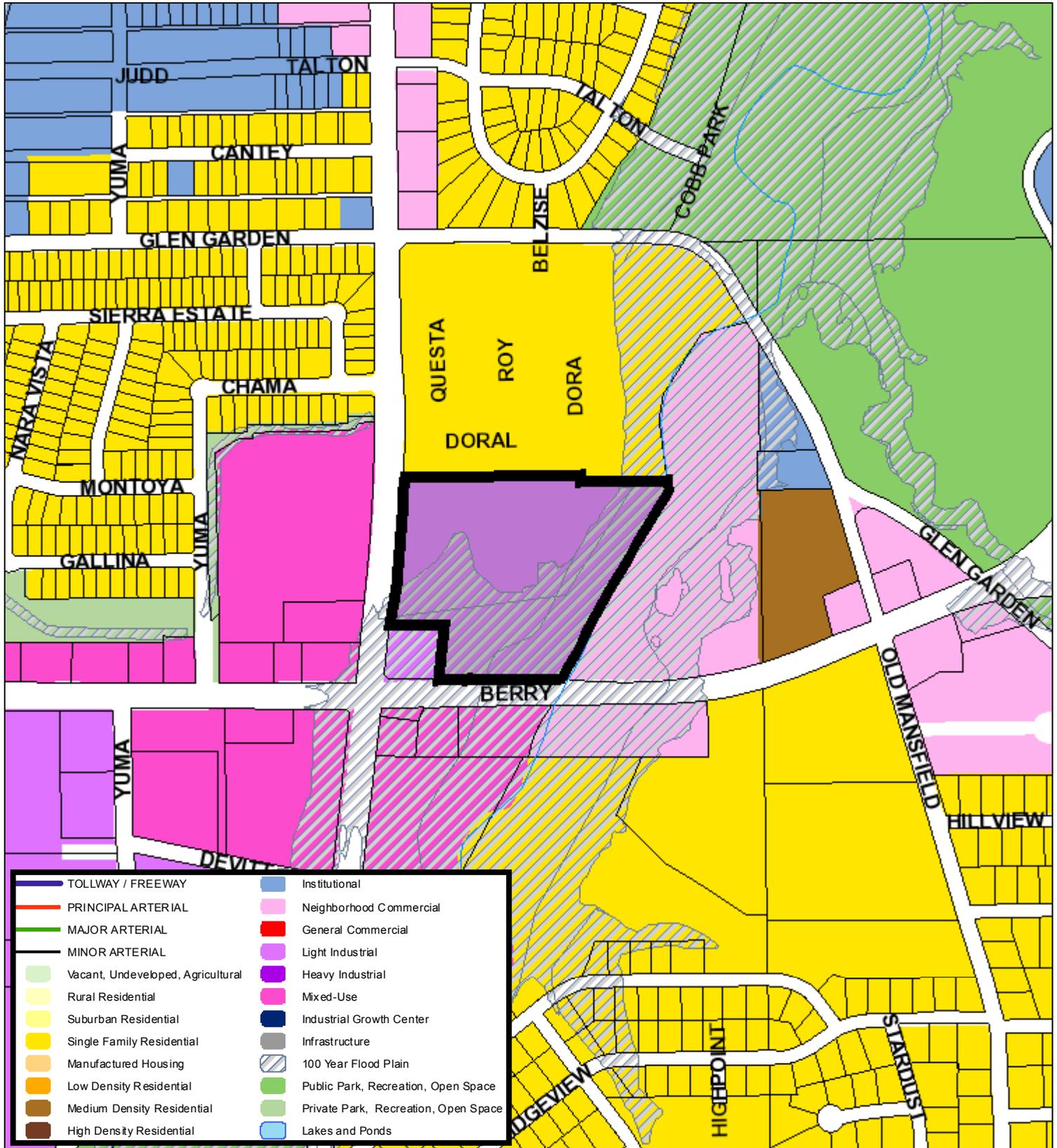
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**PLANNED DEVELOPMENT
 SITE PLAN**

SP-101

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 305 610 1,220 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-045

District (old/new): 5 /11

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Bowie Holland / Barry Hudson (Dunaway Associates)

Site Location: 5000 David Strickland Rd, 5025-5029 Vesta Farley Rd, 5412 Durothy Rd, 5000-5004 Mosson Rd
Acreage: 2.2 acres

Request

Proposed Use: Industrial

Request: From: “B” Two-Family Residential

To: “I” Light Industrial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Table of Contents

- [1. Project Description and Background](#)
- [2. Surrounding Zoning and Land Uses](#)
- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The proposed sites are located within the Sun Valley Industrial Complex in southeast sector of the City near the intersection of David Strickland and IH 820 East. The rezoning request would change the zoning from the current “B” Two-Family residential to “I” Light Industrial. The following description was provided in the application packet:

“Per the Fort Worth 2022 Comprehensive Plan, the subject properties are included in the "Industrial Growth Center" future land use designation -- specifically the Loop 820 East industrial growth center. (See the attached "Sun Valley - Future Land Use" exhibit.) Within this area, the Plan encourages policies that promote industrial development and generally discourage residential uses (see page 4-10 of Chapter 4 "Land Use" and page C-13 of Appendix C "Future Land Use by Sector").

With the proposed "I" Light Industrial zoning, these properties could develop or redevelop in line the Comprehensive Plan in the future. The City's desired type of development is restricted by the existing "B" Two-Family zoning. The zoning change would also help eliminate zoning inconsistencies within the Sun Valley Industrial Park / Public Improvement District No. 15, where around 95% of acreage within private property is zoned either as "I" Light Industrial or as an industrial-based Planned Development.

Due to the proposed light industrial zoning, the size of the platted lots, and the existing character of the area, the proposed zoning change should not lead to any nuisances or negative impacts to the surrounding properties. The "I" Light Industrial district allows only a limited range of low-intensity industrial uses that are not noxious or offensive due to odors, smoke, dust, noise, fumes, or vibrations (see Fort Worth Zoning Regulations § 4.1000). The average size of the subject lots is less than half an acre, which limits the magnitude of new development and its impacts. Lastly, the new light industrial development that would be permitted under the proposed zoning would fit in well with the existing predominate character of the Sun Valley area.”

Surrounding Zoning and Land Uses

North “I” Light Industrial; “J” Medium Industrial; “B” Two-Family / industrial
East “I” Light Industrial / industrial
South “I” Light Industrial; “MH” Manufactured Housing/ industrial, manufactured housing
West “I” Light Industrial; “MH” Manufactured Housing/ industrial, manufactured housing

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
Southeast Fort Worth Inc.	Southeast Fort Worth Inc*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing a rezoning of several single-lot “B” Two-Family zoned property to “I” Light Industrial. The areas surrounding the proposed sites are mostly developed as industrial with manufactured housing near the westernmost property. Removing the remaining B zoned property is appropriate in this industrial area.

The proposed “I” Light Industrial zoning **is compatible** in this location.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as future Industrial Growth Center. Appropriate zoning classifications for this location would be the “I”, “J”, or “K” Industrial zoning.

The proposed rezoning to “I” **is consistent** with the Comprehensive Plan.

Economic Development Plan

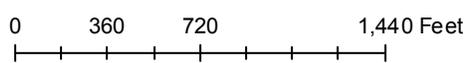
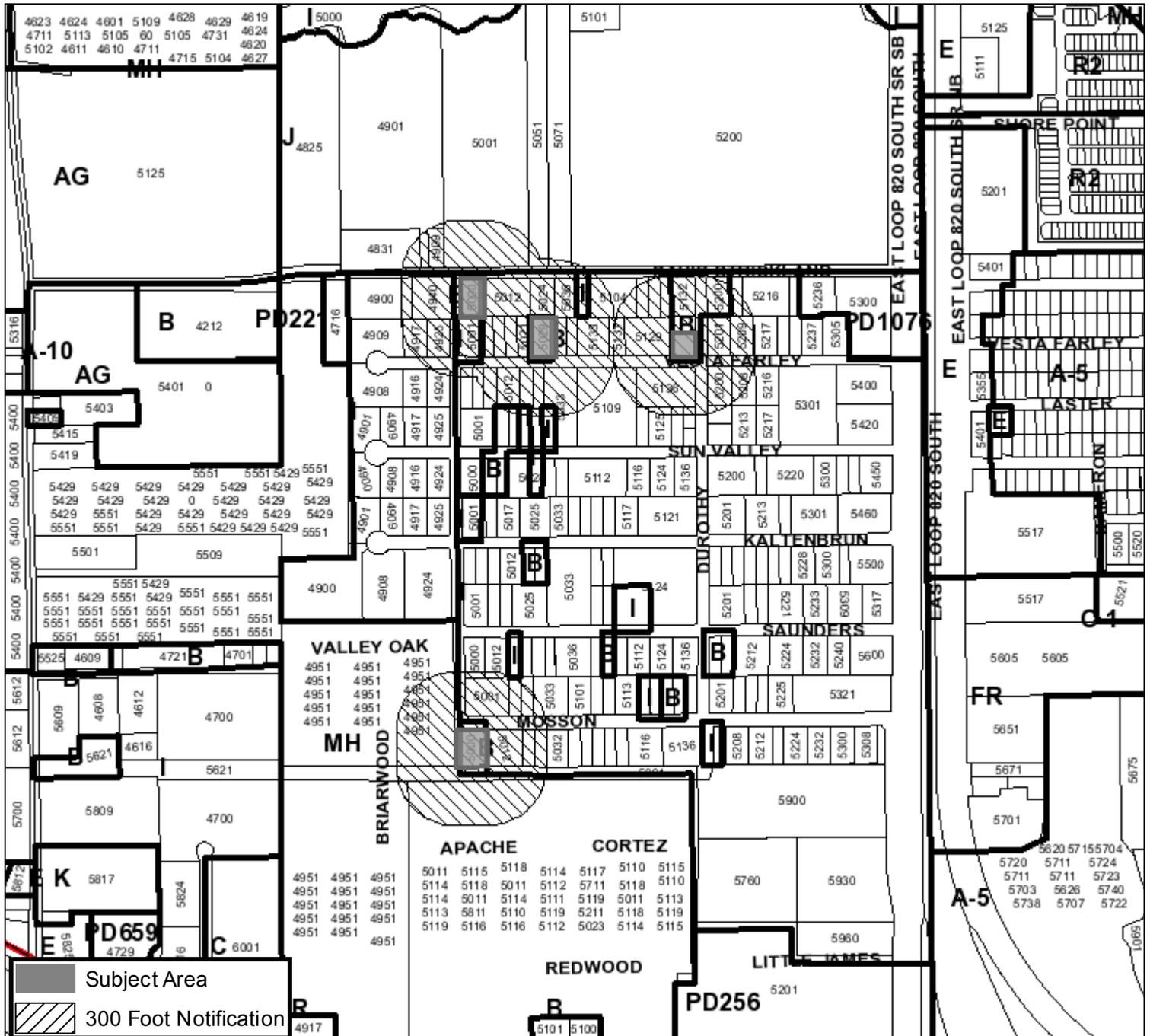
The adopted Economic Development Strategic Plan Update identified four different results to facilitate the success and growth of Fort Worth:

1. High-wage job growth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
4. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

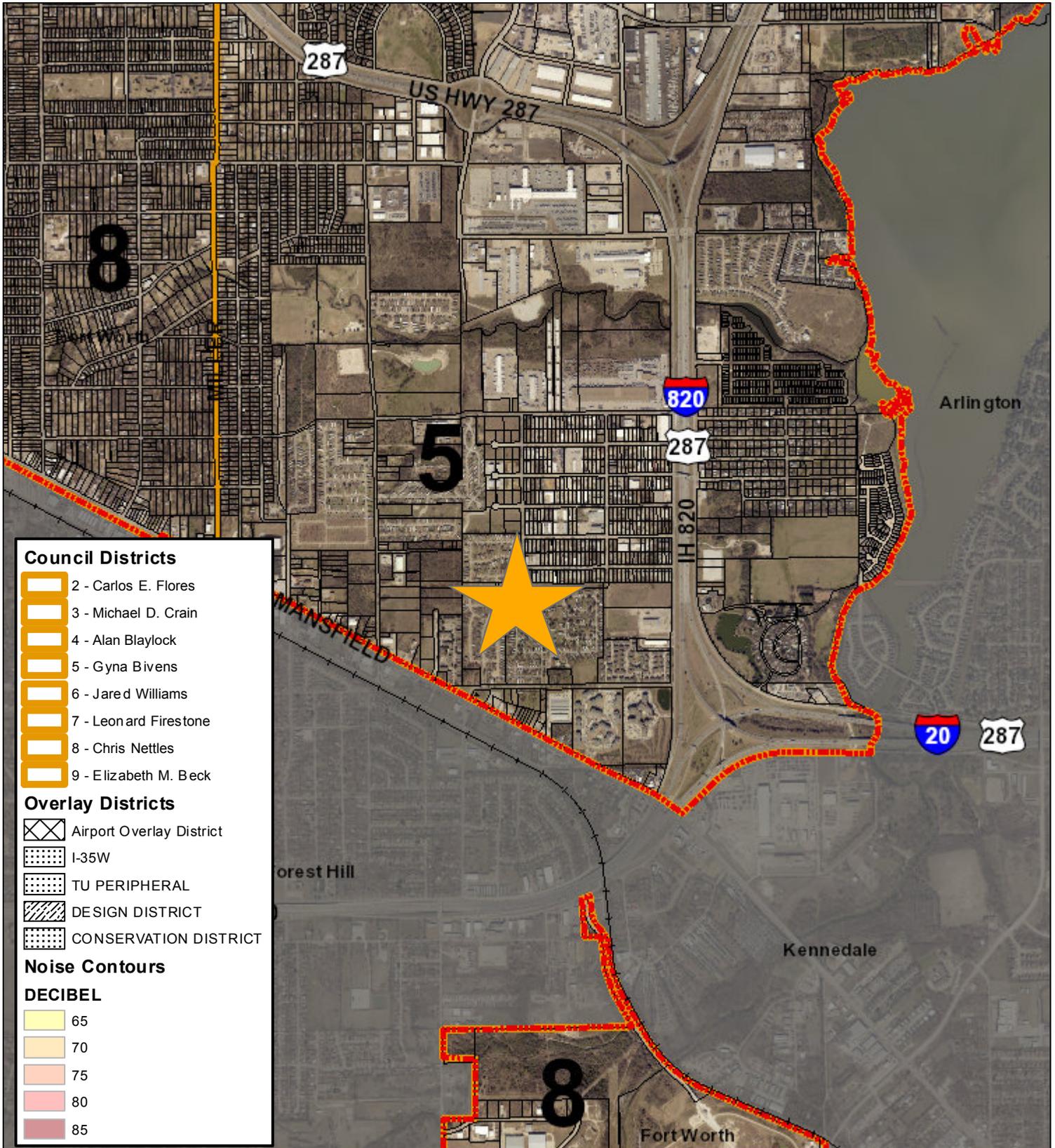
This zoning request will assist in high-wage job growth but does not contribute to the quality of place.

Area Zoning Map

Applicant: Barry Hudson
 Address: 5000 David Strickland Road; 5025-5029 Vesta Farley Road; 5412 Durothy Road; 5000-5001
 Zoning From: B
 Zoning To: I
 Acres: 2.19883422
 Mapsco: Text
 Sector/District: Southeast
 Commission Date: 4/12/2023
 Contact: 817-392-8028



Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Alan Blaylock
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

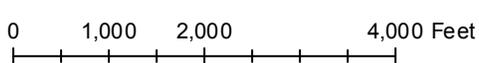
Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

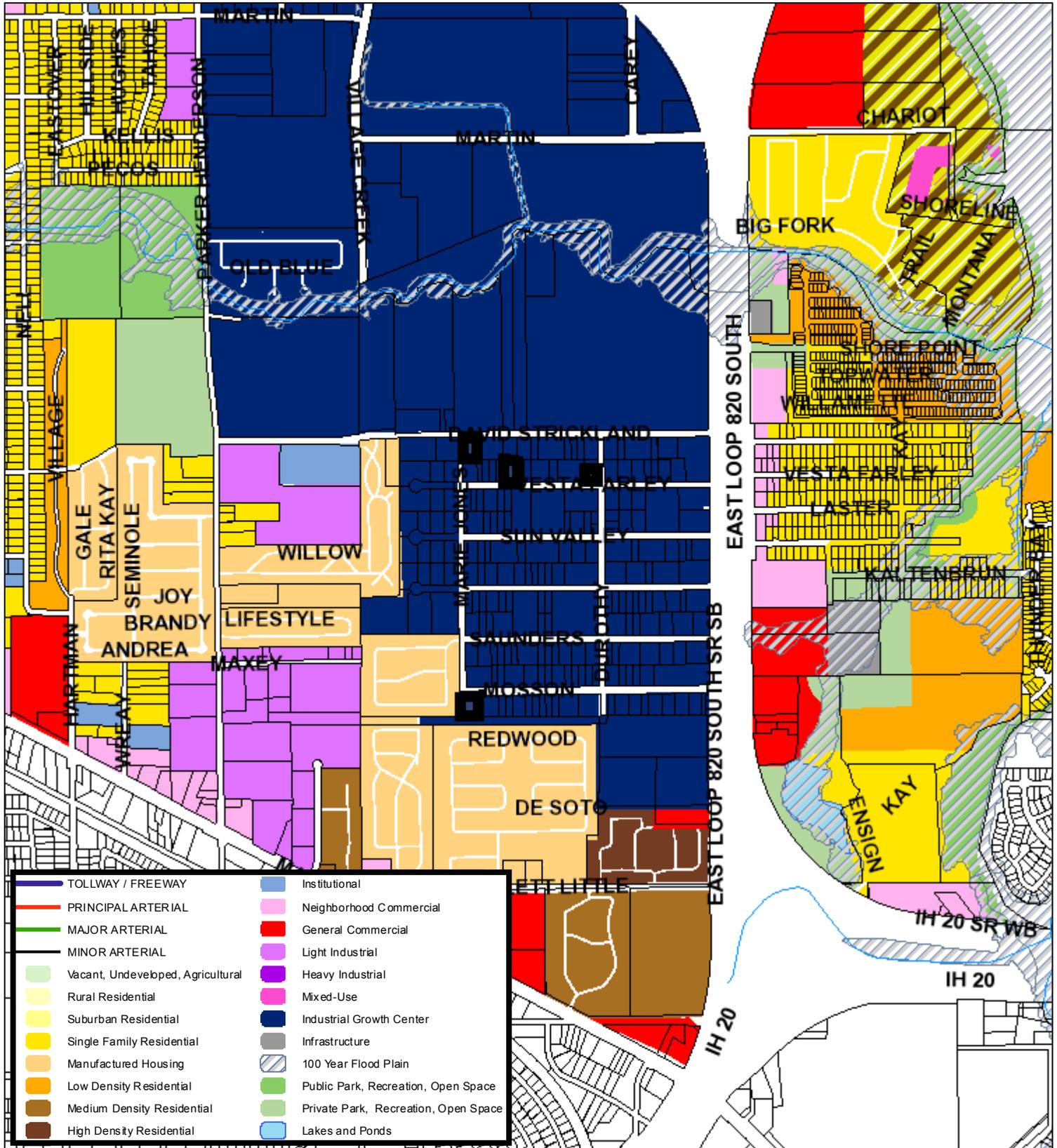
Noise Contours

DECIBEL

-  65
-  70
-  75
-  80
-  85



Future Land Use

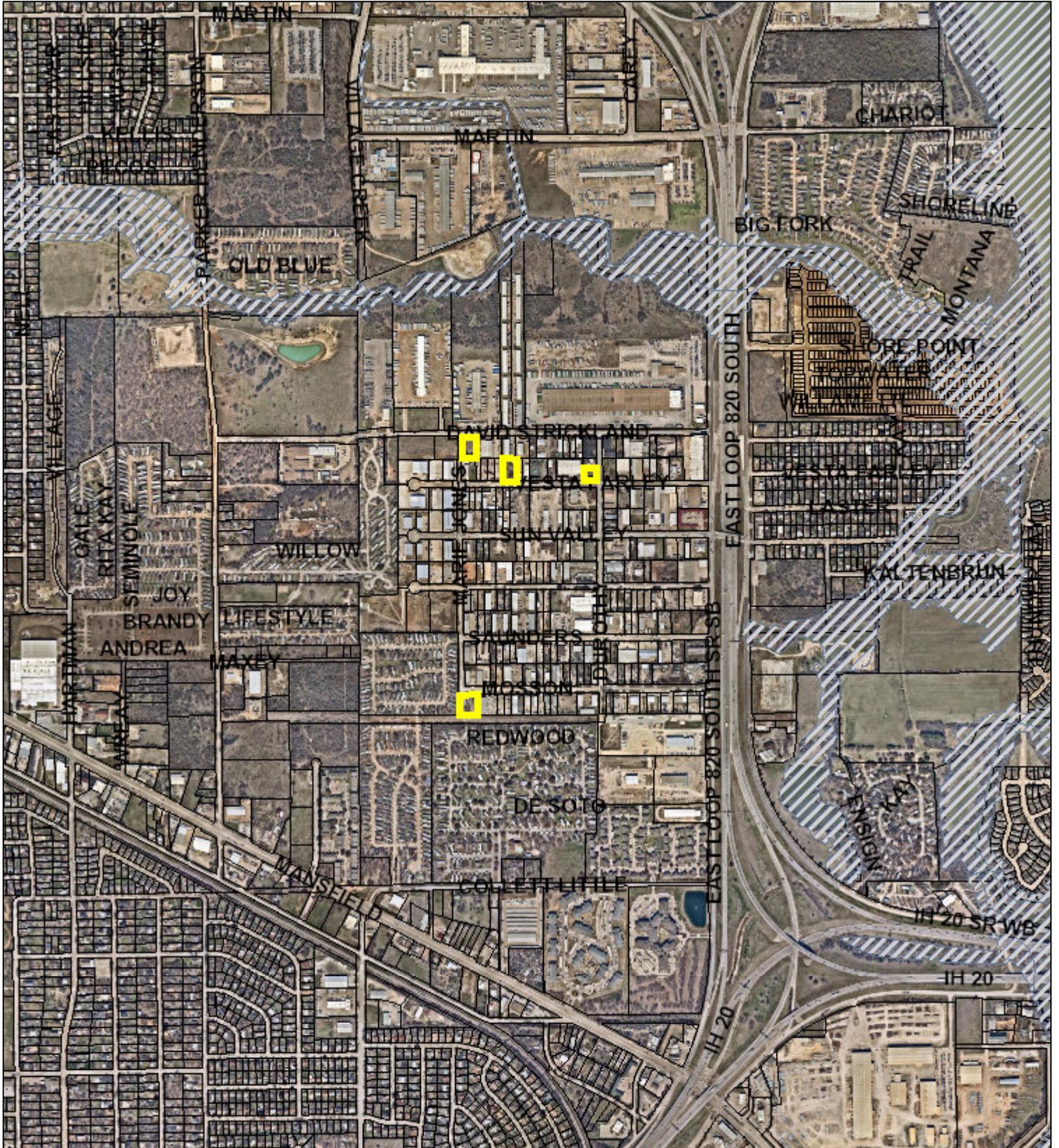


1,100 550 0 1,100 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 750 1,500 3,000 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-047

District (old/new): 9 / 9

Zoning Map Amendment

Case Manager: [Francisco Vega](#)

Owner / Applicant: Fort Worth Area Habitat for Humanity, Inc / Trinity Habitat for Humanity.

Site Location: 1716-1720 Galveston Avenue; 1703-1719 Galveston Avenue; 1720-1724 Main Street

Acreage: 0.918 acres

Request

Proposed Use: Single Family Townhomes

Request: From: “E” Neighborhood Commercial, “ER” Neighborhood Commercial Restricted, “B” Two Family Residential, and “F” General Commercial.

To: “UR” Urban Residential

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject properties area is 0.918-acres. The properties 1716-1720, currently undeveloped, front Galveston Avenue on the east, are adjacent to vacant and undeveloped property to the north and west, and are adjacent to a single-family home on the south. The properties 1703-1719, with a portion of the property used as a ground parking and another portion undeveloped, front Galveston Avenue on the west, are adjacent to a restaurant on the north, are adjacent to neighborhood commercial businesses and an alley on the east, and are adjacent to a single-family home on the south.

The properties 1720-1724, currently undeveloped, front S Main Street on the east, are adjacent to neighborhood commercial businesses on the north, are adjacent to a single-family home on the west, and front W Jefferson Avenue on the south.

The primary purpose of the rezoning is to construct single-family townhomes that will be sold to a homeowner as a primary residence. Staff is supportive of the conceptual site plan for the project. If the site is rezoned to “UR” Urban Residential, the project is consistent with the design requirements of the “UR” Urban Residential Ordinance. These townhomes are a two-story project, with the living area on the first story and bedrooms on the second story, each unit includes a garage accessible from the back of the property. The exterior of the townhomes uses various materials such as brick, cement siding, masonry veneer and corrugated metal siding, and the design is compatible with the form, and design of the existing neighborhood.

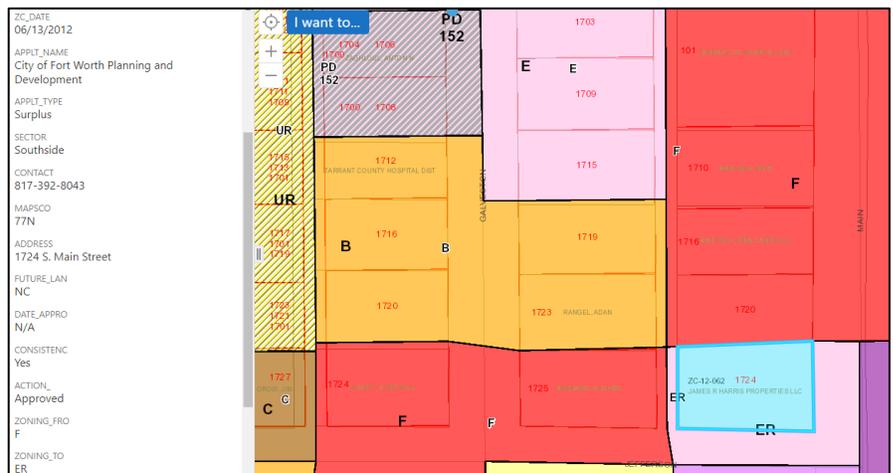
It is important to mention that the conceptual plan is missing some information regarding setbacks, enhanced landscaping and pedestrian lighting, therefore, any items that are not in compliance must seek a waiver from the Urban Design Commission (UDC). Certain items, such as height, setback, bulk, or number of parking spaces provided, must also obtain a variance from the Board of Adjustment (BOA). If the site is rezoned to “UR” Urban Residential, the applicant is encouraged to work with staff if there are any difficulties in designing the project.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial / Convenience Store
East “F” General Commercial / Retail
South “A-5” One-Family / Residential
West “UR” Urban Residential / Undeveloped property

Recent Zoning History

- ZC-12-062; from “F” General Commercial to “ER” Neighborhood Commercial Restricted.



Public Notification

300-foot Legal Notifications were mailed on March 29, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
United Communities Association of South Fort Worth	Southeast Fort Worth Inc.
Streams and Valleys Inc.*	Fort Worth ISD
Hemphill Corridor Task Force	Near Southside, Inc.*
Trinity Habitat for Humanity	

* Located within this registered Neighborhood Association.

Development Impact Analysis

Land Use Compatibility

The site is surrounded by a mixture of commercial and residential uses. The commercial uses include retail, fast food, and convenience stores with gas services. Industrial uses are located a few blocks to the south.

The proposed zoning is **compatible** with surrounding land uses.

The proposed “UR” Urban Residential district can serve as a residential buffer between the existing detached residential homes located to the Southwest and the more intense Near Southside area located at the North.

Comprehensive Plan Consistency – Southside

The 2022 Comprehensive Plan currently designates the subject property as Urban Residential on the Future Land Use Map.

The proposed zoning is consistent with the land use designations for this area, and aligns with the following policies of the Comprehensive Plan:

- Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
- Encourage Urban Residential and Low Density Residential as transitional uses between Single-Family Residential and high density uses.
- Promote traditional neighborhood and other pedestrian-oriented developments, which encourage human interaction, walking, bicycling, mixed uses, slower traffic, public places, and attractive streetscapes.

- Support diverse housing options, including duplexes, fourplexes, townhomes, and small courtyard apartments to promote walkable communities, access to neighborhood services, and multimodal transportation options, while ensuring compatibility with the form, sale, and design of existing neighborhoods.
- Encourage infill of compatible housing.
- Encourage office and high-density residential uses which will support area commercial uses.
- Use the Neighborhood Empowerment Zone program to promote the development of designated urban villages and other targeted redevelopment areas.

Based on conformance with the policies and strategies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

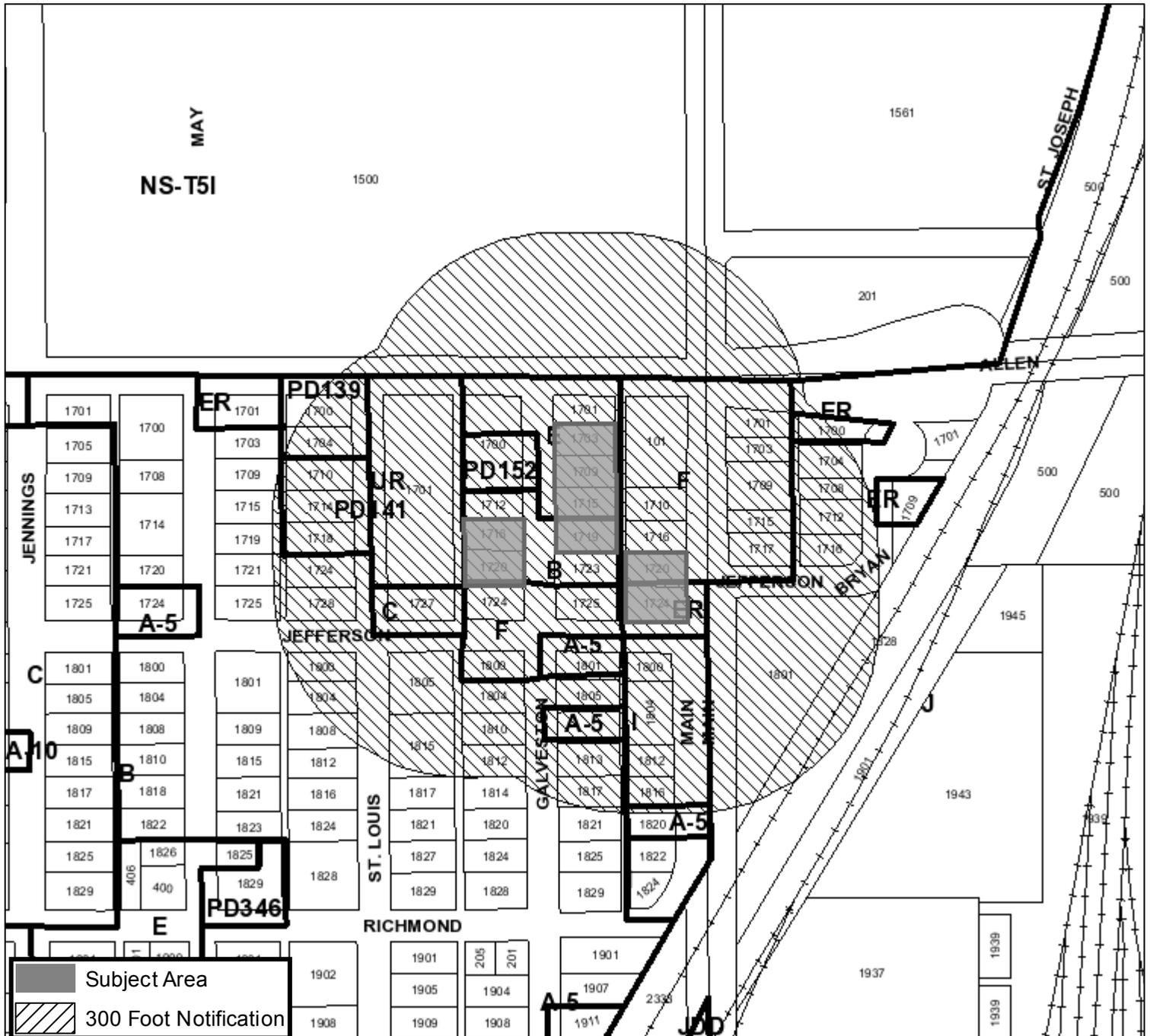
Economic Development Plan

The 2017 Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:

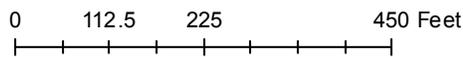
- High-wage job growth.
- An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
- A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

Area Zoning Map

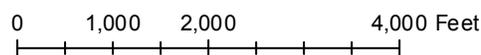
Applicant: Trinity Habitat for Humanity
 Address: 1716-1720 (evens) Galveston Avenue; 1703-1719 (odds) Galveston Avenue ;1720-1724 (e
 Zoning From: B, E, ER & F
 Zoning To: UR
 Acres: 0.90839132
 Mapsco: Text
 Sector/District: Southside
 Commission Date: 4/12/2023
 Contact: 817-392-8028



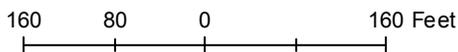
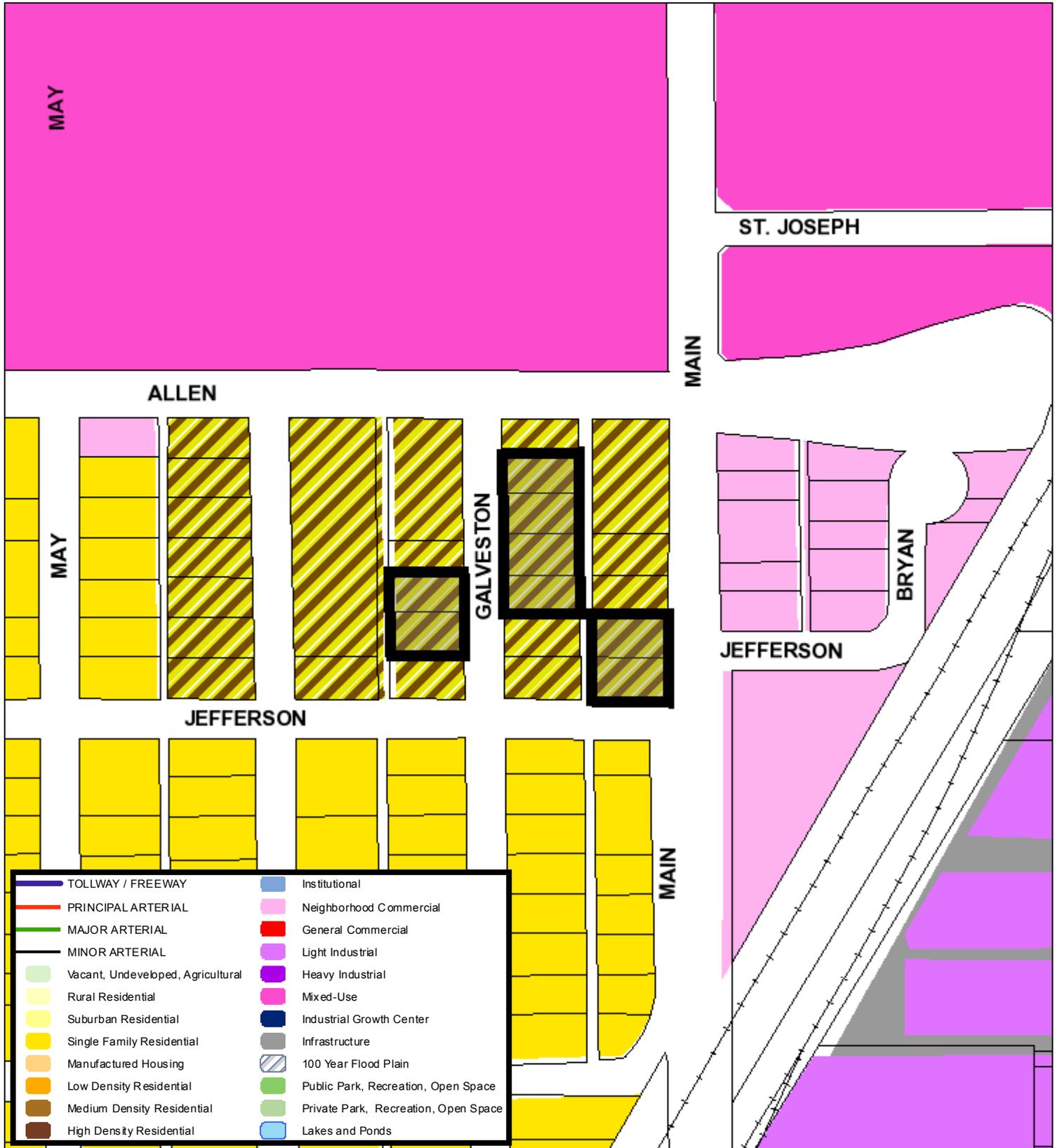
 Subject Area
 300 Foot Notification



Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 105 210 420 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-052

District (old/new): 8/8

Zoning Map Amendment & Site Plan

Case Manager: [Shad Rhoten](#)

Owner / Applicant: NewCold Fort Worth, LLC

Site Location: 6433 Campus Drive

Acres: 76.55

Request

Proposed Use: Warehouse

Request: From: "J" Medium Industrial

To: "PD/J" Planned Development with a base of "J" Medium Industrial, excluding uses (see docket packet) with development standards for building height increase; site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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Project Description and Background

The subject property is located at 6433 Campus Drive, Neighborhood Empowerment Zone (NEZ) Area Six. The applicant requests to rezone to “PD/J” excluding uses (see docket packet) with development standards for increased building height from 120 feet to 150 feet. The proposed use of the property is an automated warehouse for the storage of frozen foods and processed and packaged foods. The application narrative is provided below for reference:

NewCold Advanced Cold Logistics is proposing to develop a highly-automated highbay warehouse facility that will receive, store, and distribute ambient and frozen goods via truck and rail transport to/from the facility. The facility will be located in the Industrial Park off of E Altemesa Blvd. near Campus Drive in Fort Worth.

Goods will be delivered directly to the NewCold facility from the manufacturer via truck and/or rail. Expected goods vary from fresh (frozen) foods to processed & packaged foods. The facility will operate 24 hours a day, 7 days a week with shift employees present at all times.

NewCold's automated warehouse solutions utilize automatic storage and retrieval systems (ASRS) to put away and retrieve products from a racking structure. The highbay allows for the storage of many pallets within a limited building footprint. For this solution to be viable, a height of up to 150 feet must be utilized. The requested variance will allow up to a 150-foot tall roof height of the highbay structure.

The property is currently being used for gas well/fracking activities. These uses are anticipated to remain and operate in conjunction with the proposed warehouse. The property is also situated in the Spinks Airport Height Review Overlay. The Spinks Airport Operations Manager will have an opportunity to review and comment on the proposal pertaining to use and height restrictions (if applicable) to the runway protection zones (RPZ). No comments have been provided at the time of drafting this report; however, staff will update the Zoning Commission during the scheduled meeting if comments are received. Approval of the rezoning request does not supersede applicable height standards per the Airport Overlay, nor can they be waived by the Planned Development district.

As a component of PD establishment, the application seeks to exclude the following uses from the base “J” zoning district:

1. Galvanizing, sheet or structural shapes
2. Glue manufacture
3. Metal foundry plant or fabrication plant
4. Metal stamping, dying, shearing or punching

As noted above, the applicant is also requesting a development standard waiver to increase the maximum building height in the “J” district from 120 feet to 150 feet. Staff **supports this request** pending review and comment by Spinks Airport Operations.

Surrounding Zoning and Land Uses

North “J” Medium Industrial / warehouse and undeveloped
East “J” Medium Industrial / undeveloped
South “J” Medium Industrial / warehouse and various industrial uses
West “J” Medium Industrial / warehouse and distribution

Recent Zoning History

- ZC-18-161: The northern half of the property was rezoned from “A-5” One Family district to ‘J’ Medium Industrial district in 2019 by Ordinance 23529-01-2019.

Public Notification

300-foot Legal Notifications were mailed on March 30, 2023.
The following organizations were emailed on March 30, 2023:

Organizations Notified	
Highland Hills NA	Fort Worth ISD
Streams And Valleys Inc*	Everman ISD
Trinity Habitat for Humanity*	

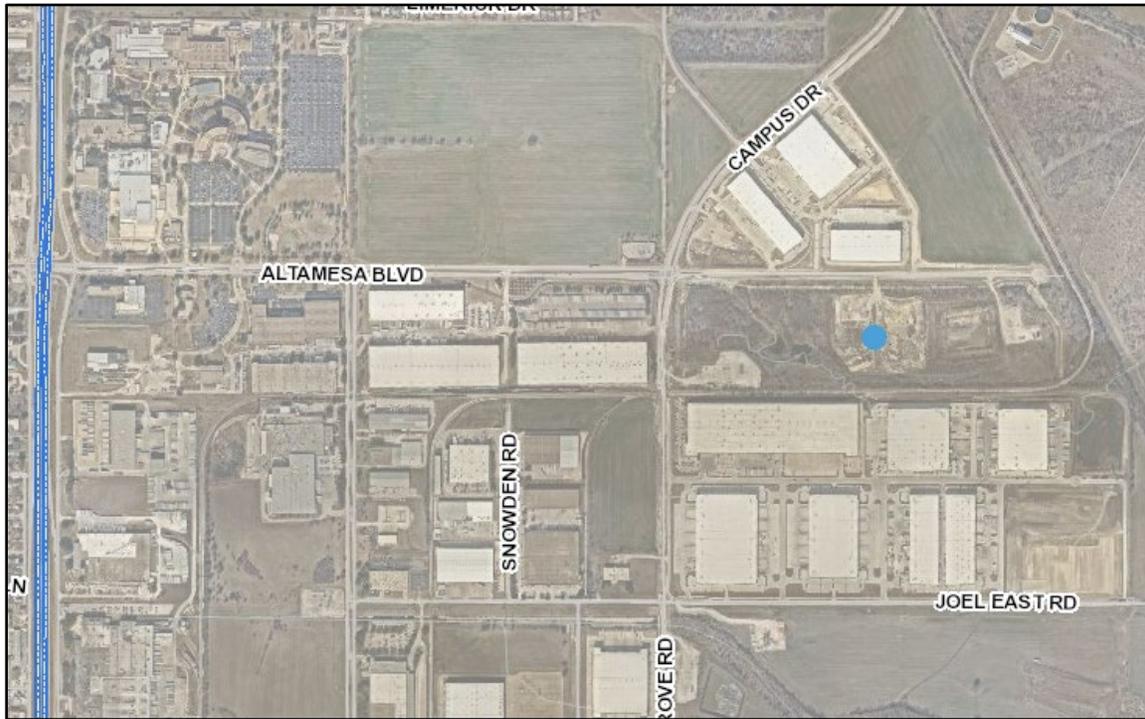
**Located within this registered Neighborhood Redevelopment Organizations*

Development Impact Analysis

Land Use Compatibility

Adjoining properties in all directions are currently zoned “J” Medium Industrial with active industrial uses on a majority of these properties. The adjacent street network consists of Altamesa Blvd, Campus Drive and Oakgrove, which are principle arterials. This network provides access to I-35W to the west within a mile from the site. The property is also proximate to rail to the east. These factors support the intended industrial use of the site. Therefore, the proposed zoning is **compatible** with surrounding land uses.

Figure 1- Aerial View



Comprehensive Plan Consistency – Sycamore

The 2022 Comprehensive Plan designates the subject property as a future Industrial Growth Center. Industrial Growth Centers provide for a mix of industrial and commercial uses that serve a large region. Appropriate zoning classifications for this area include all commercial and industrial zoning districts. The proposed rezoning also conforms to the following land use policies of the Comprehensive Plan:

- Promote industrial development within the Carter Industrial Park Industrial Growth Center.
- Link growth centers with major thoroughfares, public transportation, trails, and linear parks.
- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city.
- Encourage new development adjacent and connected to previously developed or platted areas in order to utilize existing utility and road infrastructure and services, thereby optimizing public and private investments and discouraging sprawl development.
- Locate large industrial uses along freight rail lines, highways, or airports within industrial growth centers and other appropriate locations.

The proposed zoning of “PD/J” is **consistent** with the Comprehensive Plan based on the policies cited above and conformance with the Future land Use map.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.

Site Plan Comments

Fire

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov or fireplanning@fortworthtexas.gov)

Buildings fall outside of setbacks for Habitable Uses and Zoning J.

Section 5706

Additional hydrants are required to meet building/hydrant hose lay and FDC/hose lay.

Maximum 600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line, and

Maximum 500 ft. hose lay distance to all points of building.

Maximum distance from Fire Department Connection (FDC); if sprinkler systems or standpipes provided:

150 ft. for a standpipe system, and/or a sprinkler system.

Sections 507.5.1, 507.5.4, 5, and 6 Fire Hydrants

Storage units are considered High Piled if ceilings are 14' or more (per floor.) Building hose lay is limited to 150' regardless of the presence of fire sprinkler systems.

Chapter 32

Section 503.1.1 Buildings and Facilities

Firefighter Air Replenishment Systems (FARS) are now required for any new building construction with 5 or more floors, 2 or more floors below grade, or 500,000 square feet or more.

Appendix L

Emergency Responder Radio Coverage Systems (ERCCS) may be required per Section 510. Signal strength testing required for any new building construction having 3 or more floors or anything over 50,000 square feet, or any basements, or any facility having Low-E or RF blocking windows.

Section 510

The following will only apply if there are multiple floors. If the space is open, this requirement will not apply.

A building where the topmost occupied floor level is more than 55' in height above the lowest level of fire department vehicle access shall be accessible by a public street or fire apparatus access road that is not less than 15' nor more than 25' from the inside curb to the building face along at least 1/2 of the length of 2 sides of the building. The measurement does not need to be contiguous.

Such buildings shall also be provided with 2 separate and approved fire apparatus access roads.

Section 503.1.4 Buildings Taller Than 55'

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times. The comments listed here directed at access, water supply, and hose lay. Other requirements including but not limited to fire protection systems will be reviewed on building permits.

*The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments #25388-03-2022.
<https://www.fortworthtexas.gov/departments/fire/services/bureau>*

Water Engineering Review

this lot Block A Lot 3 has access to water and sewer.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



Potential Fort Worth Collaboration

Fort Worth, Texas



Key Characteristics

- ASRS high-bay, stacker cranes
- Large scale automated case picking
- Automated drop yard operation and rail dock
- Targeting **50** acre site, **150,000+** pallet positions in initial plan, with expansion opportunities to **double** footprint (**4** discrete building phases possible)
- **Launching customer:**
Undisclosed
- Start operation: Undisclosed

Project Economics Highlights



Key Characteristics per Phase (x4)

- 250,000+ sq ft
- ~100 employees over the first 3 years of operations, 50% salaried vs hourly (estimated)
- All employees will be paid above the Fort Worth area average
- Several tiers of employees will be paid up to 160% of area average
- \$200,000,000+ tangible investment budget
- *All statistics are per project phase (4 possible on site)*

Fort Worth, Texas

Site plan Written Description of the Intended Use

- a. Existing zoning is J (light industrial) within the development park and is to only be partially developed at the time of this submission.
- b. Current land use is leased for fracking operations for natural gas. Two (2) parcels on the property are currently leased, and will remain leased for those operations. Reference attached site development plan for intended developable area.
- c. Proposed land use is to remain as J.
- d. This development projects 0 residents, an estimated 125 full time and part time employees, and does not have any daily customers. Trucks arrive and leave daily. (60 estimated maximum employees per shift).
- e. Preliminary planning indicates; Dwelling units: 0, floor area: 775,000SF, Impervious (paved) surface area: 500,000SF, Landscape area: 200,000sf
- f. Hours of operation are 24/7. Normal/peak water usage is estimated around 60gmp, waste is expected to be significantly lower due to evaporative cooling. Traffic study forthcoming.
- g. The facility has a planned possible future expansion, if the need arises after 5+ years. The expansion will be a highbay warehouse and dispatch of similar sizing to the current plan located directly adjacent, and attached to, the planned facility. The truck parking and employee parking will also be extended. Please see attached drawings for illustration.
- h. Any other important info for understanding.



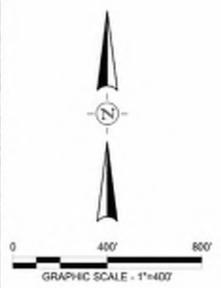
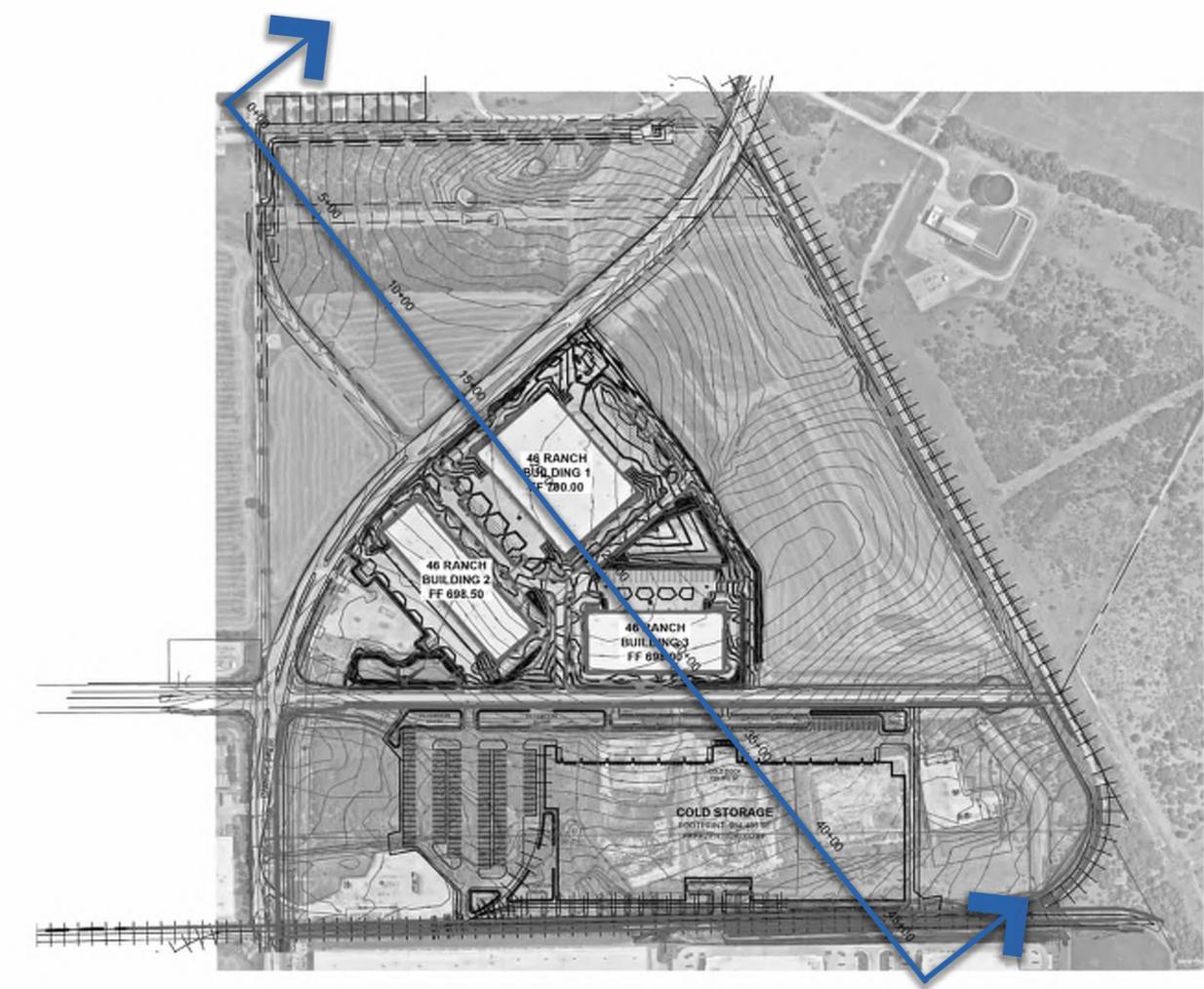
section as built



section as potentially built



STREET 46 RANCH BUILDING 1 46 RANCH BUILDING 3 NEW COLD BUILDING



6433 CAMPUS DR

I want to...

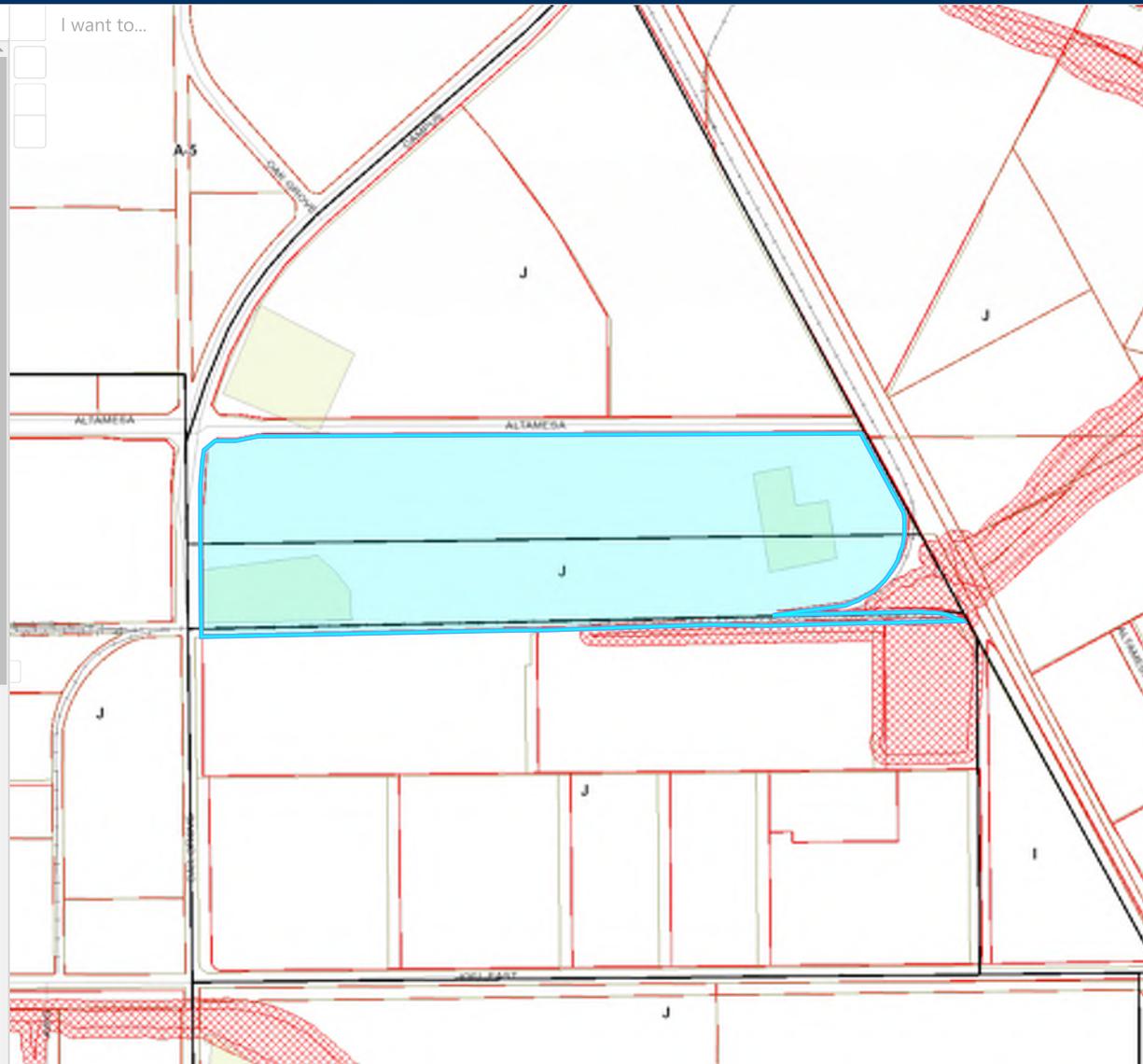
Tools

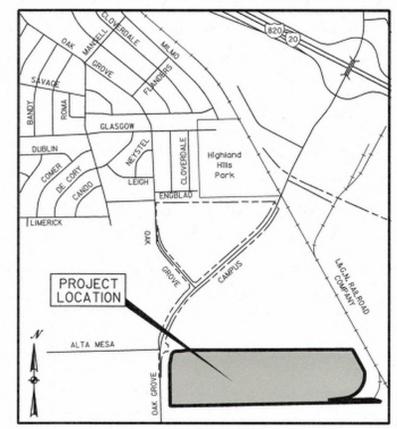
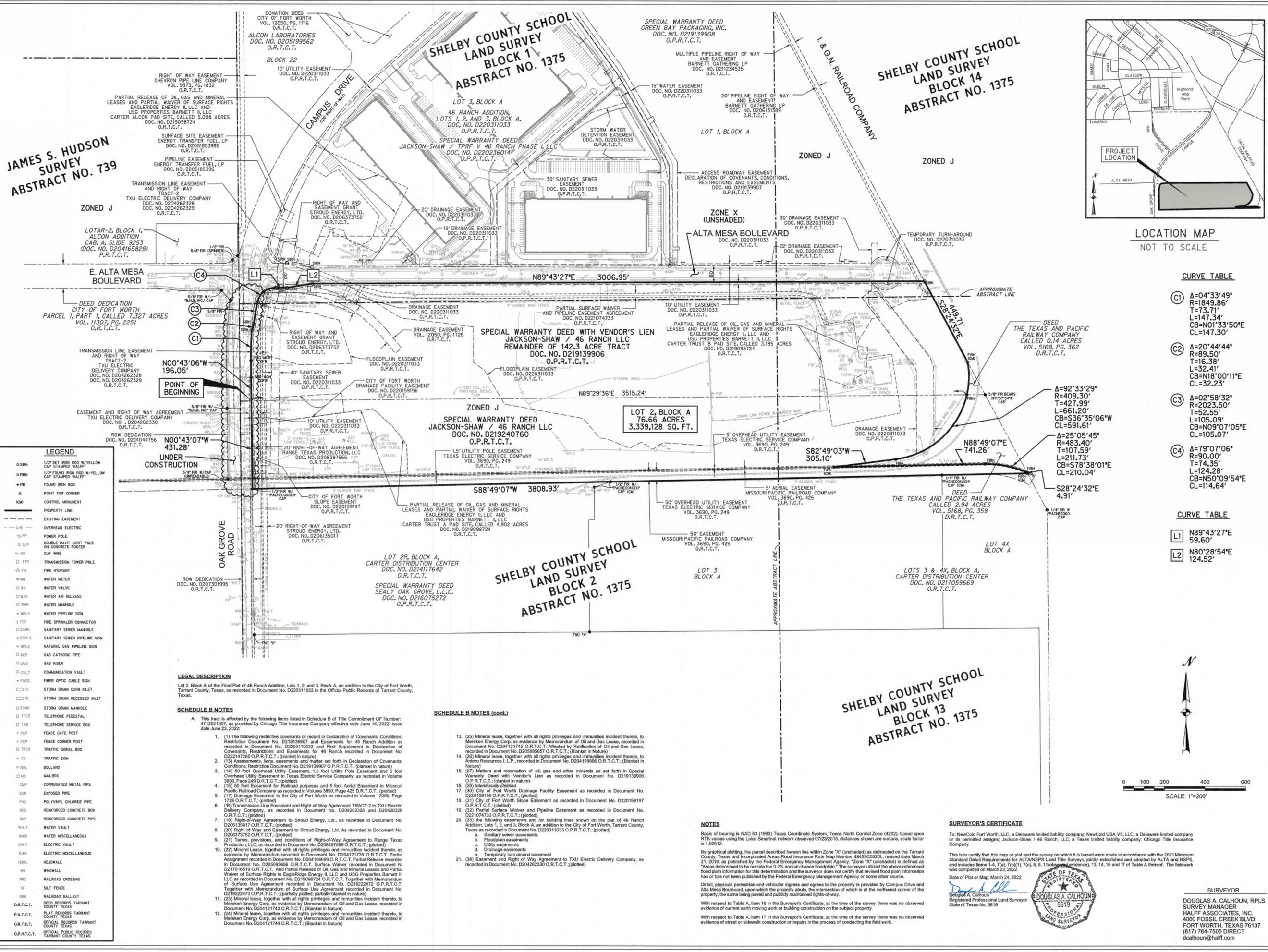
Description

Legal Description: 46 RANCH ADDITION Block A Lot 2
Owner Name: JACKSON-SHAW / 46 RANCH LLC
Account: 42713194

Details

ACCOUNT
42713194
PIDN
14425H---A----2
PIDN_TAG
2
GIS_LINK
14425H-A-2
COUNTY
220
CITY
26
SCHOOL_CODE
905
MAPSCO
091Z
TADMAT
2060-356
TAX_YEAR
2021
SITUS_ADDR
6433 CAMPUS DR
PARCEL_LEGAL_DESCRIPTION
46 RANCH ADDITION Block A Lot 2
YR_BUILT
0
LIVING_AREA
0
GARAGE_CAP
0
BEDROOM_CNT
0
BATHROOM_CNT
0
SWIMMING_POOL
CENTRAL_HEAT
N
CENTRAL_AIR
N
STRUCT_CNT
0
LAND_ACRE
76.65
LAND_SQFT
3338840





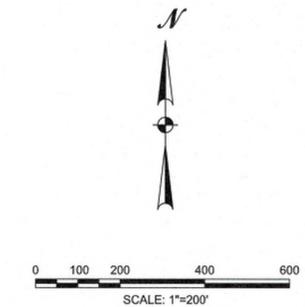
LOCATION MAP
NOT TO SCALE

CURVE TABLE

- (C1) Δ=04°33'49"
R=1849.86'
T=73.71'
L=147.34'
CB=N01°33'50"E
CL=147.30'
- (C2) Δ=20°44'44"
R=89.50'
T=16.38'
L=32.41'
CB=N18°00'11"E
CL=32.23'
- (C3) Δ=02°58'32"
R=203.50'
T=52.55'
L=105.09'
CB=N09°07'05"E
CL=105.07'
- (C4) Δ=79°07'06"
R=90.00'
T=74.35'
L=124.28'
CB=N50°09'54"E
CL=114.64'

CURVE TABLE

- L1 N89°43'27"E
59.60'
- L2 N80°28'54"E
124.52'



LEGEND

- SRPI 1/2" SET IRON ROD W/YELLOW CAP STAMPED "HALFF"
- FRHI 1/2" FOUND IRON ROD W/YELLOW CAP STAMPED "HALFF"
- FR FOUND IRON ROD
- ▲ POINT FOR CORNER
- △ CONTROL MONUMENT
- PROPERTY LINE
- - - EXISTING EASEMENT
- OVERHEAD ELECTRIC
- POWER POLE
- ZLP DOUBLE DAVIT LIGHT POLE ON CONCRETE FOOTER
- GUY WIRE
- TTP TRANSMISSION TOWER POLE
- FH FIRE HYDRANT
- WM WATER METER
- WV WATER VALVE
- WAR WATER AIR RELEASE
- WMH WATER MANHOLE
- WPLS WATER PIPELINE SIGN
- FSC FIRE SPRINKLER CONNECTOR
- SSMH SANITARY SEWER MANHOLE
- SSPLS SANITARY SEWER PIPELINE SIGN
- GPLS NATURAL GAS PIPELINE SIGN
- GCP GAS CATHODIC PIPE
- GRS GAS RISER
- CVLT COMMUNICATION VAULT
- FOC FIBER OPTIC CABLE SIGN
- CI STORM DRAIN CURB INLET
- RI STORM DRAIN RECESSED INLET
- SDMH STORM DRAIN MANHOLE
- TPED TELEPHONE PEDESTAL
- TSB TELEPHONE SERVICE BOX
- FGP FENCE GATE POST
- FCP FENCE CORNER POST
- TRSB TRAFFIC SIGNAL BOX
- TS TRAFFIC SIGN
- BOL BOLLARD
- MB MAILBOX
- EXP CORRUGATED METAL PIPE
- EXP EXPOSED PIPE
- PVC POLYVINYL CHLORIDE PIPE
- RCB REINFORCED CONCRETE BOX
- RCR REINFORCED CONCRETE PIPE
- WLT WATER VAULT
- WMS WATER MISCELLANEOUS
- EMS ELECTRIC VAULT
- EML ELECTRIC MISCELLANEOUS
- HOW HEADWALL
- WW WINDWALL
- RR RAILROAD CROSSING
- SP SILT FENCE
- RBL RAILROAD BALLAST
- D.R.T.C.T. DEED RECORDS TARRANT COUNTY TEXAS
- P.A.T.C.T. PLAT RECORDS TARRANT COUNTY TEXAS
- O.R.T.C.T. OFFICIAL PUBLIC RECORDS TARRANT COUNTY TEXAS
- O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS TARRANT COUNTY TEXAS

LEGAL DESCRIPTION

Lot 2, Block A of the Final Plat of 46 Ranch Addition, Lots 1, 2, and 3, Block A, an addition to the City of Fort Worth, Tarrant County, Texas, as recorded in Document No. D220311033 in the Official Public Records of Tarrant County, Texas.

SCHEDULE B NOTES

- A. This tract is affected by the following items listed in Schedule B of Title Commitment GF Number: 4712021807, as provided by Chicago Title Insurance Company effective date June 14, 2022, issue date June 23, 2022:
- (1) The following restrictive covenants of record in Declaration of Covenants, Conditions, Restriction Document No. D219139907 and Easements for 46 Ranch Addition as recorded in Document No. D220311033 and First Supplement to Declaration of Covenants, Restrictions and Easements for 46 Ranch recorded in Document No. D22147285 O.P.R.T.C.T.; (blanket in nature)
 - (2) Assessments, liens, assessments and matter set forth in Declaration of Covenants, Conditions, Restriction Document No. D219139907 O.P.R.T.C.T.; (blanket in nature)
 - (3) 50 foot Overhead Utility Easement, 1.5 foot Utility Pole Easement and 5 foot Overhead Utility Easement to Texas Electric Service Company, as recorded in Volume 3690, Page 249 O.R.T.C.T.; (plotted)
 - (4) 50 foot Easement for Railroad purposes and 5 foot Aerial Easement to Missouri Pacific Railroad Company as recorded in Volume 3690, Page 425 D.R.T.C.T.; (plotted)
 - (5) Drainage Easement to the City of Fort Worth as recorded in Volume 12050, Page 1726 O.R.T.C.T.; (plotted)
 - (6) Transmission Line Easement and Right of Way Agreement TRACT-2 to TXU Electric Delivery Company, as recorded in Document No. D204262328 and D204262329 O.R.T.C.T.; (plotted)
 - (7) Right of Way Agreement to Stroud Energy, Ltd., as recorded in Document No. D206135017 O.R.T.C.T.; (plotted)
 - (8) Right of Way and Easement to Stroud Energy, Ltd. as recorded in Document No. D206135017 O.R.T.C.T.; (plotted)
 - (9) Terms, provisions, and conditions of Right-of-Way Agreement to Range Texas Production, LLC, as recorded in Document No. D206397555 O.R.T.C.T.; (plotted)
 - (10) Mineral Lease, together with all rights, privileges and immunities incident thereto, as evidenced by Memorandum recorded in Document No. D204121735 O.R.T.C.T. Partial Assignment recorded in Document No. D204168999 O.R.T.C.T. and USG Properties Barnett II, LLC as recorded in Document No. D219098724 O.R.T.C.T. Surface Waiver recorded in Document No. D217016519 O.R.T.C.T. And Partial Release of Oil, Gas and Mineral Leases and Partial Waiver of Surface Rights to Eagle Ridge Energy II, LLC and USG Properties Barnett II, LLC as recorded in Document No. D219098724 O.R.T.C.T. Together with Memorandum of Surface Use Agreement recorded in Document No. D21922472 O.P.R.T.C.T. Together with Memorandum of Surface Use Agreement recorded in Document No. D21922473 O.P.R.T.C.T.; (partially plotted, partially blanket in nature)
 - (11) (23) Mineral lease, together with all rights, privileges and immunities incident thereto, to Merken Energy Corp., as evidenced by Memorandum of Oil and Gas Lease, recorded in Document No. D204121743 O.R.T.C.T.; (Blanket in Nature)
 - (12) (24) Mineral lease, together with all rights, privileges and immunities incident thereto, to Merken Energy Corp., as evidenced by Memorandum of Oil and Gas Lease, recorded in Document No. D204121744 O.R.T.C.T.; (Blanket in Nature)

SCHEDULE B NOTES (cont.)

- (25) Mineral lease, together with all rights, privileges and immunities incident thereto, to Merken Energy Corp., as evidenced by Memorandum of Oil and Gas Lease, recorded in Document No. D204121745 O.R.T.C.T. Affected by Ratification of Oil and Gas Lease, recorded in Document No. D205085657 O.R.T.C.T.; (Blanket in Nature)
- (26) Mineral lease, together with all rights, privileges and immunities incident thereto, to Antero Resources L.P., recorded in Document No. D204199996 O.R.T.C.T.; (Blanket in Nature)
- (27) Matters and reservation of oil, gas and other minerals as set forth in Special Warranty Deed with Vendor's Lien as recorded in Document No. D219139906 O.P.R.T.C.T.; (blanket in nature)
- (28) Intentionally Deleted
- (30) City of Fort Worth Drainage Facility Easement as recorded in Document No. D220159196 O.P.R.T.C.T.; (plotted)
- (31) City of Fort Worth Slope Easement as recorded in Document No. D220159197 O.P.R.T.C.T.; (plotted)
- (32) Partial Surface Waiver and Pipeline Easement as recorded in Document No. D221074733 O.P.R.T.C.T.; (plotted)
- (33) The following easements and/or building lines shown on the plat of 46 Ranch Addition, Lots 1, 2, and 3, Block A, an addition to the City of Fort Worth, Tarrant County, Texas as recorded in Document No. D220311033 O.P.R.T.C.T.; (plotted)
 - Sanitary sewer easements
 - Floodplain easements
 - Utility easements
 - Drainage easements
- (38) Easement and Right of Way Agreement to TXU Electric Delivery Company, as recorded in Document No. D204262330 O.R.T.C.T.; (plotted)

NOTES

Basis of bearing is NAD 83 (1993) Texas Coordinate System, Texas North Central Zone (4202), based upon RTK values using the Leica Smartnet network observed 07/23/2018, distances shown are surface, scale factor is 1.00012.

By graphical plotting, the parcel described hereon lies within Zone "X" (unshaded) as delineated on the Tarrant County, Texas and Incorporated Areas Flood Insurance Rate Map Number 48439C0320L, revised date March 21, 2018, as published by the Federal Emergency Management Agency, "Zone X" (unshaded) is defined as "Areas determined to be outside the 0.2% annual chance floodplain." The surveyor utilized the above referenced flood plain information for this determination and the surveyor does not certify that revised flood plain information has or has not been published by the Federal Emergency Management Agency or some other source.

Date of Plat or Map: March 24, 2022

Direct, physical, pedestrian and vehicular ingress and egress to be provided by Campus Drive and Alta Mesa Boulevard, upon which the property abuts, the intersection of which is at the northwest corner of the property, the same being paved and publicly maintained rights-of-way.

With respect to Table A, Item 16 in the Surveyor's Certificate, at the time of the survey there was no observed evidence of current earth moving work or building construction on the subject property.

With respect to Table A, Item 17 in the Surveyor's Certificate, at the time of the survey there was no observed evidence of street or sidewalk construction or repairs in the process of conducting the field work.

SURVEYOR'S CERTIFICATE

To: NewCold Fort Worth, LLC, a Delaware limited liability company; NewCold USA VII, LLC, a Delaware limited company or its permitted assigns; Jackson-Shaw / 46 Ranch, LLC, a Texas limited liability company; Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 7(a), 7(b)(1), 7(c), 8, 9, 11 (b) (blanket evidence), 13, 14, 16 and 17 of Table A thereof. The fieldwork was completed on March 23, 2022.

Date of Plat or Map: March 24, 2022

Douglas A. Calhoun
Douglas A. Calhoun
Registered Professional Land Surveyor
State of Texas No. 56119

SURVEYOR
DOUGLAS A. CALHOUN, RPLS
SURVEY MANAGER
HALFF ASSOCIATES, INC.
4000 FOSSIL CREEK BLVD.
FORT WORTH, TEXAS 76137
(817) 764-7505 DIRECT
dcalhoun@halff.com

ALTA/NSPS LAND TITLE SURVEY
OF
LOT 2, BLOCK A
46 RANCH ADDITION
BEING A
76.66 TRACT OF LAND
OUT OF THE
SHELBY COUNTY LAND SURVEY - BLOCK 1, ABSTRACT NO. 1375
SHELBY COUNTY LAND SURVEY - BLOCK 2, ABSTRACT NO. 1375
SHELBY COUNTY LAND SURVEY - BLOCK 13, ABSTRACT NO. 1375
SHELBY COUNTY LAND SURVEY - BLOCK 14, ABSTRACT NO. 1375
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS



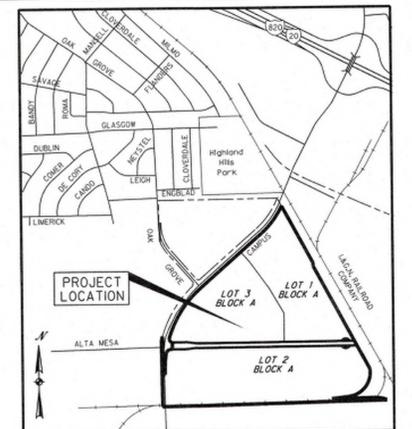
Revision No.	Date	Description

Project No.: 47422
Issued: 08/24/2022
Drawn By: CADD
Checked By: DAC
Scale: 1" = 200'
Sheet Title
ALTA/NSPS LAND TITLE SURVEY
V3.01
Sheet Number

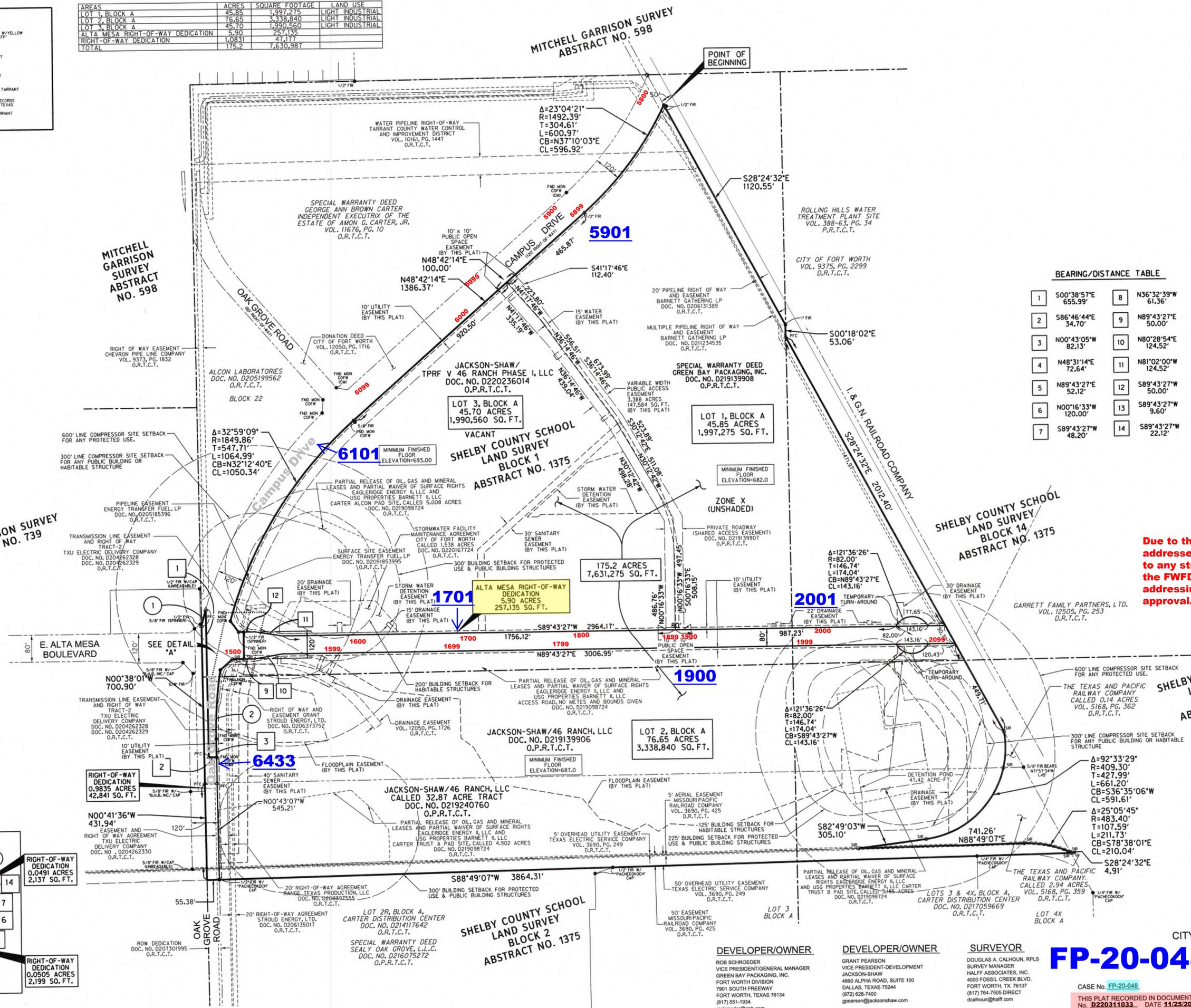
LEGEND

- SR 1/2" SET IRON ROD W/YELLOW CAP STAMPED "HALFF"
- FR FOUND IRON ROD
- CMI CONTROL MONUMENT
- - - PROPERTY LINE
- - - EXISTING EASEMENT
- O.R.T.C.T. OFFICIAL RECORDS TARRANT COUNTY TEXAS
- O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS TARRANT COUNTY TEXAS
- D.R.T.C.T. DEED RECORDS TARRANT COUNTY TEXAS

AREAS	ACRES	SQUARE FOOTAGE	LAND USE
LOT 1, BLOCK A	45.85	1,997,275	LIGHT INDUSTRIAL
LOT 2, BLOCK A	76.65	3,338,840	LIGHT INDUSTRIAL
LOT 3, BLOCK A	45.70	1,990,560	LIGHT INDUSTRIAL
ALTA MESA RIGHT-OF-WAY DEDICATION	5.90	257,135	
RIGHT-OF-WAY DEDICATION	1,0831	47,177	
TOTAL	175.2	7,630,987	



LOCATION MAP
NOT TO SCALE



BEARING/DISTANCE TABLE

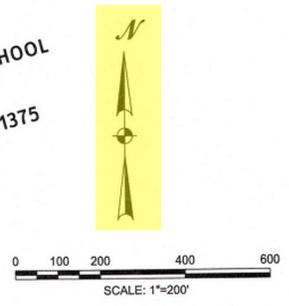
1	S00°38'57"E 655.99'	8	N36°32'39"W 61.36'
2	S86°46'44"E 34.70'	9	N89°43'27"E 50.00'
3	N00°43'05"W 82.13'	10	N80°28'54"E 124.52'
4	N48°31'14"E 72.64'	11	N81°02'00"W 124.52'
5	N89°43'27"E 52.12'	12	S89°43'27"W 50.00'
6	N00°16'33"W 120.00'	13	S89°43'27"W 9.60'
7	S89°43'27"W 48.20'	14	S89°43'27"W 22.12'

CURVE TABLE

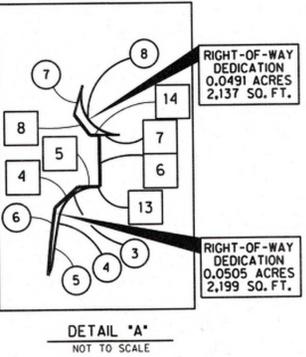
1	Δ=02°09'12" R=1969.86' T=37.02' L=74.03' CB=N15°12'54"E CL=74.03'	5	Δ=20°44'41" R=89.50' T=16.38' L=32.40' CB=S18°00'10"W CL=32.23'
2	Δ=09°32'10" R=1849.86' T=154.30' L=307.88' CB=N04°03'00"E CL=307.53'	6	Δ=04°58'21" R=1849.86' T=80.32' L=160.54' CB=N06°19'54"E CL=160.49'
3	Δ=78°07'06" R=90.00' T=74.35' L=124.28' CB=S50°09'54"W CL=114.64'	7	Δ=02°13'32" R=1849.86' T=35.93' L=71.85' CB=N16°49'51"E CL=71.85'
4	Δ=02°58'32" R=2023.50' T=124.37' L=105.09' CB=S09°07'05"W CL=105.07'	8	Δ=108°13'10" R=90.00' T=124.37' L=169.99' CB=S36°09'58"E CL=145.83'

Due to the size of these lots, the assigned addresses may or may not be the address to any structures on these lots. Contact the FWFD at addressing@fortworthtexas.gov for approval.

SHELBY COUNTY SCHOOL LAND SURVEY BLOCK 13 ABSTRACT NO. 1375



FINAL PLAT
OF
LOT 1, LOT 2, AND LOT 3, BLOCK A
46 RANCH ADDITION
BEING A
175.2 ACRE TRACT OF LAND
OUT OF THE
SHELBY COUNTY LAND SURVEY
ABSTRACT NO. 1375
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS



DETAIL "A"
NOT TO SCALE

DEVELOPER/OWNER
ROB SCHROEDER
VICE PRESIDENT/GENERAL MANAGER
GREEN BAY PACKAGING, INC.
FORT WORTH DIVISION
7901 SOUTH FREEWAY
FORT WORTH, TEXAS 76134
(817) 551-1934
rschroeder@gpb.com

DEVELOPER/OWNER
GRANT PEARSON
VICE PRESIDENT-DEVELOPMENT
JACKSON-SHAW
4890 ALPHA ROAD, SUITE 100
DALLAS, TEXAS 75244
(972) 628-7400
gpearson@jacksonshaw.com

SURVEYOR
DOUGLAS A. CALHOUN, RPLS
SURVEY MANAGER
HALFF ASSOCIATES, INC.
4000 FOSSIL CREEK BLVD.
FORT WORTH, TX 76137
(817) 784-7505 DIRECT
dcalhoun@halff.com

FP-20-048
CASE NO. FP-20-048
THIS PLAT RECORDED IN DOCUMENT
No. D220311033 DATE 11/25/2020

HALFF
4000 FOSSIL CREEK BLVD. FORT WORTH, TEXAS 76137 (817) 847-1422
TBEPLS FIRM NO. 10029605
NOVEMBER 16, 2020 AVO: 33959



0 100 200 400 600
SCALE: 1"=200'

MITCHELL GARRISON SURVEY ABSTRACT NO. 598

SHELBY COUNTY SCHOOL LAND SURVEY BLOCK 1 ABSTRACT NO. 1375

SHELBY COUNTY SCHOOL LAND SURVEY BLOCK 14 ABSTRACT NO. 1375

MITCHELL GARRISON SURVEY ABSTRACT NO. 598

ALCON LABORATORIES DOC. NO. D205199562 O.R.T.C.T.

JACKSON-SHAW/ TPRF V 46 RANCH PHASE 1, LLC DOC. NO. D220236014 O.P.R.T.C.T.

LOT 3, BLOCK A 45.70 ACRES 1,990,560 SQ. FT.

LOT 1, BLOCK A 45.85 ACRES 1,997,275 SQ. FT.

LOT 2, BLOCK A 76.65 ACRES 3,338,840 SQ. FT.

JACKSON-SHAW/46 RANCH, LLC DOC. NO. D219139906 O.P.R.T.C.T.

JACKSON-SHAW/46 RANCH, LLC CALLED 32.87 ACRE TRACT DOC. NO. D219240760 O.P.R.T.C.T.

JAMES S. HUDSON SURVEY ABSTRACT NO. 739

SHELBY COUNTY SCHOOL LAND SURVEY BLOCK 2 ABSTRACT NO. 1375

10' UTILITY EASEMENT

L1 S80°28'54"W 124.52'
L2 S89°43'27"W 60.41'
L3 S00°43'05"E 82.13'

STORM WATER DETENTION EASEMENT

L10 S30°12'42"E 320.00'
L11 S89°59'54"W 533.42'
L12 S48°40'35"W 15.90'
L13 S89°59'54"W 48.87'
L14 N48°40'35"E 360.97'
L15 N73°16'53"E 169.29'
L16 N30°12'42"W 39.58'
L17 N00°16'33"W 43.40'
L18 N26°45'12"E 107.90'
L19 N89°50'15"E 47.30'
L20 N00°09'45"W 30.70'
L21 N89°50'15"E 20.00'
L22 S00°09'45"W 30.70'
L23 S40°54'56"E 143.15'
L24 S00°16'33"E 32.28'

DRAINAGE EASEMENT

L30 N00°16'33"W 17.25'
L31 N89°43'27"E 22.00'
L32 S00°16'33"E 17.25'
L33 N00°16'33"W 17.25'
L34 N89°43'27"E 22.00'
L35 S00°16'33"E 17.25'
L36 N00°16'33"W 96.94'
L37 N89°43'27"E 30.00'
L38 S00°16'33"E 96.94'

FLOODPLAIN EASEMENT

L50 N37°21'42"W 100.84'
L51 S90°00'00"W 43.95'
L52 S00°00'00"W 54.49'
L53 S37°21'42"E 89.26'
L54 S31°24'23"E 22.23'
L55 S82°20'23"E 275.73'
L56 S66°46'13"E 35.08'
L57 S77°05'15"E 77.21'
L58 S87°56'18"W 120.26'
L59 S89°11'52"W 142.46'
L60 N74°18'28"W 235.31'

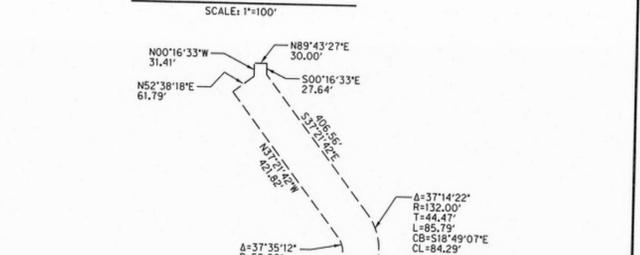
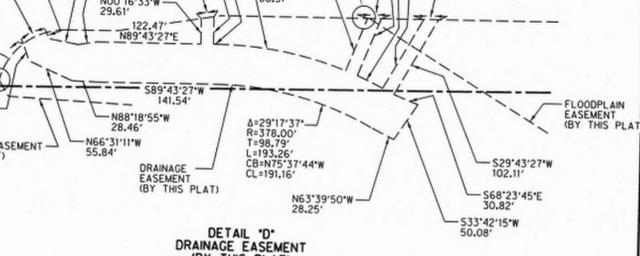
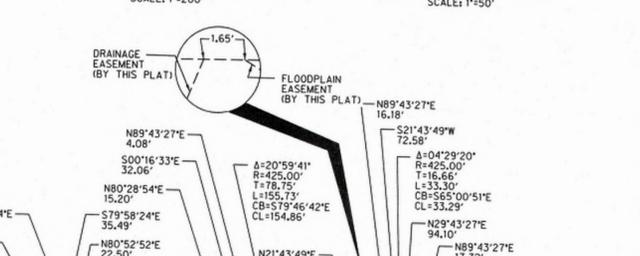
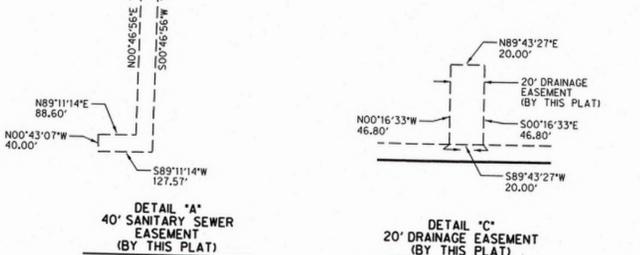
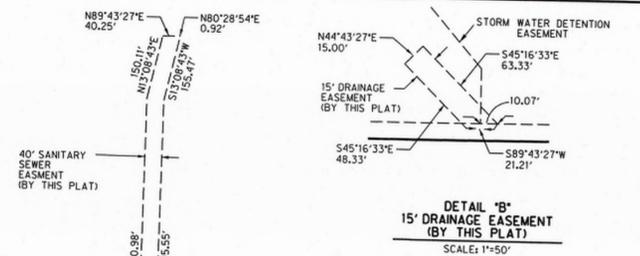
10' UTILITY EASEMENT

C1 Δ=79°07'06"
R=80.00'
T=86.09'
L=110.47'
CB=S50°09'54"W
CL=101.90'

C2 Δ=02°58'32"
R=203.50'
T=52.30'
L=104.57'
CB=S09°07'05"W
CL=104.55'

C3 Δ=19°27'34"
R=99.50'
T=117.06'
L=33.79'
CB=S17°21'38"W
CL=33.63'

C4 Δ=04°29'52"
R=1839.86'
T=72.25'
L=144.43'
CB=S01°31'51"W
CL=144.40'



FINAL PLAT
OF
LOT 1, LOT 2, AND LOT 3, BLOCK A
46 RANCH ADDITION
BEING A
175.2 ACRE TRACT OF LAND
OUT OF THE
SHELBY COUNTY LAND SURVEY
ABSTRACT NO. 1375
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS

DEVELOPER/OWNER
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FORT WORTH DIVISION
7901 SOUTH FREEWAY
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Planning and Development Department

STANDARD PLAT NOTES

July 27, 2015

LEGAL DESCRIPTION

Being a tract of land situated in Block No. 1, Block No. 2, Block No. 13 and Block No. 14 of the Shelby County School Land Survey, Abstract No. 1375, City of Fort Worth, Tarrant County, Texas, and being the remainder of that called 142.3 acre tract of land described in Special Warranty Deed with Vendors Lien to Jackson-Shaw / 46 Ranch, LLC, recorded in Document No. D219139906, Official Public Records of Tarrant County, Texas (O.P.R.T.C.T.) and being all of that called 32.87 acre tract of land described in Special Warranty Deed to Jackson-Shaw / 46 Ranch, LLC recorded in Document No. D219240760 (O.P.R.T.C.T.) and being all of that called 45.70 acre tract of land described in Special Warranty Deed to Jackson-Shaw / TPRF V 46 Ranch Phase I, LLC recorded in Document No. D220236014 (O.P.R.T.C.T.) and being all of that 45.85 acre tract of land described in Special Warranty Deed to Green Bay Packaging, Inc. recorded in Document No. D219139908 O.P.R.T.C.T. and more particularly described as follows:

Beginning at a 1/2-inch set iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "with cap") for corner at the intersection of the south right of way line of Campus Drive (a 120 foot Public Right of Way) as recorded in Donation Deed to the City of Fort Worth in Volume 12050, Page 1716 O.R.T.C.T. and being on the southwest right of way line of I. & G. N. Railroad Company, said point being 50 feet perpendicular to the center of said railroad;

THENCE South 28 degrees 24 minutes 32 seconds East, along the common line between said southwesterly right of way line and the east line of said 45.85 acre tract, 50 feet parallel to said center of railroad, a distance of 1,120.55 feet to a 1-inch found iron rod;

THENCE South 00 degrees 18 minutes 02 seconds East, continuing along said common line, a distance of 53.06 feet to a point for corner being 75 feet perpendicular to the center of said railroad;

THENCE South 28 degrees 24 minutes 32 seconds East, continuing along said common line, being 75 feet parallel to said center of railroad, passing at a distance of 1,471.97 feet the southeast corner of said 45.85 acre tract, now along the east line of said 142.3 acre tract of land, continuing for a total distance of 2,012.40 feet to a 1/2-inch set iron rod with cap for the north corner of that called 0.14 acre tract of land described in Deed to the Texas and Pacific Railway Company as recorded in Volume 5168, Page 362 in the Deed Records of Tarrant County, Texas (O.R.T.C.T.), and being the point of curvature of a circular curve to the right, not being tangent to the preceding course, having a radius of 409.30 feet, whose chord bears South 36 degrees 35 minutes 06 seconds West, a distance of 591.61 feet;

THENCE Southwesterly, departing said common line and along said circular curve to the right, through a central angle of 92 degrees 33 minutes 29 seconds, passing at an arc length of 160.92 feet to a 1/2-inch set iron rod with cap for the common southwest corner of said called 0.14 acre tract of land, the northwest corner of that called 2.94 acre tract of land described in Deed to the Texas and Pacific Railway Company as recorded in Volume 5168, Page 359 O.R.T.C.T., and being on the common line between the south line of said called 142.3 acre tract of land and the north line of said called 32.87 acre tract of land, continuing a total arc length of 661.20 feet to a 1/2-inch set iron rod with cap;

THENCE South 82 degrees 49 minutes 03 seconds West, along said common line, a distance of 305.10 feet to a 1/2-inch set iron rod with cap for corner;

THENCE North 88 degrees 49 minutes 07 seconds East, departing said common line and along the south line of said called 2.94 acre tract of land, a distance of 741.26 feet to a 1/2-inch set iron rod with cap on a circular curve to the right, having a radius of 483.40 feet, whose chord bears South 78 degrees 38 minutes 01 second East, a distance of 210.04 feet;

THENCE Southeasterly, continuing along said south line and along said circular curve to the right, through a central angle of 25 degrees 05 minutes 45 seconds, an arc length of 211.73 feet to a 1/2-inch set iron rod with cap for the southeast corner of said called 2.94 acre tract of land and being on the common east line of said called 32.87 acre tract of land and the southwest right-of-way line of I. & G. N. Railroad Company, said point being 75 feet perpendicular to the center of said railroad right-of-way;

THENCE South 28 degrees 24 minutes 32 seconds East, departing said south line and along said southwest right-of-way line, a distance of 4.91 feet to a 1/2-inch set iron rod with cap for the northeast corner of Lot 4X, Block A of Lots 3 & 4X, Block A, Carter Distribution Center as recorded in Document No. D217059689 O.R.T.C.T.;

THENCE South 88 degrees 49 minutes 07 seconds West, departing said southwest right-of-way line, passing the common common northwest corner of said Lot 4X and the northeast corner of Lot 3 of said Block A at a distance of 419.86 feet from which a 1/2-inch found iron rod with cap stamped "PACHECO KOCH" bears South 12 degrees 47 minutes 42 seconds West, a distance of 0.28 feet, passing a 1/2-inch found iron rod with cap stamped "PACHECO KOCH" for the common northwest corner of said Lot 3 and the northeast corner of Lot 2R, Block A, Carter Distribution Center as recorded in Document No. D21417642 O.R.T.C.T., at a distance of 2,049.35 feet, passing a 1/2-inch found iron rod with cap stamped "PACHECO KOCH" for the northeast corner of Lot 2R at a distance of 3809.03 feet, and continuing for a total distance of 3,864.31 feet to a point for corner in said Oak Grove Road;

THENCE North 00 degrees 41 minutes 36 seconds West, a distance of 431.94 feet to the common southwest corner of that of said called 142.3 acre tract of land and the northwest corner of said 32.87 acre tract of land and being in Oak Grove Road (variable width right-of-way)

THENCE North 00 degrees 38 minutes 01 second West, along the west line of said 203.86 acre tract, a distance of 700.90 feet for the point of curvature of a circular curve to the right, having a radius of 1,669.86 feet, whose chord bears North 15 degrees 12 minutes 54 seconds East, a distance of 74.03 feet, said point being on the west right of way line of said Campus Drive;

THENCE Northeasterly, along said west right of way line and along said circular curve through a central angle of 02 degrees 09 minutes 12 seconds, an arc length of 74.03 feet to a point for corner;

THENCE South 00 degrees 38 minutes 57 seconds East, departing said west right of way line and along the westerly line of said Donation Deed, a distance of 655.99 feet to a point for corner;

THENCE South 86 degrees 48 minutes 44 seconds East, along the southerly line of said Donation Deed, a distance of 34.70 feet to a brass disk in concrete stamped CITY OF FORT WORTH ELEV. MONUMENT NO. (hereinafter referred to as right of way marker) for corner;

THENCE North 00 degrees 43 minutes 05 seconds West, along the east right of way line of said Campus Drive, a distance of 82.13 feet to a right of way marker for the point of a circular curve to the right, having a radius of 1,849.86 feet, whose chord bears North 04 degrees 03 minutes 00 seconds East, a distance of 307.53 feet;

THENCE Northeasterly, along said circular curve through a central angle of 09 degrees 32 minutes 10 seconds, an arc length of 307.88 feet to a right of way marker for corner;

THENCE North 48 degrees 31 minutes 14 seconds East, continuing along said east right of way line, a distance of 72.64 feet to a 1/2-inch set iron rod with cap for corner;

THENCE North 89 degrees 43 minutes 27 seconds East, continuing along said east right of way line, a distance of 52.12 feet to a 1/2-inch set iron rod with cap for corner;

THENCE North 00 degrees 16 minutes 33 seconds West, continuing along said east right of way line, a distance of 120.00 feet to a 1/2-inch found iron rod for corner;

THENCE South 89 degrees 43 minutes 27 seconds West, continuing along said east right of way line, a distance of 22.12 feet to a right of way marker for corner;

THENCE North 36 degrees 32 minutes 39 seconds West, continuing along said east right of way line, a distance of 61.36 feet to a right of way marker for the point of a circular curve to the right, having a radius of 1,849.86 feet, whose chord bears North 32 degrees 12 minutes 40 seconds East, a distance of 1,050.34 feet;

THENCE Northeasterly, continuing along said east right of way line and along the arc of said circular curve through a central angle of 32 degrees 59 minutes 09 seconds, an arc length of 1,064.99 feet to a right of way marker for corner, now becoming the south right of way line;

THENCE North 48 degrees 42 minutes 14 seconds East, along said south right of way line, a distance of 1,386.37 feet to a 1/2-inch set iron rod with cap for the point of a circular curve to the left, having a radius of 1,492.39 feet, whose chord bears North 37 degrees 10 minutes 04 seconds East, a distance of 596.92 feet;

THENCE Northeasterly, continuing along said south right of way line and along the arc of said circular curve through a central angle of 23 degrees 04 minutes 21 seconds, a distance of 600.97 feet to the POINT OF BEGINNING Containing 7,631,275 square 175.2 acres of land, more or less.

NOTES

Basis of bearing is NAD 83 (1993) Texas Coordinate System, Texas North Central Zone (4202), based upon RTK values using the Leica Smartnet network observed 07/23/2018, distances shown are surface, scale factor is 1.00012.

By graphical plotting, the parcel described hereon lies within Zone "X" (unshaded) as delineated on the Tarrant County, Texas and Incorporated Areas Flood Insurance Rate Map Number 48439C0320L, revised date March 21, 2019, as published by the Federal Emergency Management Agency, "Zone "X" (unshaded) is defined as "Areas determined to be outside the 0.2% annual chance floodplain." The surveyor utilized the above referenced flood plain information for this determination and the surveyor does not certify that revised flood plain information has or has not been published by the Federal Emergency Management Agency or some other source.

Part of the southwestern section of this property falls within existing right of way of Oak Grove Road.

Previously approved 46 Ranch Addition preliminary plat (PP-18-069) included 142.5 acres tract of land that are now included as part of the 175.2 acres tract of land for this preliminary plat (PP-19-048) application.

This plat identifies preliminary need and locations for storm water storage facilities known as detention ponds. It is expressly understood and agreed by the owner or owner's designee of any specific lot or tract within the platted subdivision that the owner or owner's designee of lots or tracts shall be responsible to provide for the final detention volume mitigation during the site development. The preliminary detention storage volume estimate is noted at each location. The final detailed analysis detention volume and required easement may be more or less than shown on this plat. The detention pond design shall be in accordance with the City of Fort Worth Integrated Stormwater Management Criteria Manual current at the time of the Final Stormwater Management Plan is submitted.

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Water / Wastewater
The City of Fort Worth has an ordinance implementing the assessment and collection of water and wastewater impact fees. The total amount assessed is established on the recordation date of this plat application, based upon Schedule I of the current impact fee ordinance. The amount to be collected is determined under Schedule II then in effect on the date a building permit is issued, or the connection date to the municipal water and/or wastewater system.

Utility Easements
Any public utility, including the City of Fort Worth, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvement which in any way endangers or interferes with the construction, maintenance, or efficiency of its respective systems on any of the easements shown on the plat; and they shall have the right at all times to ingress and egress upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining, and adding to or removing all or part of its respective systems without the necessity of any type of procuring the permission of anyone.

Transportation Impact Fees
The City of Fort Worth has an ordinance implementing the assessment and collection of transportation impact fees. The total amount assessed is established on the recordation date of this plat application, based upon Schedule I of the current impact fee ordinance in effect as of the date of the plat. The amount to be collected is determined under Schedule 2 of said ordinance, and is due on the date a building permit is issued.

Site Drainage Study
A site drainage study, showing conformance with the approved roadway drainage plan, may be required before any building permit will be issued on the site (a grading plan in some instances may be adequate). If the site does not conform, then a drainage study may be required along with a CFA for any required drainage improvements and the current owner shall submit a letter to the Department of Transportation and Public Works stating awareness that a Site Drainage Study will be required before any permit is issued. The current owner will inform each buyer of the same.

Floodplain Restriction
No construction shall be allowed within the floodplain easement, without the written approval of the Director of Transportation and Public Works. In order to secure approval, detailed engineering plans and/or studies for the improvements, satisfactory to the Director, shall be prepared and submitted by the party(ies) wishing to construct within the floodplain. Where construction is permitted, all finished floor elevations shall be a minimum of two (2) feet above the flood elevation resulting from ultimate development of the watershed.

Private Common Areas and Facilities
The City of Fort Worth shall not be held responsible for the construction, maintenance or operation of any lots containing private common areas or facilities identified as such on this plat. Said areas shall include, but not be limited to: private streets, emergency access easements, and gated security entrances; recreation areas, landscaped areas and open spaces; water and wastewater distribution systems and treatment facilities; and recreational clubhouse/equipment buildings and facilities. The land owners and subsequent owners of the lots and parcels in this subdivision, acting jointly and severally as a land owners association, shall be responsible for such construction, reconstruction, maintenance and operation of the subdivision's private common areas and facilities, and shall agree to indemnify and hold harmless the City of Fort Worth, Texas, from all claims, damages and losses arising out of, or resulting from the performance of the obligations of said owners association, as set forth herein.

Flood Plain/Drainage-Way
Maintenance: The existing creek, stream, river, or drainage channel traversing along or across portions of this addition, will remain unobstructed at all times and will be maintained by the individual lot owners whose lots are traversed by, or adjacent to, the drainage-ways. The City of Fort Worth will not be responsible for the maintenance, erosion control, and/or operation of said drainage-ways. Property owners shall keep the adjacent drainage-ways traversing their property clean and free of debris, silt or other substances which would result in unsanitary conditions, and the City shall have the right of entry for the purpose of inspecting the maintenance work by the property owners. The drainage-ways are occasionally subject to storm water overflow and/or bank erosion that cannot be defined. The City of Fort Worth shall not be liable for any damages resulting from the occurrence of those phenomena, nor the failure of any structure(s) within the drainage-ways. The drainage-way crossing each lot is contained within the floodplain easement line as shown on the plat.

Building Permits
No building permits shall be issued for any lot in this Subdivision until an appropriate CFA or other acceptable provisions are made for the construction of any applicable water, sewer, storm drain, street lights, sidewalks, or paving improvements; and approval is first obtained from the City of Fort Worth.

Sidewalks
Sidewalks are required adjacent to both sides of all public and private streets, in conformance with the Sidewalk Policy per "City Development Design Standards".

Construction Prohibited Over Easements
No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, drainage, gas, electric, cable or other utility easement of any type.

Building Construction Distance Limitation to an Oil Or Gas Well Bore
Pursuant to the Fort Worth City Code, no building(s) not necessary to the operation of an oil or gas well shall be constructed within the setbacks required by the current Gas Well Ordinance and adopted Fire Code from any existing or permitted oil or gas well bore. The distance shall be measured in a straight line from the well bore to the closest exterior point of the building, without regards to intervening structures or objects.

Covenants or Restrictions are Un-Altered
This Report does not vacate the previous "Plat of Record" governing the remainder of the subdivision, nor does it amend or remove any deed covenants or restrictions.

Public Open Space Easement
No structure, object, or plant of any type may obstruct vision from a height of 24-inches to a height of 11-feet above the top of the curb, including, but not limited to buildings, fences, walls, signs, trees, shrubs, cars, trucks, etc., in the public open space easement as shown on this plat.

PRIVATE P.R.V.'s WILL BE REQUIRED PRESSURE EXCEEDS 80 P.S.I.



SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: THAT I, Douglas A. Calhoun do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed or found under my personal supervision.

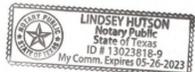
By: Douglas A. Calhoun Date: Oct. 21, 2020
Registered Professional Land Surveyor
Texas No. 5619

STATE OF TEXAS COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared Douglas A. Calhoun, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 19 day of November, 2020.

By: Lindsey Hutson
Notary Public (Agent's Name)
My Commission Expires: 05-26-2023



OWNER CERTIFICATE

46 RANCH ADDITION LOTS 1, 2, and 3 BLOCK A;

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Jackson-Shaw / 46 Ranch, LLC., a Texas limited liability company, Jackson-Shaw / TPRF V 46 Ranch Phase I, LLC., a Delaware limited liability company and Green Bay Packaging Inc., a Wisconsin corporation, acting by and through the undersigned, their duly authorized agents, do hereby adopt this plat designating the herein described real property as the herein stated portions of 46 Ranch Addition, Lots 1, 2, and 3, Block A, an addition to The City of Fort Worth, Tarrant County, Texas, and do hereby dedicate to the public's use the Right of Way and Easements shown thereon, and do hereby adopt this Final Plat.

LOTS 1, 2, and 3, BLOCK A OWNER: Jackson-Shaw / 46 Ranch, LLC., a Texas limited liability company and Jackson-Shaw / TPRF V 46 Ranch Phase I, LLC., a Delaware limited liability company and Green Bay Packaging Inc., a Wisconsin corporation

By: Jackson-Shaw / 46 Ranch, LLC., a Texas limited liability company

By: AIT Capital Management A Texas limited liability company, Its Manager

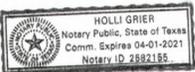
By: Michele Wheeler
Name: Michele Wheeler
Title: Vice President

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared, Michele Wheeler, Vice President of Jackson-Shaw / 46 Ranch, LLC., a Texas limited liability company and AIT Capital Management, a Texas limited liability company, Its Manager, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same on behalf of said limited liability companies, for the purposes and consideration therein expressed.

GIVEN under my hand and seal of office this the 19 day of November, 2020.

By: Michele Wheeler
Notary Public, State of Texas



JACKSON-SHAW/TPRF V 46 RANCH PHASE I, LLC, A Delaware limited liability company

By: JSC 46 Ranch Phase I, LLC, A Texas limited liability company, Its Manager

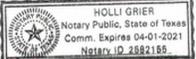
By: Michele Wheeler
Name: Michele Wheeler
Title: Vice President

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared, Michele Wheeler, Vice President of Jackson-Shaw / TPRF V 46 Ranch Phase I, LLC., a Delaware limited liability company and JSC 46 Ranch Phase I, LLC, a Texas limited liability company, Its Manager, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same on behalf of said limited liability companies, for the purposes and consideration therein expressed.

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By: Michele Wheeler
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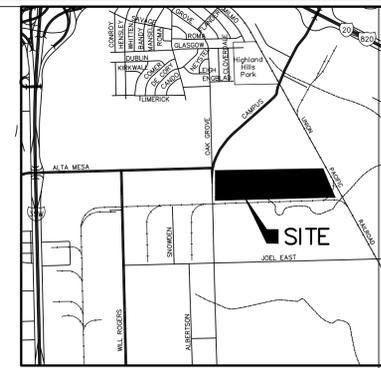
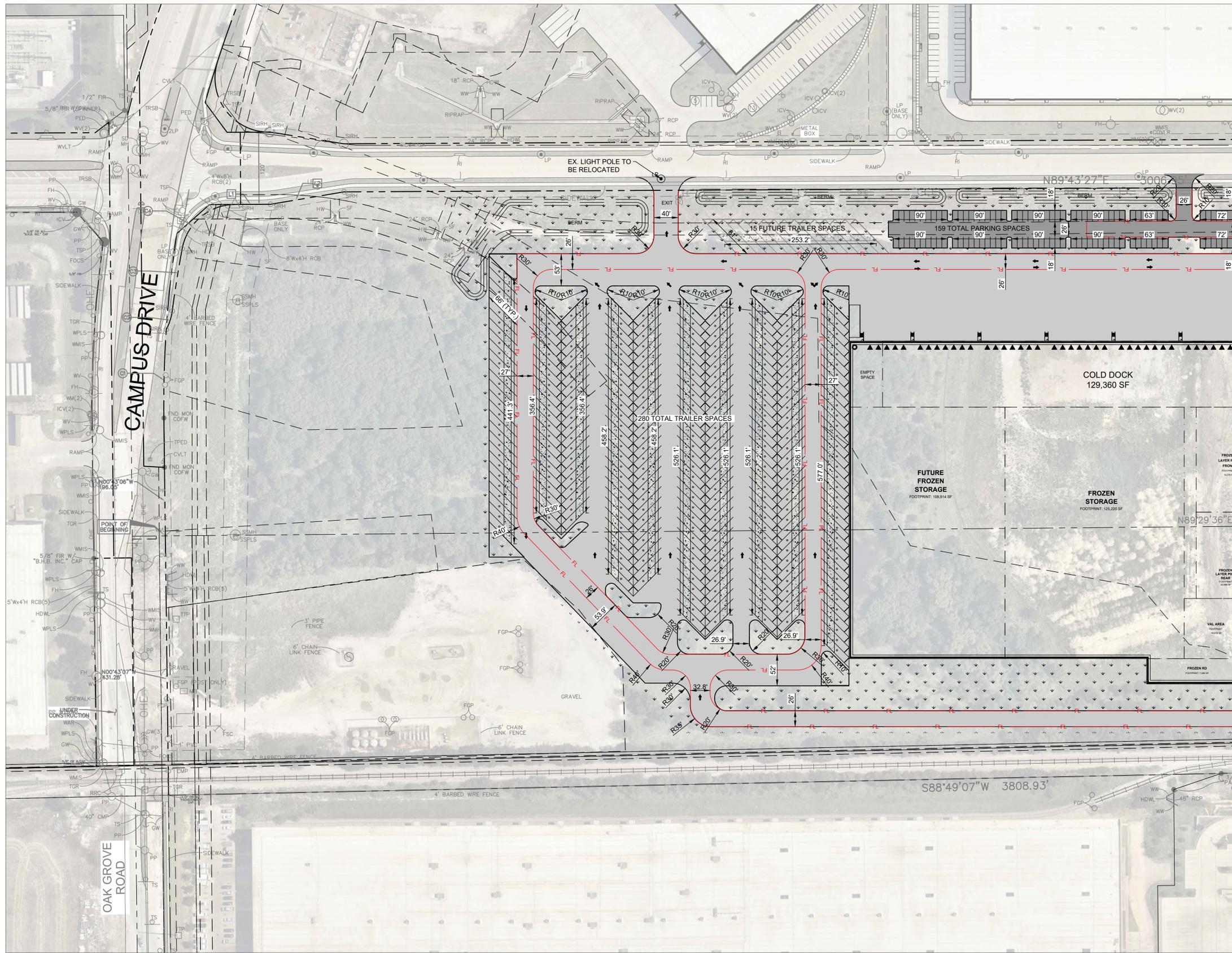
By: Green Bay Packaging Inc., a Wisconsin corporation

By: Rob Schroeder Date: 11-17-20
Name: Rob Schroeder
Title: Vice President

STATE OF TEXAS COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared, Rob Schroeder, Vice President of Green Bay Packaging Inc., a Wisconsin corporation, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same on behalf of said corporation, for the purposes and consideration therein expressed.

FILE NAME: I:\47000s\4722\001\CADD\Sheet\FRC-C-PLAN-SITE-4722.dwg DATE: February 6, 2023, TIME: 2:21 PM, USER: ah1746 AVO: 47422.001



- LEGEND:**
- FO FIBER OPTIC
 - OHE TELEPHONE LINE
 - GAS GAS LINE
 - SS SANITARY SEWER
 - OHE EXISTING OVERHEAD ELECTRIC
 - UGE EXISTING UNDERGROUND ELECTRIC
 - W EXISTING WATER LINE
 - 460 EXISTING MAJOR CONTOUR LINE
 - 461 EXISTING MINOR CONTOUR LINE
 - PROPERTY LINE
 - EASEMENT LINE
 - EDGE OF PAVEMENT
 - BARRIER FREE RAMP
 - FIRE DEPARTMENT CONNECTION
 - BFR
 - FDC
 - PP POWER POLE
 - OW SANITARY SEWER MANHOLE
 - FH FIRE HYDRANT
 - WM WATER METER
 - LP LIGHT POLE
 - EXISTING TREE
 - 10" ASPHALT PAVEMENT
 - 3" ASPHALTIC CONCRETE PAVEMENT
 - 8" CONCRETE PAVEMENT
 - FL 24' FIRE LANE
 - LANDSCAPE AREAS

LOT 2, BLOCK A OF 46 RANCH ADDITION LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "A" AS DELINEATED ON TARRANT COUNTY, TEXAS AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP NUMBERS 48439C0320L, EFFECTIVE 3/21/2019, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, WITH ZONE "X" (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN" AND ZONE "A" DEFINED AS "SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION DETERMINED). LOMR 19-06-1552P, EFFECTIVE 12/5/2019 ALSO REGULATES THE SITE.

REVISION NO.	DATE	DESCRIPTION

Site Data Summary Table

Existing Zoning	"J" Medium Industrial
Proposed Use for Each Structure	As shown on Site Plan
Total Lot Area	3,334,856 SF or 76.56 AC
Total Building Area	817,134 SF
Percent of Lot Coverage Total	24.50%
Required Parking Ratio	1 stall/4 employees
Total Parking Required	159 stalls
Total Vehicular Parking Provided	159 stalls
Total Trailer Stalls Provided	280 trailer stalls
Total Future Trailer Stalls	42 trailer stalls
Total Handicap Parking Required	6 HC / 1 Van HC
Total Handicap Parking Provided	6 HC / 1 Van HC
Building Height	Max. height allowed by zoning: Max. Ht. 55'-0"
Proposed height:	134' 1"

NEWCOLD
ALTA MESA BLVD.
FORT WORTH, TEXAS



PRELIMINARY
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

DYLAN B. HEDRICK 102108
NAME P.E. NO.
DATE 02/06/2023
TPELS ENGINEERING FIRM #F-312

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:

DYLAN B. HEDRICK
P.E. # 102108 ON 2/6/2023

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

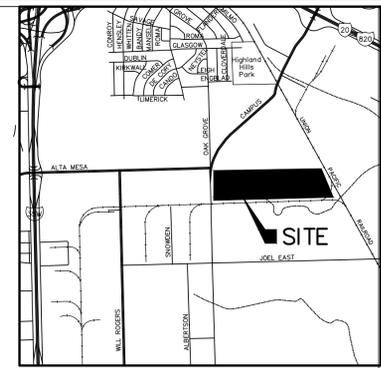
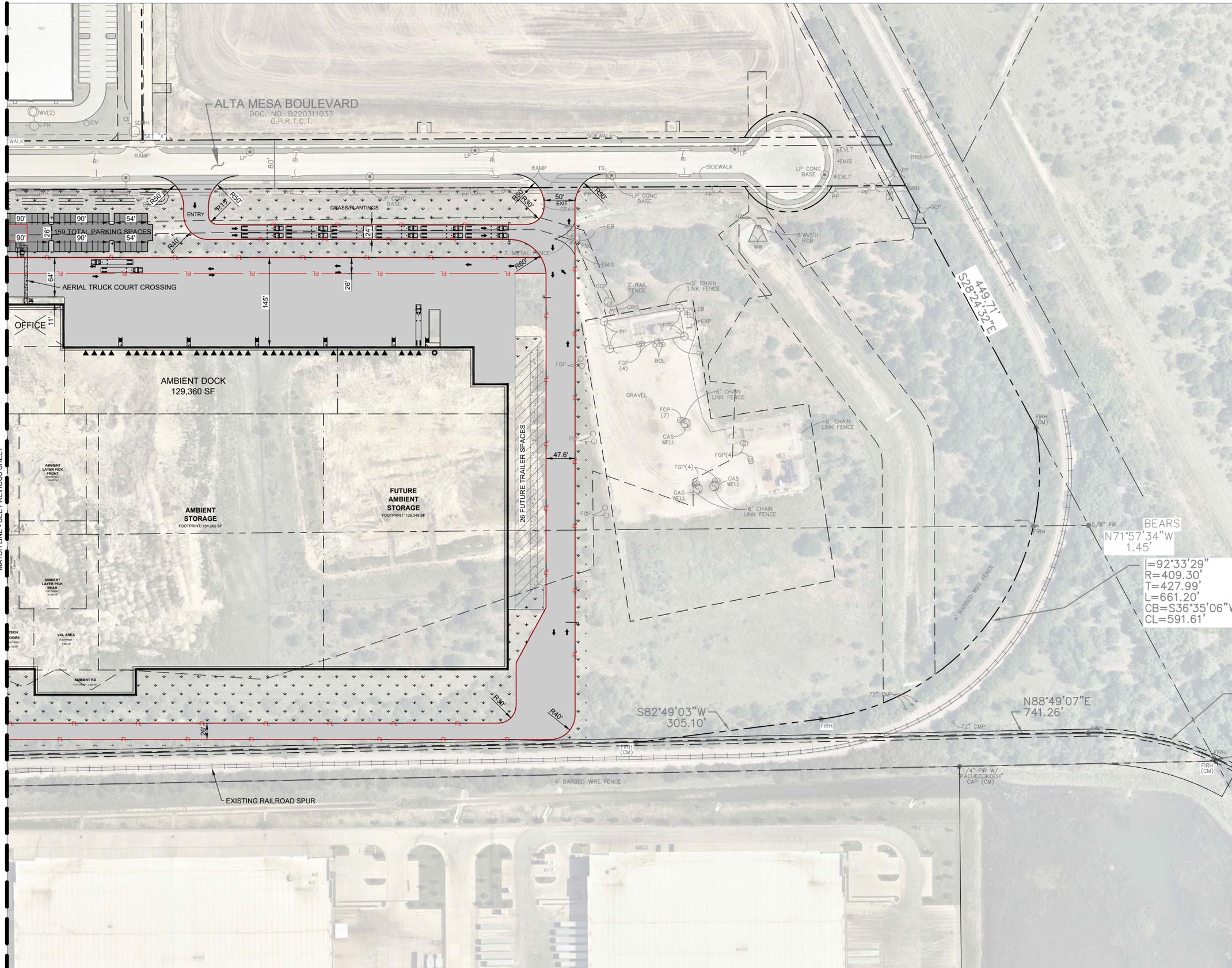
THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF:

HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081
TPELS ENGINEERING FIRM #F-312

PROJECT NO.: 47422
ISSUED: 02/06/2023
DRAWN BY: DBH
CHECKED BY: DBH
SCALE: AS SHOWN
SHEET TITLE:

SITE PLAN

FILE NAME: I:\47000s\4722\001\CADD\Sheet\FRC-C-PLAN-SITE-4722.dwg DATE: February 6, 2023, TIME: 2:22 PM, USER: ah1746 AVO: 47422.001



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ALTA MESA BLVD.
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NAME P.E. NO.
DATE 02/06/2023
TPELS ENGINEERING FIRM #F-312

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DYLAN B. HEDRICK
P.E. # 102108 ON 2/6/2023
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1301 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081
TPELS ENGINEERING FIRM #F-312

PROJECT NO.: 47422
ISSUED: 02/06/2023
DRAWN BY: DBH
CHECKED BY: DBH
SCALE: AS SHOWN
SHEET TITLE:

SITE PLAN

C102



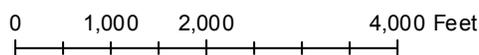
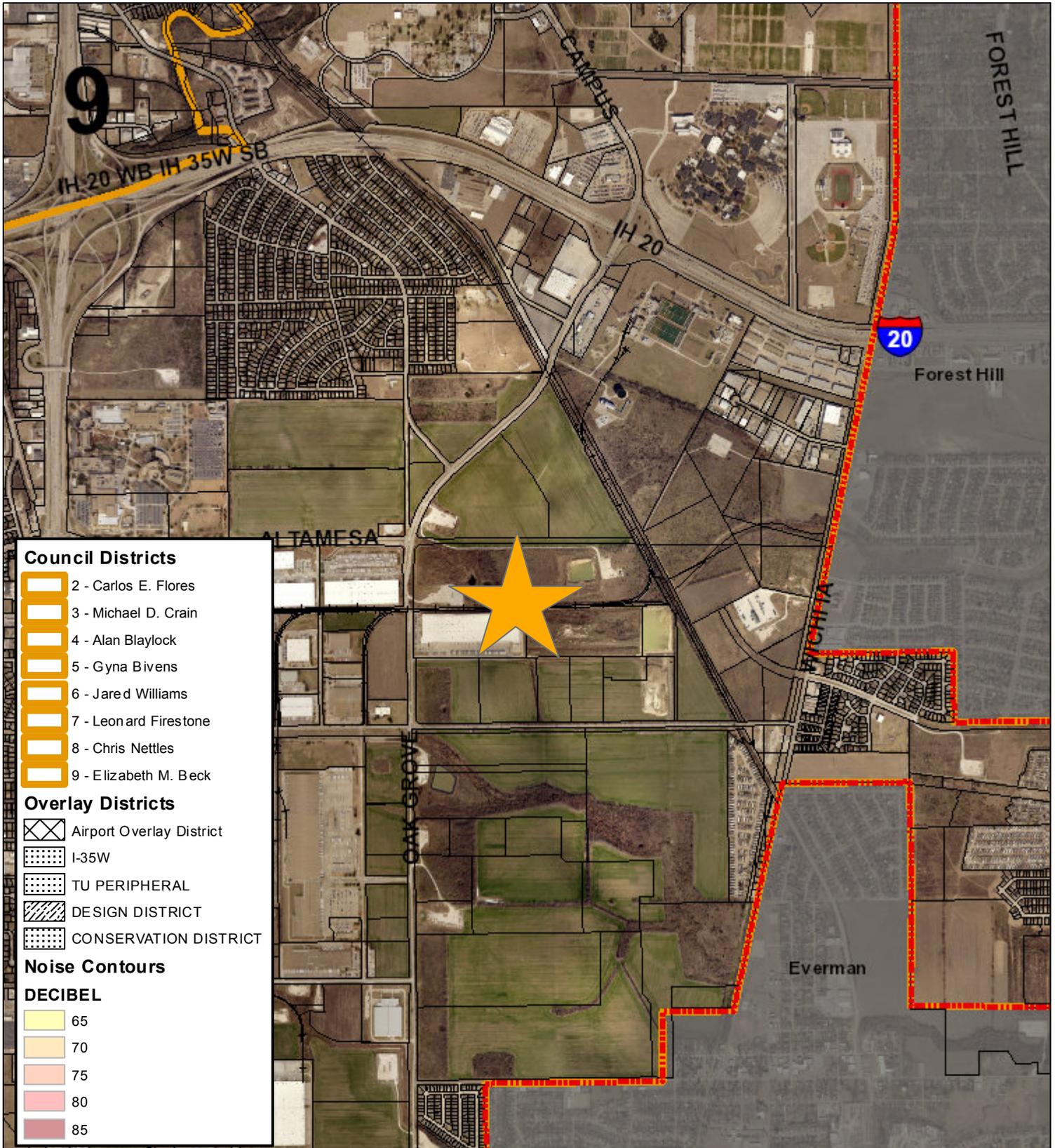
PROJECT MOCKINGBIRD - PRELIMINARY RENDERINGS 2022-06-17 (DRB Stage 1 Concept Approval)



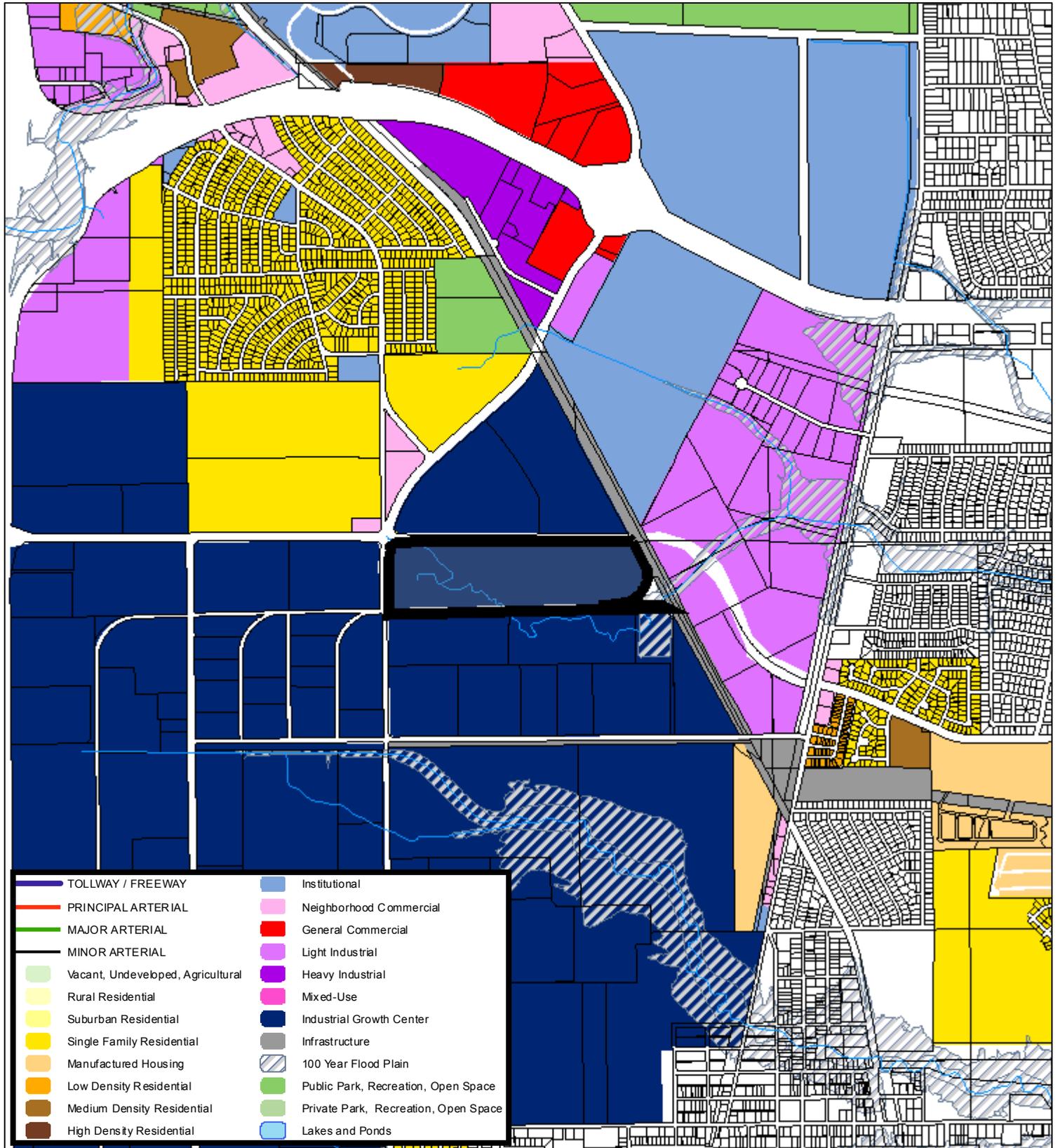




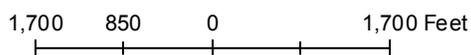
Area Map



Future Land Use



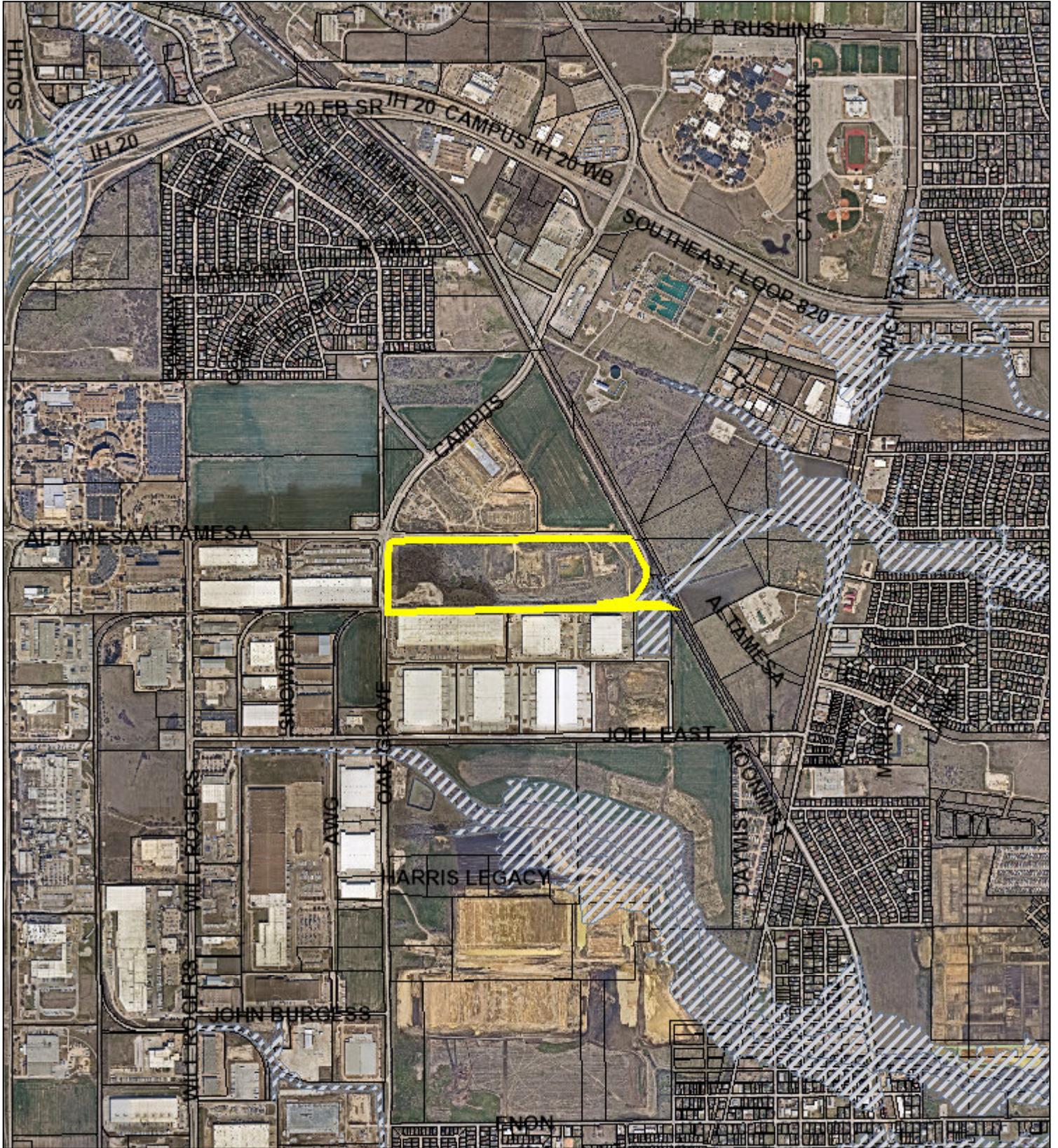
1,700 850 0 1,700 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 1,125 2,250 4,500 Feet





Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-050

District (old/new): 5 / 5

Zoning Map Amendment

Case Manager: [Justin Newhart](#)

Owner / Applicant: City of Fort Worth

Site Location: Trinity Lakes Form-Based District **Acreage:** 10.16 acres

Request

Proposed Use: Mixed-Use

Request: To allow angled parking in certain subdistricts of the Trinity Lakes District.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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7. Area Map
8. Future Land Use Map
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Project Description and Background

The primary purpose of this text amendment is to allow angled parking in certain subdistricts of the Trinity Lakes Form-Based District. Proposed Revisions to the Trinity Lakes Development Code include:

- Vehicle lanes (number, and width): Table 7.1 in Section 7 (Street and Streetscape Standards) is being revised to reduce vehicle land widths from 11 to 10 feet, which is consistent with best practices in increasing pedestrian safety and balancing multiple forms of mobility. Also, a reduction from 4 travel lanes to 2 travel lanes.
- Parking: Table 7.1 in Section 7 (Street and Streetscape Standards) is being revised to allow angled parking in addition to parallel parking. This change adds flexibility to parking typologies in Trinity Lakes while also making the code more consistent with street typology design in other special design areas, such as the urban village program.

The Trinity Lakes code was last amended in August, 2021. The proposed changes to the Trinity Lakes Form-Based Code are consistent with the intent of the district, which is to support a “pedestrian- oriented mix of uses and convenient access between area neighborhoods and shopping, employment, housing and neighborhood retail services.”

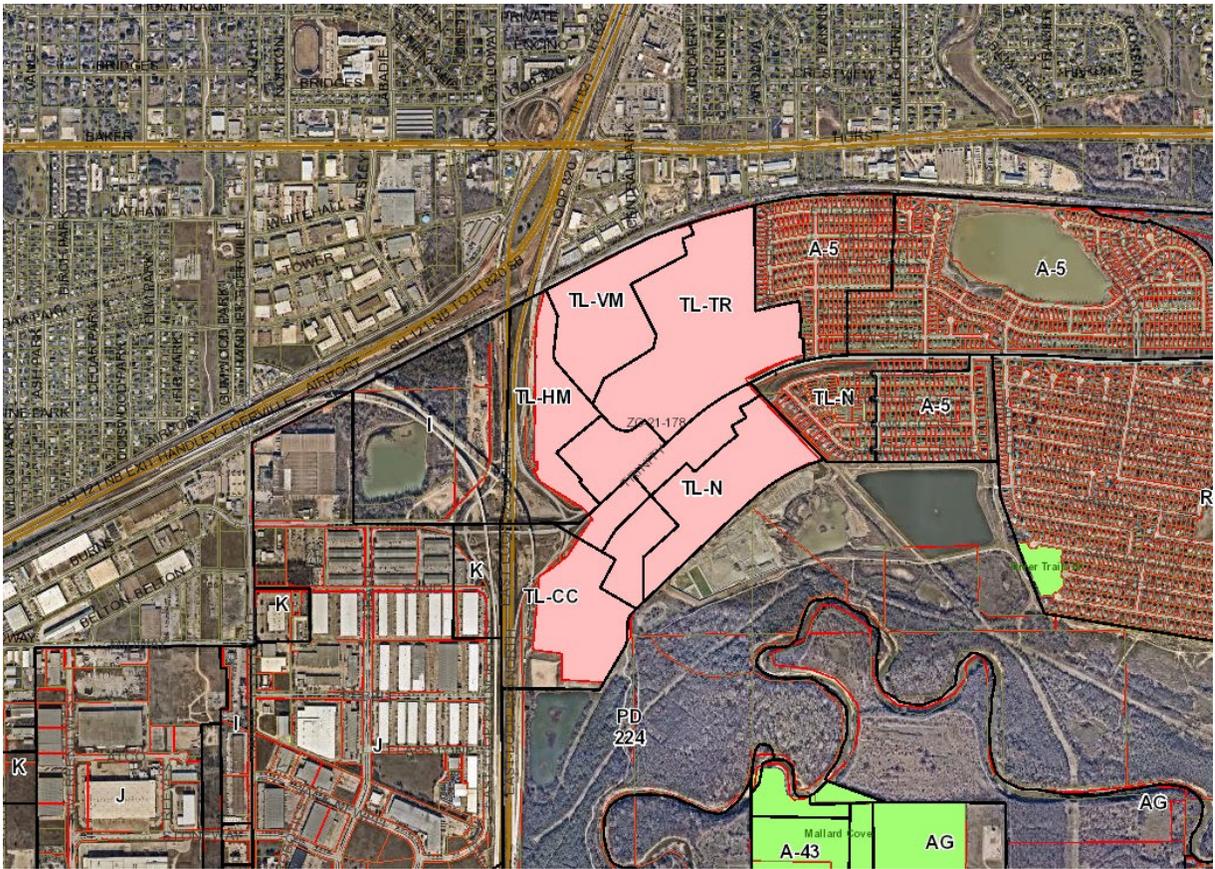
On February 16, 2023, the Urban Design Commission recommended approval of the text amendment to the Zoning Commission and City Council.

Surrounding Zoning and Land Uses

Vary with location

Recent Zoning History

- NA



Development Impact Analysis

Land Use Compatibility

The primary purpose of this text amendment is to allow angled parking in certain subdistricts of the Trinity Lakes Form-Based District.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The adopted Comprehensive Plan currently designates the Trinity Lakes Form-Based District as Mixed-Use. The proposed request is consistent with the land use designations for this area, and aligns with the following policies and strategies of the Comprehensive Plan:

2. Promote a desirable combination of compatible residential, office, retail, and commercial uses in the mixed-use zoning districts of the Oakland Corners Urban Village, Historic Handley Urban Village, and the Trinity Lakes form-based code district.
4. Reduce the amount of undeveloped multifamily zoning outside of mixed-use growth centers, urban villages, and transit-oriented development (TOD) areas. Use urban residential and mixed-use zoning to accommodate walkable multifamily development in these areas.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

Economic Development Plan

The adopted Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:

1. Catalyst Projects in East and Southeast Fort Worth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.
4. Citywide urban and mixed-use development.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FORT WORTH, BEING ORDINANCE NO. 21653, AS AMENDED, CODIFIED AS APPENDIX “A” OF THE CODE OF THE CITY OF FORT WORTH (2015), TO AMEND VARIOUS SECTIONS OF THE TRINITY LAKES DEVELOPMENT CODE AS PROVIDED BY SECTION 4.1307.D., “OTHER DEVELOPMENT STANDARDS” OF SECTION 4.1307, “TRINITY LAKES (“TL”) DISTRICT OF ARTICLE 13, “FORM-BASED DISTRICTS” OF CHAPTER 4, “DISTRICT REGULATIONS” TO REVISE TABLE 7.1 “STREET CLASSIFICATION” TO CLARIFY REQUIREMENTS FOR STREET WIDTH AND ON-STREET PARKING AND UPDATE IMAGES OF CROSS SECTION OF CERTAIN STREETS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council adopted Ordinance No. 20511-12-2012 on December 4, 2012 creating the Trinity Lakes form-based zoning districts to encourage high quality, pedestrian-oriented development and a variety of housing types and neighborhood layouts; adopted the Trinity Lakes Development Code as part of the Zoning Ordinance; and established the Urban Design Commission and staff to administer those design standards; and

WHEREAS, since the creation of the Trinity Lakes District and the implementation of the Trinity Lakes Development Code staff has reviewed projects which have prompted these proposed amendments to clarify and correct inconsistencies in the Trinity Lakes Development Code; and

WHEREAS, the property owner and their consultants have provided input and worked with staff on the proposed amendments to the Trinity Lakes Development Code and has endorsed the proposed amendments, and

WHEREAS, the City Council adopted Ordinance No. 20950-09-2013 on September 17, 2013 amending the Trinity Lakes Development Code the Zoning to provide for neighborhood subzones; to provide for street setback lines and build- to zones in neighborhood subzones; to provide a revision to street and streetscape standards; and to provide changes to facade composition in transition and neighborhood subzones; and

WHEREAS, the City Council adopted Ordinance No. 21359-05-2014 on August 5, 2014 amending the Trinity Lakes Development Code to clarify and correct inconsistencies; and

WHEREAS, the City Council adopted Ordinance No. 21671-03-2015 on March 5, 2015 amending the Trinity Lakes Development Code to provide additional clarifications to regulation of accessory structures, garages, and other development standards; and

WHEREAS, the City Council adopted Ordinance No. 25191 on November 9, 2021 amending the Trinity Lakes Development Code it is advisable to amend the Trinity Lakes Development Code to provide clarification of residential parking requirements, provide adjustments to building heights in the boulevard mixed use and transition character zones, limit building height within lake frontage areas, update boundaries of the character zones and update appendices; and

WHEREAS, it is advisable to amend the Trinity Lakes Development Code to revise Table 7.1., “Street Classification” to clarify requirements for street width and on-street parking and update images of cross sections for certain streets; and

WHEREAS, Section 4.1307.D of the Zoning Ordinance entitled “Other Development Standards” requires that any revisions to the Trinity Lakes Development

Code must be considered by the Urban Design Commission, the Zoning Commission and the City Council;

WHEREAS, the Zoning Commission recommends approval of the proposed amendments to the Trinity Lakes Development Code to the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS AS FOLLOWS:

SECTION 1.

The Trinity Lakes Development Code, as adopted and incorporated into Ordinance No. 21359, the Zoning Ordinance in Chapter 4, “District Regulations”, Article 13 “Form Based Districts”, Section 4.1307, “Trinity Lakes (TL) District”, Subsection 4.1307.D. “Other standards” is hereby amended as set out in Exhibit “A”, attached and hereby incorporated into the Zoning Ordinance by reference, in various sections of the Trinity Lakes Development Code to revise Table 7.1., “Street Classification” to clarify requirements for street width and on-street parking and update images of cross sections for certain streets, which will provide clarity and flexibility for the property owners in the Trinity Lakes District. A copy of the Trinity Lakes Development Code is on file in the City Secretary’s Office.

SECTION 2.

This ordinance shall be cumulative of all provision of ordinances and the Code of the City of Fort Worth, Texas (2015), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 3.

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and, if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 4.

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

SECTION 5.

All rights and remedies of the City of Fort Worth, Texas, are expressly saved as to any all violations of the provisions of Ordinance Nos. 13896 and 21359 which have accrued at the time of the effective date of this ordinance and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or

not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 6.

The City Secretary of the City of Fort Worth, Texas, is hereby directed to publish the caption, penalty clause and effective date of this ordinance for two (2) days in the official newspaper of the City of Fort Worth, Texas, as authorized by Section 52.013, Texas Local Government Code.

SECTION 7.

This ordinance shall take effect upon adoption and publication as required by law.

APPROVED AS TO FORM AND LEGALITY:

Melinda Ramos, Deputy City Attorney

Jannette S. Goodall, City Secretary

ADOPTED: _____

EFFECTIVE: _____

TRINITY LAKES

Trinity Lakes Development Code



Amendment January 23, 2023
(Revised)

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I. Introduction

1.1 Authority

This Trinity Lakes Development Code (hereinafter, “the TLD Code”) is enacted as one of the instruments for implementing the public purposes and objectives of the adopted City of Fort Worth 2012 Comprehensive Plan, and more specifically the Parks and Community Services Strategy of the Trinity River Vision and Trinity River Trails by extending the trail and park system into the deficient eastside sector and the policy of promoting walkable urbanism. The Code supplants the application of all provisions of the City of Fort Worth Zoning Ordinance as it pertained to land within the boundaries of the Trinity Lakes Development (hereinafter, “Trinity Lakes”) prior to the effective date of this TLD Code.

1.2 Purpose & Intent

The purpose of Trinity Lakes is to encourage economic development within East Fort Worth to accompany a growing residential market base. The TLD Code implements specific character areas with a pedestrian-oriented mix of uses and convenient access between area neighborhoods and shopping, employment, housing and neighborhood retail services. The intent is to establish Trinity Lakes as an attractive and vibrant place in the community. Therefore, the goals of the TLD Code are to provide a more functional and attractive community through the use of recognized principles of urban design and allow property owners flexibility in land use, while prescribing a higher level of detail in building design and form. Because of Trinity Lakes’ adjacency to the TRE Rail Line, the plan and code are declared to be “rail-ready,” in the event that Trinity Lakes becomes attractive as a future station on the TRE.

1.3 Economic Development

The TLD Code and corresponding standards are created to support economic development, create a sustainable tax base, and implement job creation by establishing adjacency predictability of private development that supports and leverages investment in and around Trinity Lakes in East Fort Worth.

1.4 Establishment of Specific Development Standards

The TLD Code implements the vision for Trinity Lakes as established in the Regulating Plan (Appendix A & B). Creation of different Character Zones within the area enables specific site and location standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote adjacency predictability, flexibility in land use, walkable mixed-use development, transitions to existing neighborhoods, and transportation choice.

II. Components of the TLD Code

2.1 The Regulating Plan

The Regulating Plan for the area shall be the official zoning map. It shall establish the following standards for all lots within the zone:

2.1.1 Character Zones– Trinity Lakes is distinguished into different “Character Zones”. Each Character Zone is intended to create a distinct urban form different from another Character Zone. Each Character Zone shall establish use and building standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the area into one of six Character Zones.

2.1.2 Street Designations by Type– The Street Designations on the Regulating Plan include Main Street, Avenue, Neighborhood Street, Mixed Use

General, and Park Edge within Trinity Lakes. In addition, streets are distinguished by the appropriate development context by denoting them on the Regulating Plan as Type 'A' or Type 'B' Streets.

2.1.3 Required and Recommended Street Network - The Required and Recommended Street Network specifies the future streets needed to implement the Trinity Lakes Development Regulating Plan. The Required Streets shall be mandatory and shall generally meet the locational and connectivity goals of the Regulating Plan. The Recommended Streets are not mandatory and are at the election of the developer. Their design shall be guided by the Street Designations.

2.1.4 Required Open Space – The Required Open Space on the regulating plan consists of required open spaces such as parks, plazas, pedestrian paseos and lakeside frontages within the area.

2.1.5 Special Frontage Standards - The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.

2.2 Development Standards: The TLD Code (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Frontage Types, building form, landscape, building design, signage, and lighting.

2.3 Using This Code

The following basic steps should be followed to determine the uses and development standards applicable on property within the Trinity Lakes area:

2.3.1 Locate the subject property on the Trinity Lakes Regulating Plan (Appendix A & B).

2.3.2 Identify:

- (i) the Character Zone in which the property is located; and,
- (ii) the Street Type designation along all its street frontages.

2.3.3 Review the Schedule of Uses by Character Zone as listed in Table 5.1 to determine allowed uses.

2.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section VI to determine the applicable development standards and any Special Frontage standards.

2.3.5 Refer to Section VIII for Building Design Standards.

The information from the above specified steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it. For more specific dimensions and standards applicable to a particular property, consult with city staff.

III. Administration

3.1 Applicability

- 3.1.1 The uses and buildings on all land within Trinity Lakes zoning classification shall conform exclusively to this TLD Code.
- 3.1.2 Provisions of this TLD Code are activated by “shall” when required; “should” when recommended; and “may” when optional.
- 3.1.3 The provisions of this TLD Code, when in conflict, shall take precedence over those of other City of Fort Worth codes, ordinances, regulations and standards as amended except as noted herein. Development under this Code, shall comply with the Neighborhood and Community Park Dedication Policy and in accordance with this policy the Developer will work with the Parks and Community Service Department to create a mutually acceptable Trinity Lakes Park Plan.
- 3.1.4 The development standards under Chapter 6 the City of Fort Worth Zoning Ordinance, as amended, shall not apply to Trinity Lakes except as specifically referenced herein. Development standards not addressed in this Code shall be governed by the City of Fort Worth Zoning Ordinance to the extent they are not in conflict with the intent or text of the TLD Code.
- 3.1.5 Sign Standards under Chapter 6, Article 4 as amended, of the City of Fort Worth Zoning Ordinance, shall not apply to the area except as specifically referenced herein. Sign standards not addressed in this Code shall be governed by the City of Fort Worth Sign Ordinance and Sign Code to the extent they are not in conflict with the intent or text

of the TLD Code and are not prohibited in the TLD Code.

- 3.1.6 Terms used throughout this Code are defined in *Section 11. Definitions*. For those terms not defined in *Section 11. Definitions*, Chapter 9, Definitions of the City of Fort Worth Zoning Ordinance shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- 3.1.7 Where in conflict, numerical metrics shall take precedence over graphic metrics.
- 3.1.8 Projects Subject to Review: All private development projects are subject to review by the Development Services Department, the Urban Design Commission (UDC), Appeals Board, and/or the City Council (CC) for compliance with this Code. All buildings, streets, and public spaces by public entities are also subject to review.

3.2 Development Review Process

- 3.2.1 Administrative Review versus UDC Review: Projects that are supported by the operating Trinity Lakes management group with written documentation and are clearly consistent with all applicable development principles and clearly conform to all standards may be approved administratively by the Development Services Director or his/her designee without UDC review. The UDC shall review projects that require interpretation or discretionary judgment with respect to the project’s compliance with standards. Appeals to UDC judgments shall be heard by the Appeals Board. The Development Services Director or designee shall be responsible for the following:

- (i) Reviewing site plan applications for compliance with the requirements of TLD Code.
 - (ii) Approving site plan applications that are in compliance with the requirements of the TLD Code.
 - (iii) Approving revisions to previously approved site plans that comply with this Code and all applicable city ordinances.
 - (iv) Approving any minor modifications to the approved Regulating Plan and Code per Section 3.2.2.
 - (v) Forwarding any appeals to the decision of the Development Services Director and/or major modifications to the UDC.
 - (vi) Forwarding any appeals to the decision of the UDC to the Appeals Board.
- 3.2.2 Minor Modifications to the TLD Code: The Development Services Director shall have the authority to approve a request for minor modifications to the TLD Code that:
- (i) Does not materially change the circulation and building location on the site;
 - (ii) Does not increase the building area permitted under this Code;
 - (iii) Does not change the relationship between the buildings and the street;
 - (iv) Does not allow greater height of any building or reduction of any parking requirement established in this Code; or
 - (v) Does not change any required element of the Regulating Plan beyond the thresholds established in Table 3.1 below
- Any appeals to the decisions of the Development Services Director on minor modifications shall be heard by the UDC. Any appeals to the decisions of the UDC shall be heard by the Appeals Board.

Table 3.1 Minor Modifications Allowed

Standard	Minor Modification Allowed	Criteria
Area/boundary of Character Zones	No more than a 50% change (increase or decrease) in the area of any Character Zone (aggregate or per block)	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • Shall not change the overall boundary of the Regulating Plan • 50% measurement shall be based on the total area of that specific Character Zone within the entire Corridor
Location of any Required Street	May be realigned no more than 200' in any direction compared to the Regulating Plan alignment	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones 	No more than a 25% change in the maximum or minimum setback.	<ul style="list-style-type: none"> • Changes to the build to zones and setbacks may only be due to any changes to the street cross sections, changes in the width of a sidewalk, or additions of forecourts or outdoor patio/sidewalk cafe seating. • In the Transition Zone, the build to zone may be adjusted to accommodate efficient drive through facilities. The drive through facility shall adhere to screening requirements. • In no case shall the sidewalk in the pedestrian easement be less than 6 feet in width • In no case shall off-street surface parking be permitted between the building and the sidewalk along a Type 'A' Street frontage.
<ul style="list-style-type: none"> • Building Frontage 	No more than a 25% reduction in the required building frontage along each block of a Required Street.	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to accommodate porte-cocheres for drop-off and pick-up.
Street Cross Sections and Streetscape standards	<p>Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, and pedestrian accommodation</p> <p>Street tree planting, street lighting, and other streetscape elements may be adjusted based on the development context and street cross section.</p>	<ul style="list-style-type: none"> • Any changes to the street cross sections or streetscape standards shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.
Required Open Space	Any required public open space may be adjusted by no more than 25%.	<ul style="list-style-type: none"> • Changes shall be based on total acreage.
Any numerical standard, not listed above and established in this Code	May be modified (increased or decreased) no greater than 10%	<ul style="list-style-type: none"> • Any modification to numerical standards shall still be in keeping with the purpose and intent of the TLD code.

- 3.2.3 A request for a modification to any of the standards of this Code other than minor modifications permitted under Section 3.2 shall be reviewed and processed as a text amendment. In evaluating an amendment, the approval body shall consider the extent to which the application meets any of the following:
- (i) Provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - (ii) Fits the adjoining context by providing appropriate transitions.
- 3.2.4 Standard for Approval of Development Applications: The Development Services Director or UDC shall approve all site plans for development that are clearly consistent with applicable development standard(s).
- 3.2.5 Plat Approval: The City of Fort Worth Subdivision Ordinance standards shall apply for the plat approval process.
- 3.2.6 Variances to Zoning Property Development Standards: The UDC is authorized to approve appropriate exceptions to the Code, provided a project complies with the purpose and intent. The UDC may allow additional flexibility for projects of exceptional civic or environmental design. Any change to dimensional standards beyond the minor modifications in Table 3.1 related to building heights or setbacks, however, requires a variance approved by the Board of Adjustment.
- 3.2.7 Waivers to standards within the Subdivision Ordinance beyond those allowed by this Code shall require approval by the City Plan Commission.

- 3.3 Amendments to the Regulating Plan and/or Zoning Text:** Amendments and changes to the Regulating Plan, text and property boundaries shall be considered by the UDC and Zoning Commission and approved by the City Council in accordance with the procedure set out in Chapter 3, Article 5 of the City of Fort Worth Zoning Ordinance.

IV. The Regulating Plan

- 4.1 Adoption of the Regulating Plan:** The Trinity Lakes Regulating Plan (Appendix A and B) is hereby adopted as the official zoning map for the area. Within any area subject to the approved Regulating Plan, this TLD Code becomes the exclusive and mandatory regulation.

4.2 Establishment of Character Zones

The following Character Zones are established. The designation of the specific Character Zone shall be established in the Regulating Plan (Appendix A and B).

4.2.1 Boulevard Mixed Use – The Boulevard Mixed Use Zone is intended to create a vibrant, mixed-use area that leverages Trinity Boulevard as a “Complete Street,” supporting multi modal traffic and linking other regional destinations. The Boulevard Mixed Use Zone will serve as the much-needed commercial node for the local community. Development within the Boulevard Mixed Use Zone shall meet the Building Form and Development Standards in Section 6.1 of this TLD Code.

4.2.2 Village Mixed Use – The Village Mixed Use Zone is intended to create opportunities for local small scale, retail and restaurant, and higher density residential (apartments, townhouses, multi-unit homes, live-work) development. This area is envisioned as a peaceful place to bring family and

- friends to enjoy a walk or a conversation while dining outdoors and along the lake. This area is intended to take advantage of the lake side views by developing small scale retail and restaurants along the lake edge and higher density residential development that are able to take advantage of lake views. Development within the Village Mixed Use Zone shall meet the Building Form and Development Standards in Section 6.2 of this TLD Code.
- 4.2.3 Highway Mixed Use – The Highway Mixed Use Zone is intended to create opportunities for large scale development office and residential uses including lodging uses that take advantage of visibility and access from I-820. Office development will compliment other development in Trinity Lakes through architecture and scale. Development will transition from higher intensity along the highway to the lower scale development within the Trinity Lakes development. Office development will also include an appropriate transition from the noise and activity on the I-820 expressway, to the neighborhoods in Trinity Lakes. Development in the zone shall meet the Building Form and Development Standards in Section 6.3 of this TLD Code.
- 4.2.4 Campus Commercial – The Campus Commercial Zone is intended to create an employment center based on market opportunities. The development is envisioned as a campus environment that also compliments the moderate scale of the adjacent development. Development will be integrated into a street network that is compatible with the planned street network connections. The focus of the Campus Commercial Zone is to maximize the potential to create a regional employment destination with easy access to regional highways, thoroughfares and the extensive trail network.
- Development within the Campus Commercial Zone shall meet the Building Form and Development Standards in Section 6.4 of this TLD Code.
- 4.2.5 Transition – The Transition Zone is intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhouses, multi-unit homes, patio homes, etc) transitions between higher intensity development and the existing and proposed neighborhoods. Transition standards will emphasize keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a parks and open spaces accessible to the public. Development within the Transition Zone shall meet the Building Form and Development Standards in Section 6.5 of this TLD Code.
- 4.2.6 Neighborhood – The Neighborhood Zone is intended to provide for a range of residential uses and building types (low-density apartments, live-work, townhouses, multi-unit homes, patio homes, cottage homes, estate homes, etc.) along the southern edge of the Trinity Lakes Development. Development will connect to the existing regional trail network and allow that network to feed into the local trails of Trinity Lakes. The open space to the south is envisioned as an amenity and provides exposure to the trail system in order for it to be used in a meaningful way. Development within the Neighborhood Zone shall meet the Building Form and Development Standards in Section 6.6 of this TLD Code.

4.3 Street Designations – The following Street Designations shall be established for all streets within the TLD:

4.3.1 Type ‘A’ Streets Established – Type ‘A’ Streets are intended to be the primary pedestrian streets and buildings along Type ‘A’ Streets shall be held to the highest standard of pedestrian-oriented design. The Type ‘A’ Streets are Main Street, and Neighborhood Street Type ‘A’ as identified in the Regulating Plan.

4.3.2 Type ‘B’ Streets Established – Type ‘B’ Streets are intended to balance pedestrian orientation with automobile orientation. Buildings along Type ‘B’ Streets may be permitted to accommodate some service and auto-related functions. The Type ‘B’ Streets are Avenue, Neighborhood Street Type ‘B’ and Park Edge as identified in the Regulating Plan.

4.4 Required Streets by Street Type – The Street Network indicates required and recommended streets needed to implement the Trinity Lakes Illustrative Master Plan. The Regulating Plan designates the type and location of streets. All new streets in Trinity Lakes shall meet the street design standards established in Section VII herein.

4.5 Special Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontage Requirements as established in the Regulating Plan shall apply:

4.5.1 Lakeside Frontage: Ground floors of all buildings designated as Lakeside Frontage on the Regulating Plan shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 30 ft. as measured from the front building line. Buildings along the lakeside frontage shall not exceed two (2) stories.

4.5.2 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicapped accessibility, and first floor elevation flush with the sidewalk.

4.5.3 Campus Commercial Height Transition: Building height of all buildings designated as Campus Commercial Height Transition on the Regulating Plan shall be limited to 6 stories. The intent for this is to appropriately transition the heights of the adjacent zones to the taller buildings in the Campus Commercial Zone.

4.6 Required Open Space – The Regulating Plan indicates required Open Spaces based on the Illustrative Master Plan. The specific standards for Open Space are established in Section X: Open Space Design Standards.

4.7 Gas Wells – The Regulating Plan indicates existing Gas Well locations. If development other than civic/open space is desired, an amendment shall be filed in order to submit a revised plan for the specific location, according to Section 3.2.3 of this Code.

V. Schedule of Permitted Uses

5.1), but are substantially similar, may be permitted upon approval of the Development Services Director or his/her designee, subject to Appeals Board for appeal.

5.1 Applicability: Due to the emphasis on urban form over land uses in the District, general use categories have been identified by Character Zone. Uses not listed in the following schedule (Table

Table 5.1 – Schedule of Uses							
	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
Land Use							
Residential Uses							
Household Living	One-family detached dwelling	NP	NP	NP	NP	P	P
	One-family attached (townhouse, rowhouse)	NP	P	NP	NP	P	P ¹
	Manor Home	NP	P	NP	P	P	P/C
	Multifamily dwelling apartment	P	P	P	P	P	NP
	One dwelling unit when part of a business (Loft or Live-Work)	P	P	P	P	P	NP
Public & Civic Uses							
Education	College or University	NP	NP	P	P	NP	NP
	Day care center (child or adult)	NP	P	P	P	P	NP
	Kindergarten	P	P	P	P	P	p
	School, elementary or secondary (public or private)	P	P	P	P	P	P
	Business college or commercial school	NP	NP	P	P	NP	NP
Government	Government office facility	NP	NP	P	P	P	NP
	Museums and other special purpose recreational institutions	NP	NP	P	P	NP	NP
	Museum, library or fine art center	NP	NP	P	P	NP	NP
Healthcare Facilities	Assisted living facility	NP	NP	P	P	P	NP
	Blood bank	NP	NP	P	P	NP	NP
	Care facility	P	NP	P	P	P	NP
	Health services facility; including doctor's office or medical clinic	P	P	P	P	P	NP
	Hospice	NP	NP	NP	P	NP	NP
	Hospital	NP	NP	NP	P	NP	NP
	Massage Therapy and Spa	P	P	P	P	P	NP
Nursing home (with full medical services)	NP	NP	P	P	P	NP	
Recreation	Center, community recreation or welfare	P	NP	P	P	NP	NP
	Center, community recreation or welfare, private or non-profit	P	NP	P	P	NP	NP
	Park or playground (public or private)	P	P	P	P	P	P

¹ Maximum of 8 attached units in a lot

Table 5.1 – Schedule of Uses

		Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
Religious	Place of worship		P	P	P	P	P	P
	Place of worship auxiliary use		P	NP	P	P	NP	NP
Utilities	Telecommunications antenna (on structure)		P/C	NP	P/C	P/C	NP	NP
	Telecommunications tower		P/C	NP	P/C	P/C	NP	NP
Commercial Uses								
Entertainment and Eating	Amusement, indoor		P	P	P	P	NP	NP
	Amusement, outdoor		P	P	P	P	NP	NP
	Bowling alley		P	P	P	P	NP	NP
	Bar, tavern, cocktail lounge; club, private or teen		P	P	P	P	NP	NP
	Club, commercial or business		P	P	P	P	P	NP
	Drive-in restaurant or business		P/C	NP	NP	P/C	P/C	NP
	Bingo Parlor		P	P	P	P	P	NP
	Health or recreation club		P	P	P	P	P	NP
	Indoor recreation		P	P	P	P	P	NP
	Lodge or civic club		P	P	P	P	P	NP
	Massage parlor		P	P	P	P	P	NP
	Restaurant, café, cafeteria		P	P	P	P	P	NP
Swimming pool, commercial			P	NP	P	P	NP	NP
	Theater, drive-in		NP	NP	NP	P	NP	NP
Theater, movie theater or auditorium			P	P	P	P	NP	NP
			NP	NP	NP	NP	P	P
Lodging	Bed and breakfast inn		NP	NP	NP	NP	P	P
	Hotel, motel or inn		P	P	P	P	NP	NP
Office	Bank, financial institution		P	P	P	P	P	NP
	Offices		P	P	P	P	P	NP
Retail Sales and Service without drive through services	Antique shop		P	P	P	P	P	NP
	Appliance, sales, supply or repair		P	P	P	P	P	NP
	Bakery		P	P	P	P	P	NP
	Barber or beauty shop		P	P	P	P	P	NP
	Book, stationary stores or news stand		P	P	P	P	P	NP
	Burglar alarm sales and service		P	P	P	P	P	NP
	Caterer or wedding service		P	P	P	P	P	NP
	Clothing/wearing apparel sales, new		P	P	P	P	P	NP
	Clothing/wearing apparel sales, used		P	P	P	P	P	NP
	Convenience store		P	P	P	P	P	NP
Copy store or commercial print without off-set printing		P	P	P	P	P	NP	

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Dance studio	P	P	P	P	P	NP
	Dressmaking, custom; millinery shop	P	P	P	P	P	NP
	Duplicating services	P	P	P	P	P	NP
	Farmer’s Market	P	P	P	P	P	NP
	Furniture sales, new and used (office & residential) in a building	P	P	P	P	P	NP
	Furniture upholstery, refinishing or resale	P	P	P	P	P	NP
	General merchandise store	P	P	P	P	P	NP
	Greenhouse or plant nursery	P	NP	P	P	P	NP
Retail Sales and Service <u>without</u> drive through services	Grocery store	P	NP	NP	P	NP	NP
	Home improvement store	P	P	P	P	P	NP
	Interior decorating	P	P	P	P	P	NP
	Large retail store	P	NP	P	P	NP	NP
	Laundry or dry cleaning collection office	P	P	P	P	P	NP
	Leather goods shop	P	P	P	P	P	NP
	Locksmith	P	P	P	P	P	NP
	Medical supplies/equipment sales or rental	P	P	P	P	P	NP
	Mortuary or funeral home	P	P	P	P	P	NP
	Newspaper distribution center	P	P	P	P	P	NP
	Optician	P	P	P	P	P	NP
	Pawn shop	P	P	P	P	P	NP
	Pharmacy (drug store)	P	P	P	P	P	NP
	Photograph, portrait/camera shop or photo finishing	P	P	P	P	P	NP
	Recording studio	P	P	P	P	P	NP
	Retail sales, general	P	P	P	P	P	NP
	Saddle or harness, repair or sales	P	P	P	P	P	NP
	Shoe shine shop	P	P	P	P	P	NP
	Studio, art or photography	P	P	P	P	P	NP
	Tailor, clothing or apparel shop	P	P	P	P	P	NP
Veterinary clinic w/indoor kennels	P	NP	P	P	P	NP	
Vehicle Sales and Service <u>with</u> drive through facilities	Auto parts supply, retail	P/C	NP	NP	P/C	P/C	NP
	Automotive repair; paint and body shop	P/C	NP	NP	P/C	P/C	NP
	Car wash, full or self service	P/C	NP	NP	P/C	P/C	NP
	Gasoline sales	P/C	NP	NP	P/C	P/C	NP
	Parking area or garage, storage commercial or auxiliary	P	P/C	P	P	P/C	NP

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Service station	P/C	NP	NP	P/C	P/C	NP
Light Industrial							
Light Industrial Services	Assembly of pre-manufactured parts, except for vehicles, trailers, airplanes or mobile homes	NP	NP	NP	P/C	NP	NP
	Food processing (no slaughtering)	NP	NP	NP	P/C	NP	NP
	Furniture or cabinet repair or construction	NP	NP	NP	P/C	NP	NP
	Furniture sales, with outside storage/display (new/used)	NP	NP	NP	P/C	NP	NP
	Manufacture of artificial flowers, ornaments, awnings, tents, bags, cleaning/polishing preparations, boats under 28ft in length, brooms or brushes, buttons and novelties, canvas products, clothing, suits, coats, or dresses for wholesale trade	NP	NP	NP	P/C	NP	NP
	Monument/marble works, finishing and carving only	NP	NP	NP	P/C	NP	NP
	Monument works, stone	NP	NP	NP	P/C	NP	NP
	Paint mixing or spraying	NP	NP	NP	P/C	NP	NP
	Paper box manufacture	NP	NP	NP	P/C	NP	NP
	Pattern shop	NP	NP	NP	P/C	NP	NP
	Printing, lithographing, book-binding, newspapers or publishing	NP	NP	NP	P/C	NP	NP
	Rubber stamping, shearing/punching	NP	NP	NP	P/C	NP	NP
Sheet metal shop	NP	NP	NP	P/C	NP	NP	
Welding shop, custom work (not structural)	NP	NP	NP	P/C	NP	NP	
Heavy Industrial							
Heavy Industrial Manufacturing and Transit	Brewery, distillery or winery	NP	NP	NP	P/C	NP	NP
	Passenger station	NP	P	NP	NP	NP	NP
	Wholesale: bakery, produce market or wholesale house	NP	NP	NP	P/C	NP	NP
	Wholesale office or sample room	NP	NP	NP	P/C	NP	NP
Other Uses							
Agriculture and Minerals	Community garden	P/C	P/C	P/C	P/C	P/C	P/C
	Gas Drilling & Production	P	P	P	P	P	P
Accessory Uses	Accessory use or building (for residential use)	NP	NP	NP	NP	P	P
	Incidental Outdoor Display (subject to standards in Section 7 of the Code)	P/A	P/A	P/A	P/A	P/A	NP
	Satellite antenna (dish)	P	P	P	P	P	P
	Solar energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
	Wind energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Rainwater harvesting equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	

Table 5.1 – Schedule of Uses

	Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood
	Utility equipment (includes electrical transformers, gas meters, etc)	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Temporary Uses	Amusement, outdoor (temporary)	P	P	P	P	NP	NP
	Batch plant, concrete or asphalt (temporary)	P	P	P	P	NP	NP
	Residence for security purposes, temporary	P	P	P	P	NP	NP
	Sales from kiosks	P	P	P	P	P	NP
	Special Event (subject to City's Special Events Ordinance)	P	P	P	P	NP	NP
	Trailer, portable; sales, construction or storage	P	P	P	P	P	P
	Vendor, Food, Non-Potentially Hazardous Food	P	P	P	P	NP	NP
	Vendor, Food, Potentially Hazardous Food	P	P	P	P	NP	NP
	Vendor, Merchandise	P	P	P	P	NP	NP
Vendor, Mobile Food Vendor Parks/Courts	P	P	P	P	NP	NP	

P= Permitted by right NP= Not Permitted

P/C = Permitted with Specific Criteria as established in Table 5.2

P/A = Permitted Accessory Use

P/A/C = Permitted Accessory Use with Specific Criteria as established in Table 5.2

5.2 Use Criteria: All uses listed as P/C in Table 5.1 shall also meet the following standards in Table 5.2

Table 5.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Non-Residential Uses		
Vehicle Sales and Service	Highway Mixed Use, Boulevard Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Gas pumps, canopies, and/or service bays shall not be located along any Type ‘A’ Street frontage. No more than 50% of a lot’s frontage along the Boulevard shall be occupied by gas pumps, canopies, and/or service bays. Any buildings associated with the use shall also have a pedestrian entrance at a Type ‘A’ Street and/or the Boulevard. No outdoor storage of vehicles or other products sold shall be permitted along Type ‘A’ Streets and the Boulevard. All auto-related sales display shall be inside storefronts or along Type ‘B’ Streets.
Parking area	Village Mixed Use, and Transition	<ul style="list-style-type: none"> Surface parking shall not be located at a street intersection for minimum of 30’ along each street. Street screening required along ‘A’ Streets Driveway access for parking lots shall be from ‘B’ Streets or alleys. Access from ‘A’ Streets or Trinity Boulevard shall be limited and only permitted when ‘B’ Street or alley access does not exist.
Any permitted use with a drive through facility	Highway Mixed Use, Boulevard Mixed Use, Campus Commercial, and Transition	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Trinity Boulevard only if the lot has no access to any Type ‘B’ Street. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type ‘A’ Street. Drive through areas screened by a 4’ high Street Screen along the Boulevard Drive through facilities shall meet the design standards in Section VIII of this code.
Utilities	Boulevard Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Ground floors along Type ‘A’ Streets shall be built to Commercial Ready Standards Service bays, loading, and unloading shall be along Type ‘B’ Street or driveway frontages only. Utility equipment, antennas, and other accessory equipment shall not be installed with frontage on Type ‘A’ Streets.
Telecommunication Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from adjacent Type ‘A’ Street.
Residential Uses		
Multi-family residential	Boulevard Mixed Use, Highway Mixed Use, and Campus Commercial	<ul style="list-style-type: none"> No residential uses shall be permitted on the ground floors of building with direct frontage along either Trinity Boulevard or IH 820 Frontage Road. Residential uses are permitted on the ground floors of building with all other street and interior driveway frontages.

Table 5.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Manor Home	Neighborhood	<ul style="list-style-type: none"> • No more than 4 units permitted. • Building must appear to be one large house with one front door, although additional side and/or rear doors are permitted. • Parking must be from a rear driveway or alley and garages must not face directly onto a public street
Other Uses		
Electrical equipment, appliance, and components assembly and manufacturing Light Industrial Services and assembly uses Heavy Industrial Manufacturing Wholesale Trade establishment	Campus Commercial	<ul style="list-style-type: none"> • No outdoor storage permitted • Ground floors along Type 'A' Streets shall be built to Commercial Ready Standards • Service bays, loading, and unloading shall be along Type 'B' Street or driveway frontages only.
Community Garden	All Zones	<ul style="list-style-type: none"> • Shall be no larger than 1.0 acre. • Gardens shall be enclosed by a fence on all open sides; where it is not enclosed by a building. • Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges. • Fencing Materials: <ul style="list-style-type: none"> ○ <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel ○ <u>Not permitted</u>: chain link, barbed wire, vinyl, un-painted/stained pressure treated wood, plywood • Specific to the Village Mixed Use Character Zone – shall be permitted as an interim use of property (3-yr increments)
Rain water harvesting equipment	All Zones	<ul style="list-style-type: none"> • Rain water harvesting equipment may not be installed along Type 'A' Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> • A mutually acceptable site location of utility equipment will be determined during the design and platting process through a discussion with the appropriate utility provider.

VI. Building Form and Development Standards

6.1 Boulevard Mixed Use

6.1.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Boulevard Mixed Use Zone form and development standards are intended to address development along Trinity Boulevard. Development standards in this frontage type are intended to create a vibrant, mixed-use area that leverages Trinity Boulevard as a "Complete Street" supporting multimodal traffic and linking other regional destinations. The Boulevard Mixed Use area will serve as the well-needed commercial activity area for the local community.

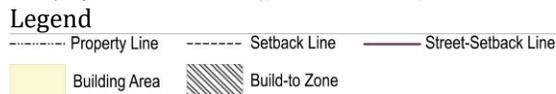
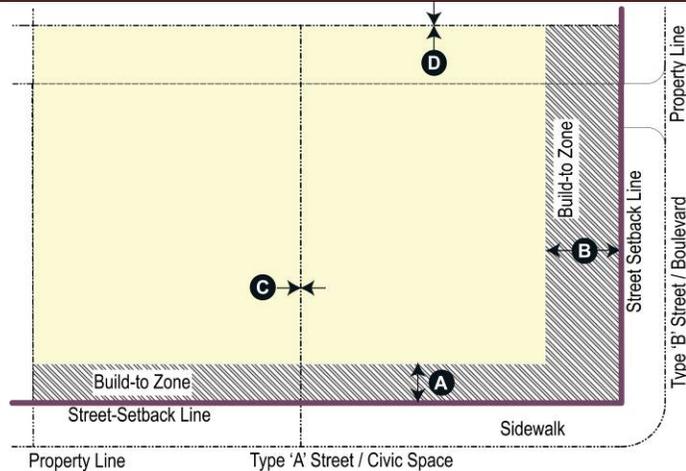
Generally, this frontage type may accommodate large-format retail or office sites with surface parking along the Trinity Boulevard frontage. The goal is to minimize the impact of large, surface parking lots and discourage the "big-box" look.

In addition, the site shall be planned in such a manner as to facilitate a more urban block infill development pattern with respect to building pads, parking, driveways, and service areas.



Images of large-format retail and office development with appropriate frontages along Trinity Boulevard and the Main Street.

6.1.2 Building Placement



(i) Street Setback Line (SSL) (Distance from center line of street cross section to edge of the BTZ)	
Main Street	46 ft.
Avenue	42 ft.
Park Edge Street	32 ft.
Neighborhood Street Type A	34 ft.
Mixed Use General Street	30 ft.
Type B	
(ii) Build-to Zone (BTZ) (measured from edge of SSL)	
Front (Type 'A' Street / Civic Space)	0' – 10' (see #1) A
Front (Boulevard / Type 'B' Street)	0' – 75' (see #2) B
Side and Rear (from property line)	0' (see #3) C D
(iii) Building Frontage	
% of building built to Type 'A' Street BTZ	70% (min.) (see #4 and #7)
% of building built to Boulevard /Type 'B' Street BTZ	25% (min.) (see #4 and #7)

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk along Type 'A' streets.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

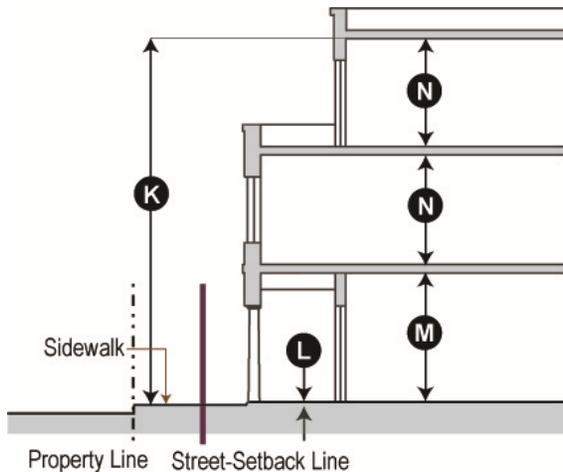
#3 – Side and rear build-to-zone shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 20' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures. Where buildings fall within the Main Street Frontage, those standards shall apply.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.1.3 Building Height



Principal Building Standards

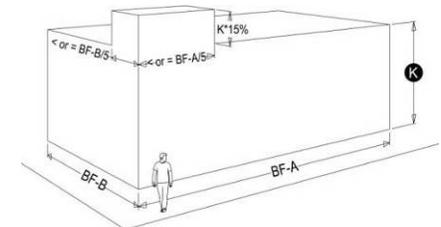
Building Maximum	6 stories (max.) (see #6 and #8) K
First floor to floor height	15' (min.) (see #5) M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings) L
Upper floor to floor height	10' (min.) (see #5) N

6.1.4 Commercial Frontage Standards

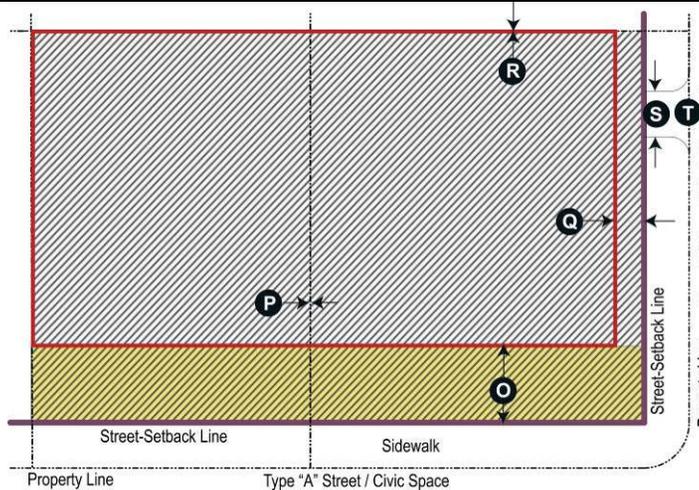
Ground floors of all buildings fronting on Trinity Boulevard or within the Main Street Frontage area shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.1.5 Parking and Service Areas **6.1.6 Other Standards**



Legend

- Surface Parking Area
- Building Footprint
- Street-Setback Line
- Above Grade Parking Area
- Property Line

(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Trinity Boulevard and Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Trinity Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 18)	P R

6.1.6 Other Standards

- (i) Canopies, signs, awnings and balconies
 1. Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 2. Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:
 1. Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 2. The minimum interior clearance height within an arcade or colonnade shall be 12'.

(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space per 300 sq.ft.
Lodging Uses	1 space per lodging room
Residential Uses	1 space/unit

6.1.7 Façade Elements

(iii) Driveways and Service areas

- (i) Doors and Windows:
 1. There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street, Trinity Boulevard and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 2. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 3. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and Trinity Boulevard. There shall be no requirement along all other streets.
 4. Primary entrance doors for all buildings shall be on a Type 'A' Street or Trinity Boulevard.
- (ii) Façade Articulation: Along Trinity Boulevard and Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

Driveway Widths	Along I-820, TxDOT Standards apply. City of Fort Worth Standards on Trinity Blvd and 24 feet max. on all other streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		T

6.2 Village Mixed Use

6.2.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Village Mixed Use Zone building form and development standards are intended to address development along the lake side with Trinity Lakes. Development standards in this character zone are intended to take advantage of its location as a central lake side development location.

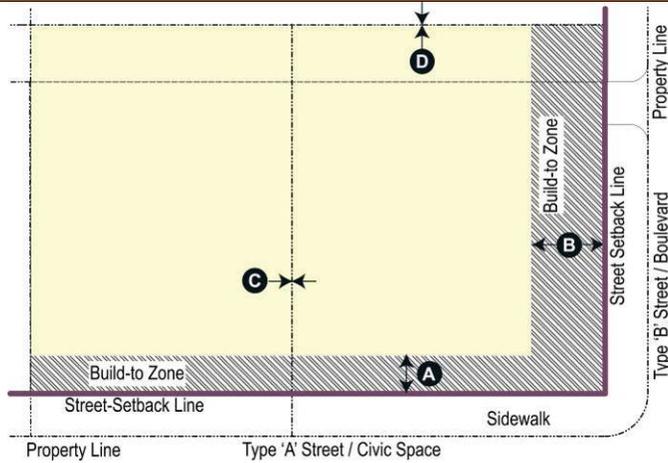
Generally, this character zone creates opportunities for local small scale, retail and restaurant, and medium scale residential (apartments, townhouses, multi-unit homes, live-work) development. This area is envisioned as a peaceful place to bring family and friends to enjoy a walk or a conversation while dining outdoors

In addition, the site shall take advantage of the lake side views by developing small scale retail and restaurants along the lake edge and higher residential development that are able take advantage of lake views.



A lakeside frontage building with façade facing the lake (left) and two corner buildings with tower elements to signify the entrance into a significant area (right).

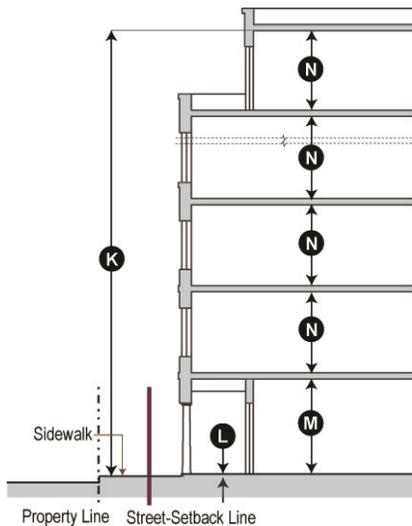
6.2.2 Building Placement



Legend

	Property Line		Setback Line		Street-Setback Line
	Building Area		Build-to Zone		

6.2.3 Building Height



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)

Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.

(ii) Build-to Zone (BTZ) (measured from edge of SSL)

Front (Type 'A' Street / Civic Space)	5' – 10' (see #1)	A
Front (Boulevard/ Type 'B' Street)	0 – 75' (see #2)	B
Side and Rear (from property line)	0' (see #3)	C D

(iii) Building Frontage

% of building built to Type 'A' Street BTZ	90% (min.) (see #4 and #7)
% of building built to Type 'B' Street BTZ	40% (min.) (see #4 and #7)

Notes

- #1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.
- #2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.
- #3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #4 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to-zone standards.
- #5 – Floor to floor heights shall not apply to parking structures. Where buildings are within the Lakeside Frontage, Section 6.2.6 shall apply.
- #6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

Principal Building Standards

Building Maximum	6 stories (max.) (see #6 and #8)	K
First floor to floor height	15' (min.) (see #5 and 6.2.6)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)	L
Upper floor to floor height	10' (min.) (see #5)	N

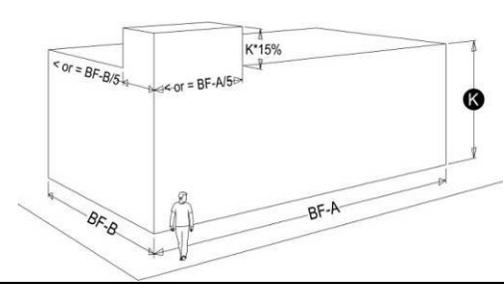
6.2.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Trinity Blvd. shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

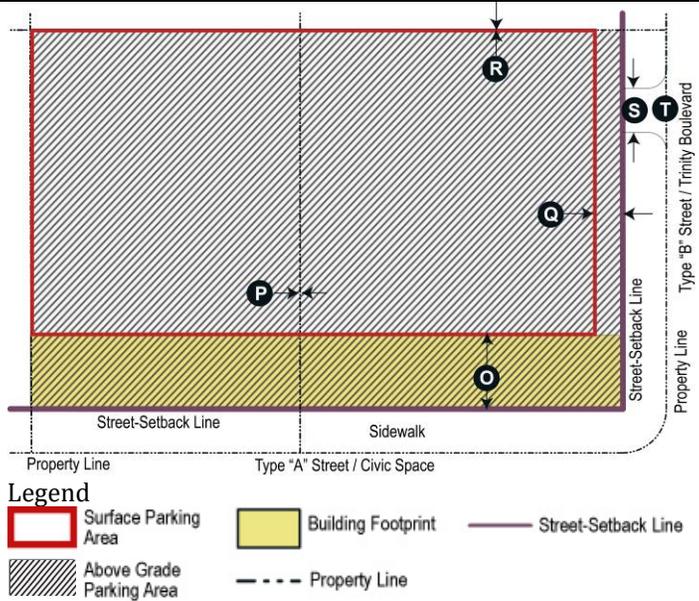
6.2.5 Lakeside Frontage Standards

- The following standards shall apply for buildings within the Lakeside Frontage:
- i. Maximum of 2 stories within 30 feet of lakeside frontage areas.
 - ii. Minimum 12' clear for ground floor height

- #7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.
- #8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.2.6 Parking and Service Areas **6.2.7 Other Standards**



(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street, Pedestrian Passage and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg.21)	P R
(ii) Required Off-Street Parking Spaces		
Non-residential uses	1 space per 300 sq.ft	
Lodging Uses	1 space per lodging room	
Residential Uses	1 space/unit	

6.2.7 Other Standards

- (i) Canopies, signs, awnings and balconies
 1. Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 2. Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:
 1. Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 2. The minimum interior clearance height within an arcade or colonnade shall be 12'.

6.2.8 Façade Elements

(iii) Driveways and Service areas

- (i) Doors and Windows:
 1. There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 2. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 3. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 4. Primary entrance doors for all buildings shall be on a Type 'A' Street.
- (ii) Façade Articulation: Along Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

Driveway Widths	24 feet max. on all streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		

6.3 Highway Mixed Use

6.3.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

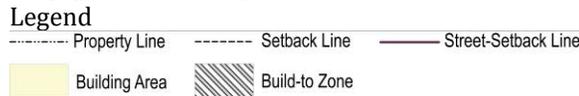
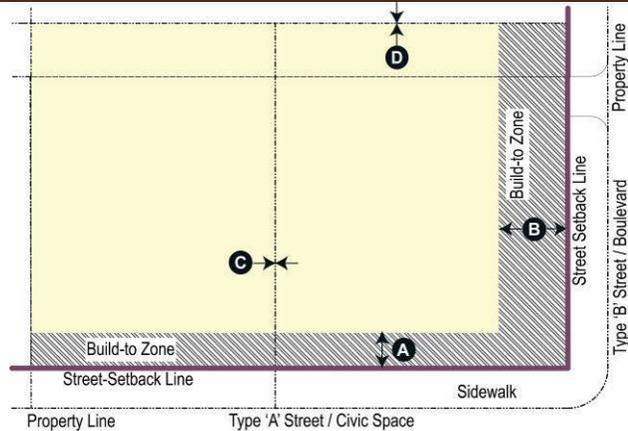
The Highway Mixed Use Zone building form and development standards are intended to create opportunities for large scale development for employment and residential uses that takes advantage of visibility from I-820. The office development will compliment other development in Trinity Lakes through architecture and scale.

Generally, this character zone will appropriately transition from the highway to the lower scale development within the Trinity Lakes development. Office development will allow an appropriate transition from the noise and activity that already occurs on the busy I-820 expressway.



Highway Mixed Use buildings with front facades oriented towards internal streets, buffer the highway from the community.

6.3.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)	
Main Street	46 ft.
Neighborhood Street Type A	34 ft.
Mixed Use General Street Type B	30 ft.
(ii) Build-to Zone (BTZ) (measured from edge of SSL)	
Front (Type 'A' Street / Civic Space)	5' – 10' (see #1) A
Front (Boulevard/ Type 'B' Street)	0' – 75' (see #2) B
Side and Rear (from property line)	0' (see #3) C D
(iii) Building Frontage	
% of building built to Type 'A' Street BTZ	90% (min.) (see #4 and #7)
% of building built to Type 'B' Street BTZ	30% (min.) (see #4 and #7)

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

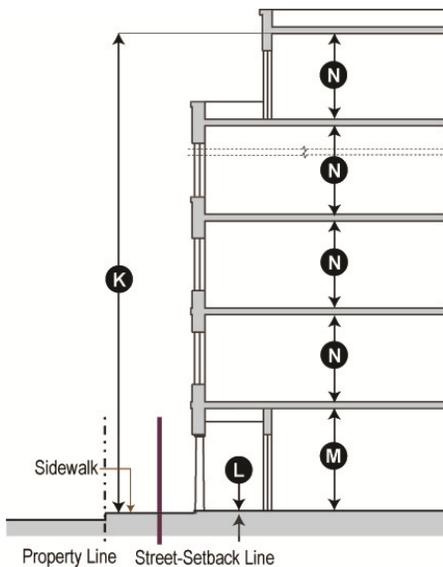
#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 20' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.3.3 Building Height



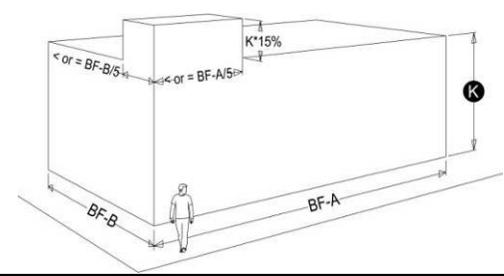
Principal Building Standards	
Building Maximum	6 stories (max.) (see #6 and #8) K
First floor to floor height	15' (min.) (see #5) M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings) L
Upper floor to floor height	10' (min.) (see #5) N

6.3.4 Commercial Frontage Standards

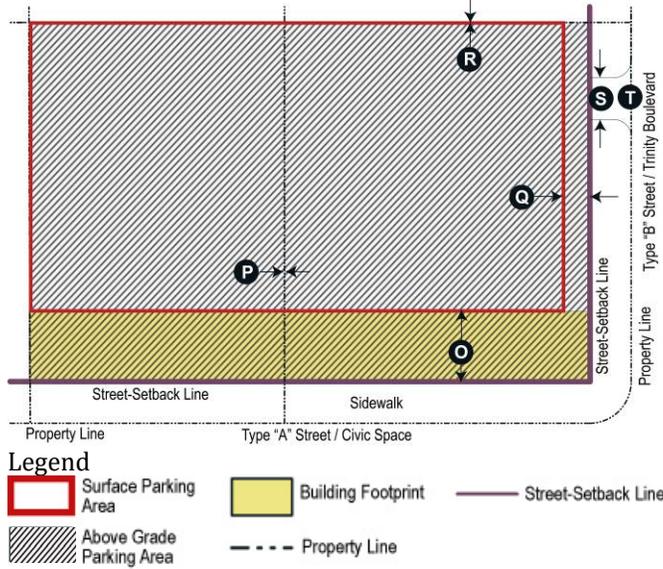
Ground floors of all buildings within the Main Street Frontage area shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicapped accessibility, and first floor elevation flush with the sidewalk.

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



6.3.5 Parking and Service Areas **6.3.6 Other Standards**



6.3.7 Façade Elements

- (i) Doors and Windows:
 1. There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width.
 2. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 3. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets.
 4. Primary entrance doors for all buildings shall be on a Type 'A' Street.
- (ii) Façade Articulation: Along Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.

(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q
Side and Rear setback (distance from property line)	0' (min.)	P R
Above Grade Parking		
Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street	
Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 24)	P R

(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space per 300 sq.ft.
Lodging Uses	1 space per lodging room
Residential Uses	1 space/unit

(iii) Driveways and Service areas

Driveway Widths	24 feet max. on all streets	S
Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		
		T

- (i) Canopies, signs, awnings and balconies
 1. Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.
 2. Building projections on all other facades may not be closer than 5' to any adjacent property line.
- (ii) Arcades and Colonnades:
 1. Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth.
 2. The minimum interior clearance height within an arcade or colonnade shall be 12'.

6.4 Campus Commercial

6.4.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

The Campus Commercial Zone building form and development standards are intended to create an employment center based on market realities. The development is envisioned as a campus environment, but also compliments the moderate scale of the adjacent development. It is expected that development be integrated into a street network that is compatible with the planned street network connections.

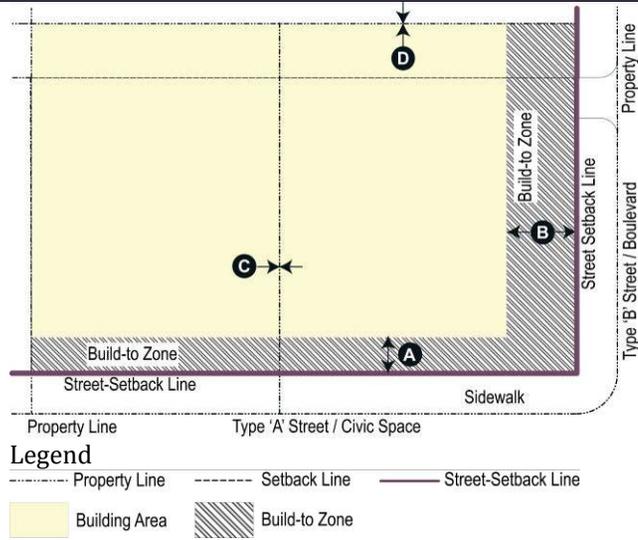
Generally, this character zone will maximize the potential to create a regional destination with easy access to regional highways, thoroughfares and trail network.

Appropriate frontages for the Campus Commercial Character Zone



Appropriate height variations for the Campus Commercial Zone

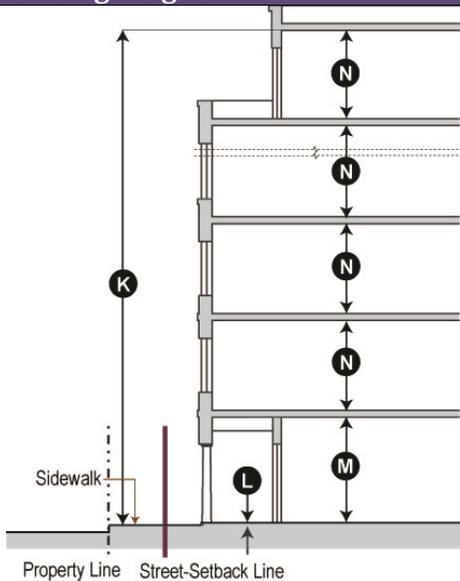
6.4.2 Building Placement



(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)			
Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.
(ii) Build-to Zone (BTZ) (measured from edge of SSL)			
Front (Type 'A' Street / Civic Space)	5' – 10' (see #1)		A
Front (Boulevard/ Type 'B' Street)	0' – 10' (see #2)		B
Side and Rear (from property line)	0' (see #3)		C D
(iii) Building Frontage			
% of building built to Type 'A' Street BTZ	80% (min.) (see #4 and #7)		
% of building built to Type 'B' Street BTZ	40% (min.) (see #4 and #7)		

- Notes**
- #1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.
 - #2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.
 - #3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
 - #4 – Corner building street facades shall be built to the BTZ a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
 - #5 – Floor to floor heights shall not apply to parking structures.
 - #6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.
 - #7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.
 - #8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.

6.4.3 Building Height

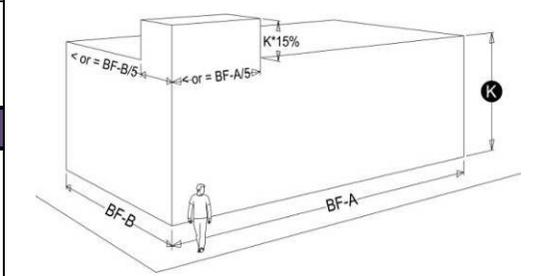


Principal Building Standards

Building Maximum	15 stories (max.) (see #6, #8 and 6.4.6)	K
First floor to floor height	15' (min.) (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)	L
Upper floor to floor height	10' (min.) (see #5)	N

6.4.4 Commercial Frontage Standards
Ground floors of all buildings fronting on Trinity Blvd. shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

6.4.5 Transition Overlay Standards
Within the Transition Overlay area, depicted on the Regulating Plan, buildings may not exceed 6 stories in height.



<p>6.4.6 Parking and Service Areas</p> <p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area (Red outline) Above Grade Parking Area (Hatched) Building Footprint (Yellow) Property Line (Dashed line) Street-Setback Line (Red line) 	<p>(i) Parking Location</p> <table border="1"> <tr> <td colspan="3">Surface/At Grade Parking</td> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td>Min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less</td> <td>Q</td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.)</td> <td>P R</td> </tr> <tr> <td colspan="3">Above Grade Parking</td> </tr> <tr> <td>Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space</td> <td>May be built up to the building façade line along that street</td> <td></td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.) (see #3, pg. 27)</td> <td>P R</td> </tr> </table> <p>(ii) Required Off-Street Parking Spaces</p> <table border="1"> <tr> <td>Non-residential uses</td> <td>1 space per 300 sq.ft</td> </tr> <tr> <td>Lodging Uses</td> <td>1 space per lodging room</td> </tr> <tr> <td>Residential Uses</td> <td>1 space/unit</td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	Min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less	Q	Side and Rear setback (distance from property line)	0' (min.)	P R	Above Grade Parking			Setback along Type 'A' Streets, Boulevard, Type 'B' Streets, or Civic Space	May be built up to the building façade line along that street		Side and Rear setback (distance from property line)	0' (min.) (see #3, pg. 27)	P R	Non-residential uses	1 space per 300 sq.ft	Lodging Uses	1 space per lodging room	Residential Uses	1 space/unit	<p>6.4.7 Other Standards</p> <p>(i) Canopies, signs, awnings and balconies</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. Building projections on all other facades may not be closer than 5' to any adjacent property line. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 12'. <p>(iii) Building Step Back</p> <ol style="list-style-type: none"> When a building extends beyond 5 stories, a step back of the building façade is required along the stories above the fifth (5th) story. The step back of the façade shall be no less than 10 feet from the building façade line.
Surface/At Grade Parking																													
Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O																											
Type 'B' Street setback	Min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less	Q																											
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<p>6.4.8 Façade Elements</p> <p>(i) Doors and Windows:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 50 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 100 feet in width. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets. There shall be no requirement along all other streets. Primary entrance doors for all buildings shall be on a Type 'A' Street. <p>(ii) Façade Articulation: Along the Type 'A' Street façades there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.</p>	<p>(iii) Driveways and Service areas</p> <table border="1"> <tr> <td>Driveway Widths</td> <td>24 feet max. on all streets</td> <td>S</td> </tr> </table> <p>Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.</p> <p>T</p>	Driveway Widths	24 feet max. on all streets	S																									
Driveway Widths	24 feet max. on all streets	S																											

6.5 Transition

6.5.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

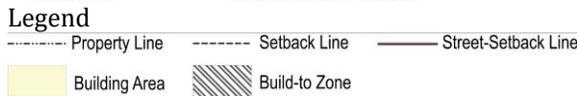
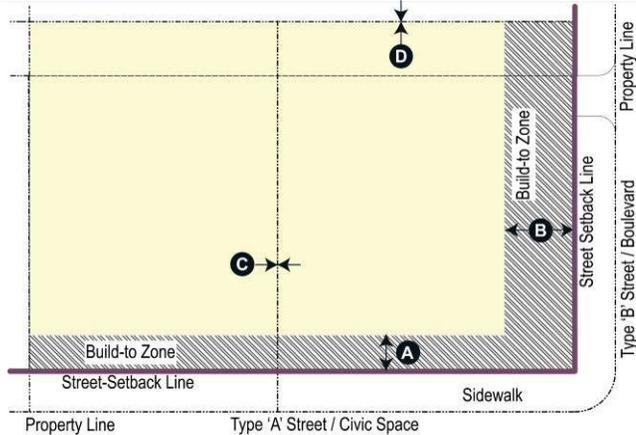
The Transition Zone building form and development standards are intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhomes, multi-unit homes, patio homes, etc.) transitions between higher intensity development and the existing and proposed neighborhoods.

Generally, this character zone emphasizes keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a park open to the public and open space.



Different building types and scale that is permitted in the Transition Character Zone.

6.5.2 Building Placement



<i>(i) Street Setback Line (Distance from center line of street cross section to edge of the BTZ)</i>			
Main Street	46 ft.	Neighborhood Street Type A	34 ft.
Avenue	42 ft.	Mixed Use General Street	30 ft.
Park Edge Street	32 ft.	Type B	
<i>(ii) Build-to Zone (BTZ) (measured from edge of SSL)</i>			
Front (Type 'A' Street / Civic Space)	5' – 20'		A
Front (Boulevard/ Type 'B' Street)	0' – 30'		B
Side and Rear (from property line)	0' (see #3)		C D
<i>(iii) Building Frontage</i>			
% of building built to Type 'A' Street BTZ	80% (min.) (see #4 and #7)		
% of building built to Type 'B' Street BTZ	20% (min.) (see #4 and #7)		

Notes

#1 – Area between the building and the edge of the BTZ at the sidewalk shall be paved flush with the public sidewalk.

#2 – The area between the building and the edge of the BTZ at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 20' on center (average), except at street intersections, where paving is optional up to 50' along the building façade. Species of the street trees shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

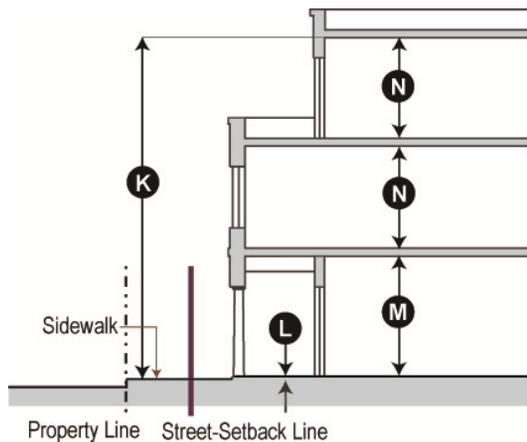
#3 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#4 – Corner building street facades shall be built to the BTZ for a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

#5 – Floor to floor heights shall not apply to parking structures.

#6 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

6.5.3 Building Height



Principal Building Standards

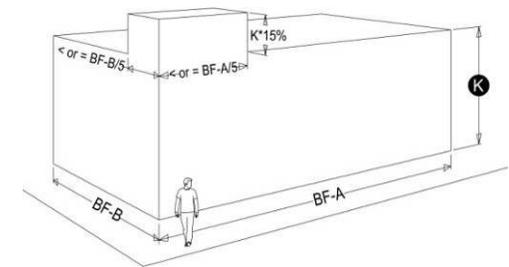
Building Maximum	4 stories (max.) (see #6 and #8)	K
First floor to floor height	15' (min.) for commercial 12' (min.) for residential (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Commercial Ready buildings)	L
Upper floor to floor height	10' (min.) (see #5)	N

#7 – Any frontage along all Type 'A' Streets and the Boulevard not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (Type 'A', Boulevard and Type 'B' Streets) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance. The required Street Screen shall be located at the setback line along the corresponding frontage.

6.5.4 Commercial Frontage Standards

Ground floors of all buildings fronting on Type 'A' Streets shall be built to Commercial Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.5.5 Parking and Service Areas</p>	<p><i>(i) Parking Location</i></p>	<p>6.5.6 Other Standards</p>																											
<p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area (Red dashed line) Property Line (Dotted line) Building Footprint (Yellow) Street-Setback Line (Red solid line) 	<table border="1"> <tr> <th colspan="3">Surface/At Grade Parking</th> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td>Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less</td> <td>Q</td> </tr> <tr> <td>Side and Rear setback (distance from property line)</td> <td>0' (min.)</td> <td>P R</td> </tr> <tr> <th colspan="3"><i>(ii) Required Off-Street Parking Spaces</i></th> </tr> <tr> <td>Non-residential uses</td> <td>1 space per every 300 square feet (gross)</td> <td></td> </tr> <tr> <td>Lodging Uses</td> <td>1 space per lodging room</td> <td></td> </tr> <tr> <td>Residential Uses</td> <td>1 space/unit</td> <td></td> </tr> <tr> <td>Accessory Dwelling Unit</td> <td>None Required</td> <td></td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	Min. of 3 feet behind the building facade line or 5 feet from the SSL along that street, whichever is less	Q	Side and Rear setback (distance from property line)	0' (min.)	P R	<i>(ii) Required Off-Street Parking Spaces</i>			Non-residential uses	1 space per every 300 square feet (gross)		Lodging Uses	1 space per lodging room		Residential Uses	1 space/unit		Accessory Dwelling Unit	None Required		<p>(i) Canopies, signs, awnings and balconies</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may extend over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. Building projections on all other facades may not be closer than 5' to any adjacent property line. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 12'. <p>(iii) Accessory Buildings, Accessory Dwelling Units and Garages:</p> <ol style="list-style-type: none"> Accessory Buildings and garages located at-grade shall be no taller than one (1) story with 12' maximum floor to floor height, except when an accessory dwelling unit is above. Accessory dwelling units located above garages or accessory buildings shall be no taller than one (1) story above the garage or accessory building with 12' maximum floor to floor height. The height of the accessory structure shall not exceed the height of the primary building. Where an alley is available, the accessory building, dwelling unit or garage shall be accessed from the alley. An accessory building shall have no more than two dwelling units. On corner lots, the accessory building, accessory dwelling unit or garage must align with the building façade line along the side street.
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<p>6.5.7 Façade Elements</p>	<p><i>(iii) Driveways and Service areas</i></p>																												
<p>(i) Doors and Windows:</p> <ol style="list-style-type: none"> There shall be no blank walls greater than 25 ft. in width along any Type 'A' Street and Type 'B' façade of any building. Along all other streets, there shall be no blank walls greater than 50 feet in width. Doors and windows on ground floor of all buildings shall be a minimum of 50% of the ground floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Windows on the upper floors shall be a minimum of 30% of each upper floor façade area along all Type 'A' Streets and the Boulevard. There shall be no requirement along all other streets. Primary entrance doors for all buildings shall be on a Type 'A' Street or the Boulevard. <p>(ii) Façade Articulation: Along the Boulevard façade there shall be a prominent entrance or corner element, articulated by a horizontal break of 3' max.</p>	<table border="1"> <tr> <td>Driveway Widths</td> <td>City of Fort Worth Standards on all streets</td> <td>S</td> </tr> <tr> <td>Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.</td> <td></td> <td>T</td> </tr> </table>	Driveway Widths	City of Fort Worth Standards on all streets	S	Driveways and off-street loading and unloading shall not be located on Type 'A' Streets. Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		T																						
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6.6 Neighborhood

6.6.1 Illustrations and Intent

Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific Building Form and Development Standards.

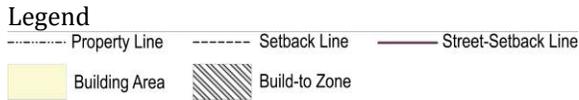
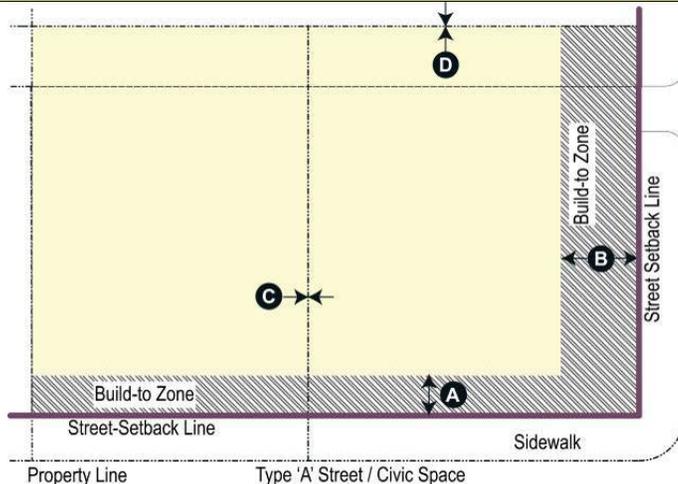
The Neighborhood Zone building form and development standards are intended to provide for a range of small scale office and residential (low-density apartments, live-work, townhomes, multi-unit homes, patio homes, etc.) transitions between higher intensity development and the existing and proposed neighborhoods.

Generally, this character zone emphasizes keeping a smaller scale for residential uses and limiting building types to be compatible with the adjoining neighborhoods. Natural drainage and open space are envisioned to be amenities for these areas and should be treated as a public park and open space.



Estate Lots with prominent front facades along the street (left) and pocket parks that connect to the trail network (right) represent the environment of the Neighborhood Character Zone.

6.6.2 Building Placement



(ii) *Street Setback Line* (Distance from center line of street cross section to edge of the BTZ)

Avenue	42 ft.	Neighborhood Street Type A	34 ft.
Park Edge Street	32 ft.	Mixed Use General Street Type B	30 ft.

(iii) *Build-to Zone (BTZ)* (measured from edge of SSL or ROW when using City Standard Streets)

Front (Type 'A' Street / Civic Space)	0' – 20' (see #1)	A
Front (Boulevard/ Type 'B' Street)	0' – 30' (see #1)	B
Side and Rear (from property line)	0' (see #2)	C D

(iv) *Building Frontage*

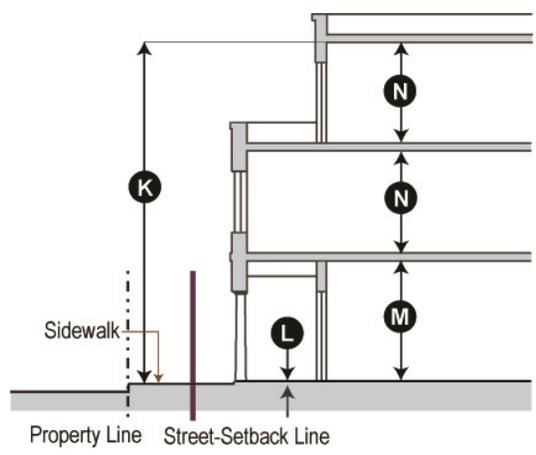
% of building built to Type 'A' Street or Civic Space BTZ	60% (min.) (see #3 and #6)
% of building built to Type 'B' Street BTZ	30% (min.) (see #3 and #6)

Notes

- #1 – For non-residential buildings, the area between the building and the edge of the BTZ at the sidewalk may be paved flush with the public sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – For non-residential buildings, corner building street facades shall be built to the BTZ for a minimum of 40' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Floor to floor heights shall not apply to parking structures.
- #5 – Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

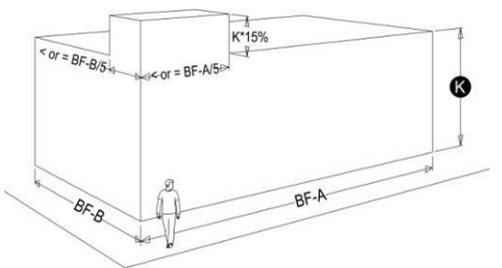
6.6.3 Building Height

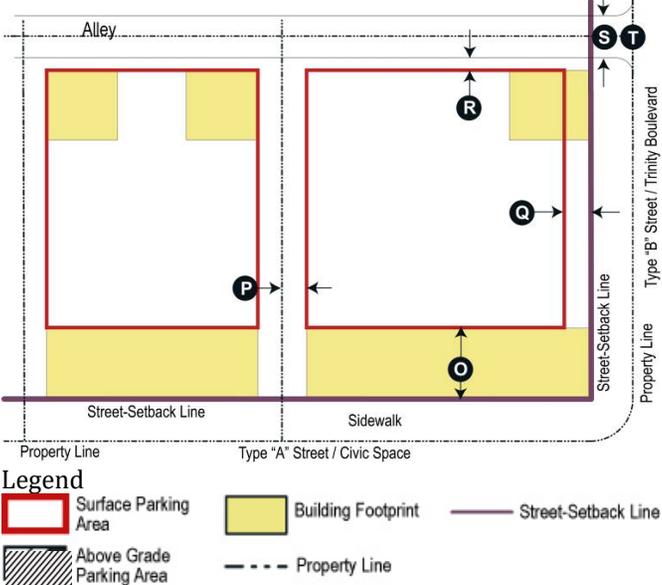
Principal Building Standards



Building Maximum	3 stories (max.) (see #5 and #7)	K
First floor to floor height	10' (min.) (see #4)	M
Upper floor to floor height	8' (min.) (see #4)	N

- #7 – For non-residential buildings, corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



<p>6.6.4 Parking and Service Areas</p>	<p><i>(i) Parking Location</i></p>	<p>6.6.5 Other Standards</p>																						
 <p>Legend</p> <ul style="list-style-type: none"> Surface Parking Area (Red outline) Above Grade Parking Area (Hatched) Building Footprint (Yellow) Property Line (Dashed line) Street-Setback Line (Solid line) 	<table border="1"> <tr> <td colspan="3">Surface/At Grade Parking</td> </tr> <tr> <td>Type 'A' Street and Civic Space setback</td> <td>Shall be located behind the principal building</td> <td>O</td> </tr> <tr> <td>Type 'B' Street setback</td> <td> <ul style="list-style-type: none"> For lots less than 50' in width, min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less. For lots 50' or greater in width, see section 8.4.1 (vii) </td> <td>Q</td> </tr> <tr> <td>Side setback</td> <td>4' (min.)</td> <td>P</td> </tr> <tr> <td>Rear setback when alley is present (distance from alley right-of-way)</td> <td>4' (min.)</td> <td>R</td> </tr> <tr> <td>Rear setback when alley is not present (distance from property line)</td> <td>0' (min.)</td> <td>R</td> </tr> </table> <p>(ii) Required Off-Street Parking Spaces</p> <table border="1"> <tr> <td>Residential Uses</td> <td>1 space/unit</td> </tr> <tr> <td>Accessory Dwelling Unit</td> <td>None Required</td> </tr> </table>	Surface/At Grade Parking			Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O	Type 'B' Street setback	<ul style="list-style-type: none"> For lots less than 50' in width, min. of 3 feet behind the building façade line or 5 feet from the SSL along that street, whichever is less. For lots 50' or greater in width, see section 8.4.1 (vii) 	Q	Side setback	4' (min.)	P	Rear setback when alley is present (distance from alley right-of-way)	4' (min.)	R	Rear setback when alley is not present (distance from property line)	0' (min.)	R	Residential Uses	1 space/unit	Accessory Dwelling Unit	None Required	<p>(i) Encroachments</p> <ol style="list-style-type: none"> Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane. <p>(ii) Arcades and Colonnades:</p> <ol style="list-style-type: none"> Arcades and Colonnades are permitted within the build-to-zone and shall be a minimum of 6' in depth. The minimum interior clearance height within an arcade or colonnade shall be 10'. <p>(iii) Accessory Buildings, Accessory Dwelling Units and Garages:</p> <ol style="list-style-type: none"> Accessory Buildings and garages located at-grade shall be no taller than one (1) story with 12' maximum floor to floor height, except when an accessory dwelling unit is above. Accessory dwelling units located above garages or accessory buildings shall be no taller than one (1) story above the garage or accessory building with 12' maximum floor to floor height. The height of the accessory structure shall not exceed the height of the primary building. Where an alley is available, the accessory building, dwelling unit or garage shall be accessed from the alley. An accessory building shall have no more than two dwelling units. On corner lots, the accessory building, accessory dwelling unit or garage shall align with the building façade line of the primary building along the side street. Where corner clips are mandatory, accessory structures, dwellings, and garages can be shifted to accommodate the sight line requirement.
Surface/At Grade Parking																								
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VII. Street & Streetscape Standards

7.1 General Requirements

7.1.1 Generally: Streets in Trinity Lakes need to support the overall intent for the development. They should balance all forms of mobility while maximizing convenience for residents and visitors.

7.1.2 The Regulating Plan designates the required and recommended street network within the development. This section specifies the typical configuration of streets within the development. The specifications address vehicular lane width, parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in Trinity Lakes will vary based on the location. Standard city street cross-sections may be used.

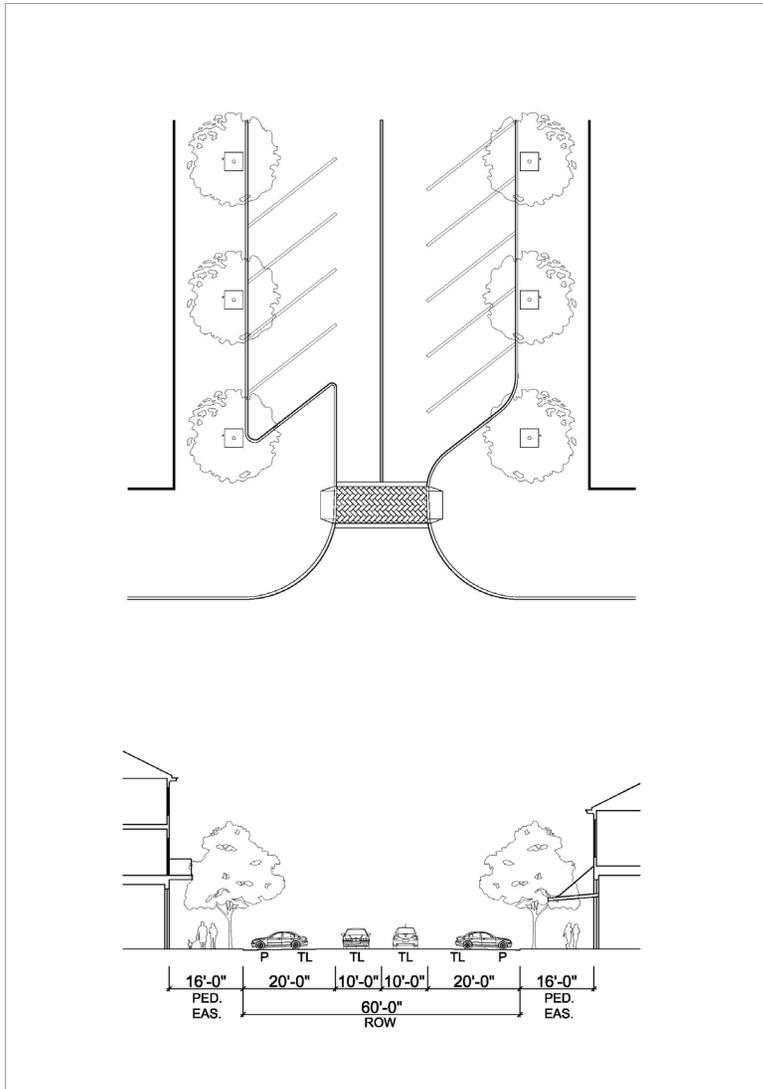
7.1.3 New Streets: This section specifies standards for all new streets in Trinity Lakes. New streets shall be addressed on a project by project basis and shall be reviewed by the Development Services Department. The design of new streets in Trinity Lakes shall follow the City of Fort Worth’s adopted Context Sensitive Solutions Policy.

7.1.4 Due to site constraints, the street to the north and east of the lake north of Trinity Boulevard is not subject to block length standards.

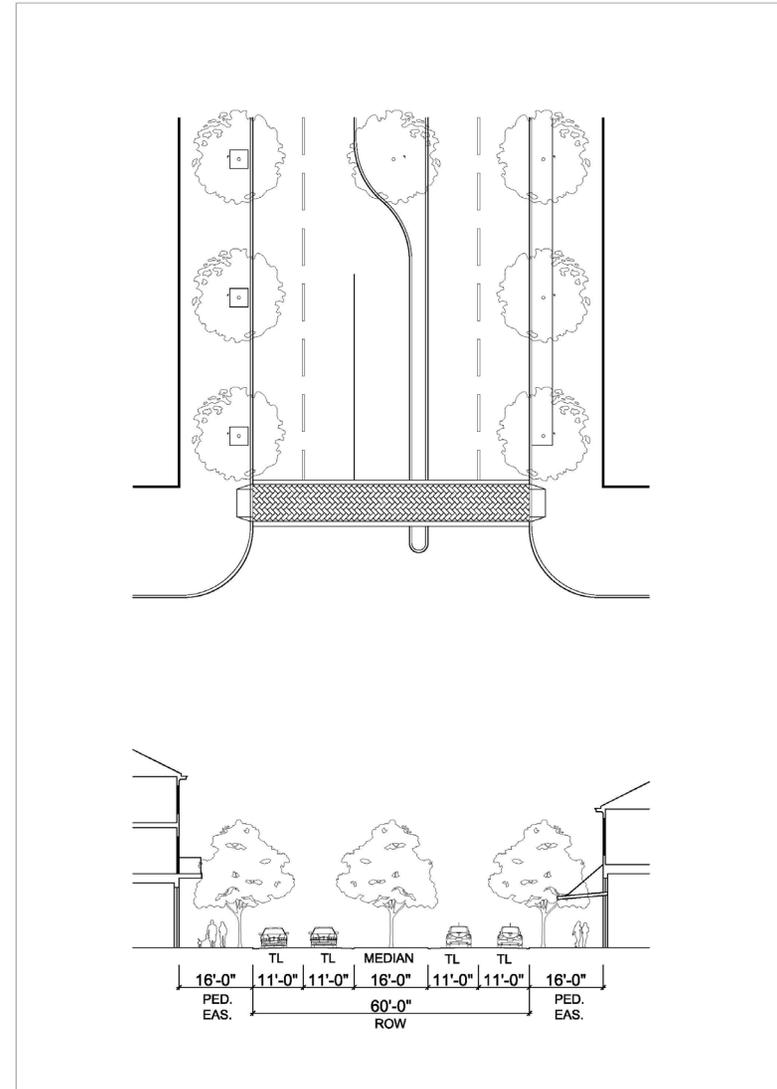
7.1.5 Street Classification Established: Table 7.1 and associated typical cross sections shall establish the cross sections for each street type. The cross sections may be adjusted with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Fire Code as adopted by the City.

Table 7.1 Street Classification									
Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Number of Bike Lanes	Vehicular Lane Widths	Bike Lane Widths	On-Street Parking	Pedestrian Sidewalk Width (min.)	Parkway/ Tree Well
	R.O.W. (curb to curb)	Pedestrian Easement (on both sides)							
Main Street A	60 feet	16 feet	2	0, sharrow	10 feet	N/A	Yes, both sides, parallel or angled	16 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet min, within the Pedestrian Easement
Avenue	60 feet with 16’ median	16 feet	4	0, sharrow	11 feet	N/A	None	6 feet (min) within the Pedestrian Easement	6’ wide min. planting strip, within the Pedestrian Easement

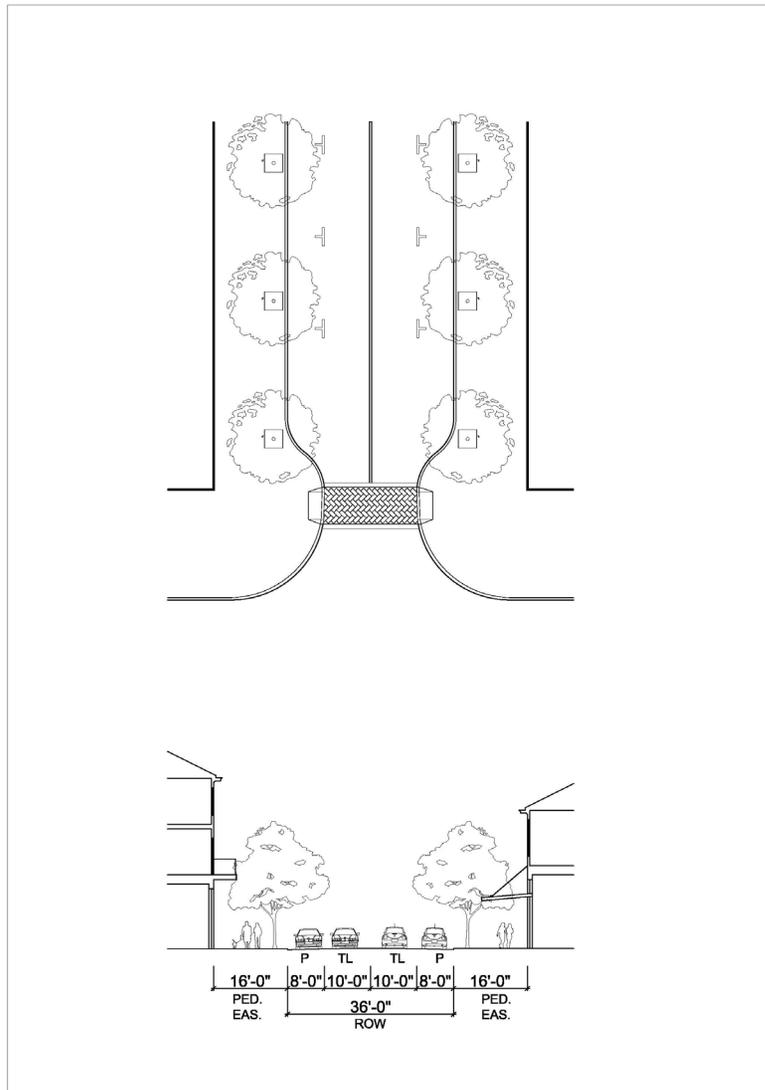
Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Number of Bike Lanes	Vehicular Lane Widths	Bike Lane Widths	On-Street Parking	Pedestrian Sidewalk Width (min.)	Parkway/ Tree Well
Neighborhood Street: Type "A"	36 feet	16 feet	2	0	10 feet	N/A	Yes, both sides, parallel or angled	10 feet (min) within the Pedestrian Easement	6' wide min. planting strip, within the Pedestrian Easement
Mixed Use General Street: Type "B"	36 feet	12 feet	2	0	10 feet	N/A	Yes, both sides, parallel or angled	6 feet (min) within the Pedestrian Easement	Tree Well, 5x5 feet (min), or parkway, 6 feet (min) within the Pedestrian Easement
Park Edge Street	36 feet	12 feet (development side)	2	0	10 feet	N/A	Yes, both sides, parallel or angled	6 feet (min) within the Pedestrian Easement	Parkway, 6 feet (min) within the Pedestrian Easement
Commercial Alley	20 feet	None	N/A	None	N/A	N/A	None	None	None
Residential Alley	20 feet (12 feet of paving)	None	N/A	None	N/A	N/A	None	None	None



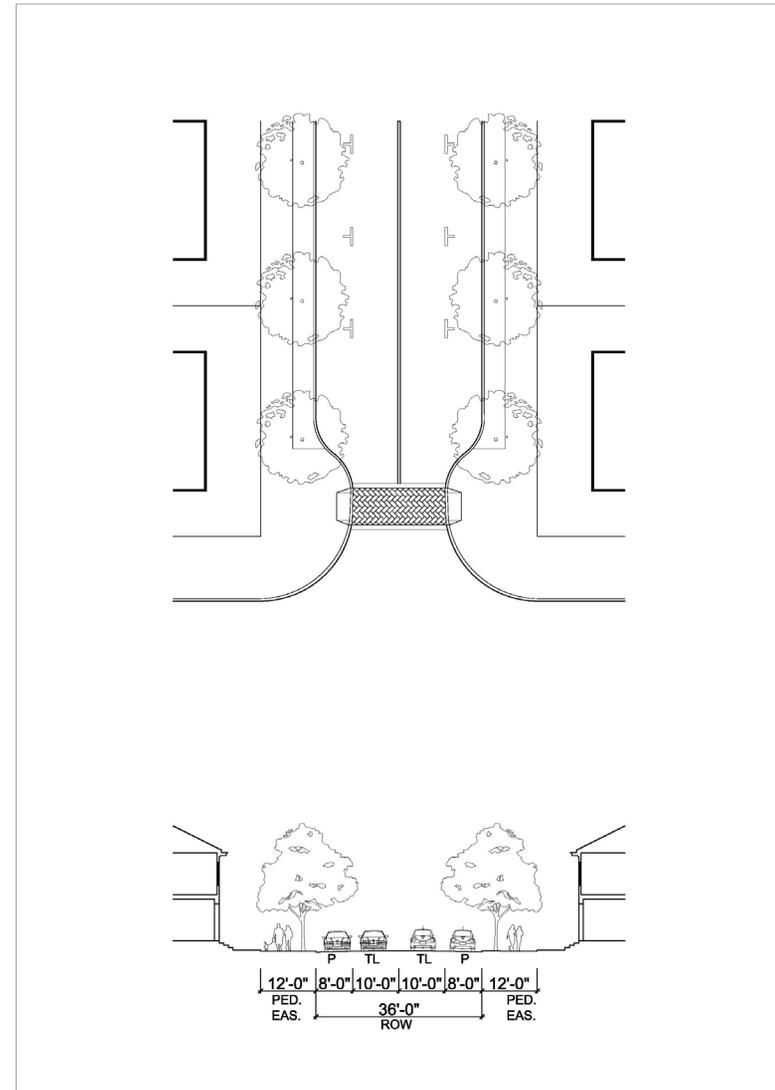
TYPICAL MAIN STREET



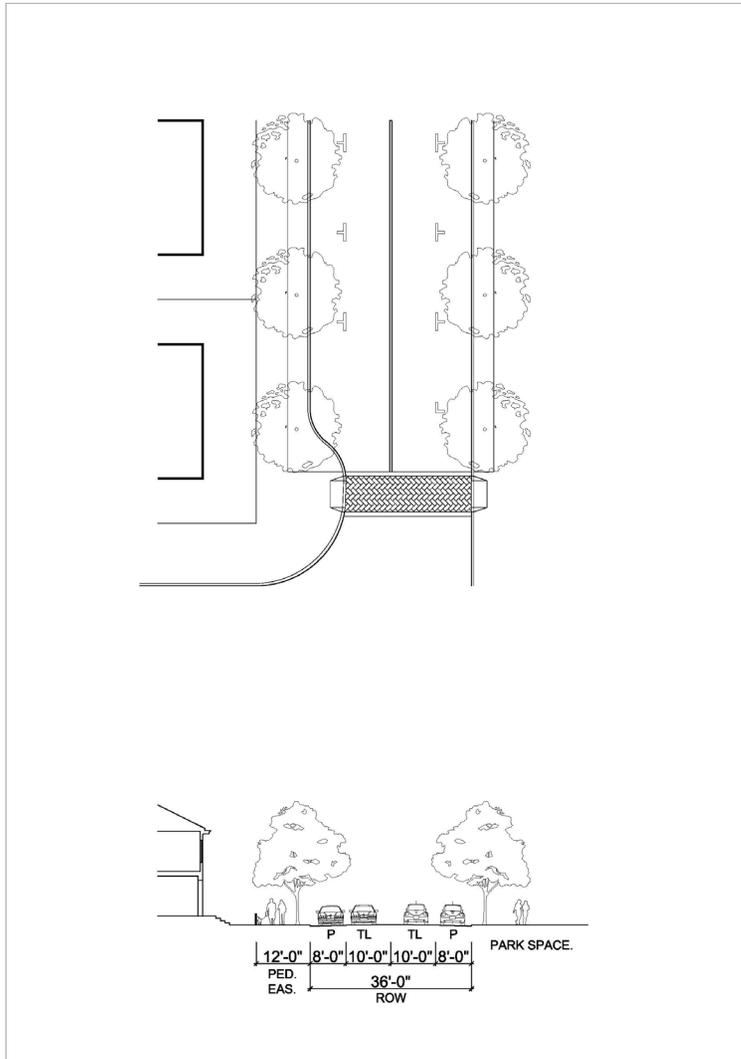
TYPICAL AVENUE



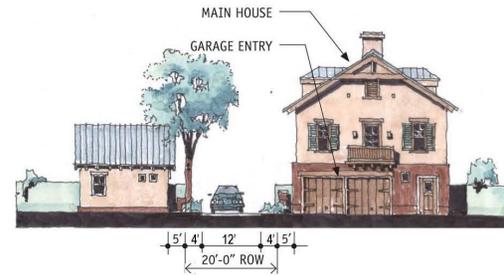
TYPICAL NEIGHBORHOOD STREET – TYPE 'A'



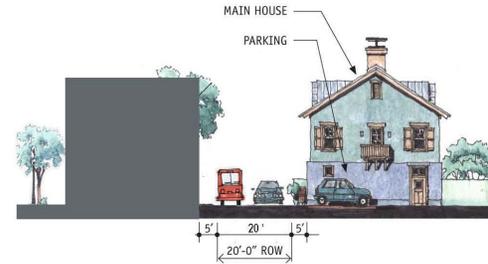
TYPICAL GENERAL MIXED USE STREET – TYPE 'B'



TYPICAL PARK EDGE



TYPICAL RESIDENTIAL ALLEY



TYPICAL COMMERCIAL ALLEY

7.2 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets and development within Trinity Lakes. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape shall be according to the City of Fort Worth standards in Chapter 6 of the City of Fort Worth Zoning Ordinance.

7.3 Street Trees and Landscaping

7.3.1 Street trees shall be required on all Trinity Lakes Type “A” Streets and along Trinity Boulevard (except on Type “B” Streets and alleys).

7.3.2 Street trees shall be planted approximately 3 feet behind the curb line.

7.3.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets.

7.3.4 The minimum caliper size¹ for each tree shall be 3 in. Each tree shall be planted in a planting area no less than 25 sq. feet.

7.3.5 Along Trinity Boulevard, trees shall be required in the median and spacing and species shall be the same as the trees in the parkway.

7.3.6 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof.

7.3.7 Species shall be selected from the Planting List in Table 6.8 Table A in Chapter 6 Development Standards of the City of Fort Worth Zoning Ordinance.

7.3.8 Maintenance of all landscape materials shall meet the requirements of Chapter 6, Article 3 of the City of Fort Worth Zoning Ordinance.

7.3.9 Tree Planting mitigation as well as landscaping requirements shall be solely subject to the TLD Code and private CC&R applicable to the subject property.

7.4 Street Furniture, Lighting, and Materials

7.4.1 Pedestrian scale lighting, with the top of fixture being no more than 20 feet from the ground, shall be provided along all streets except alleyways and Type B City Standard Streets, depicted in the Regulating Plan (Appendix A and B).

7.4.2 Street lights shall be placed at 60 feet (max.) on center, approximately 3 feet behind the curb line.

7.4.3 The light standard selected shall be compatible with the design of the street and buildings.

7.4.4 Trash receptacles and bike racks shall be required along Type “A” Streets. A minimum of one each per block face shall be required.

7.4.5 Street furniture and pedestrian amenities such as benches are recommended along all Type “A” Streets.

7.4.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

¹ Caliper size for a multi trunk tree shall be the total of the diameter of the largest trunk and one half (½) of the diameter of each additional trunk, measured at a height of 4 ½ feet above the ground.

7.4.7 Within the Pedestrian Easement, materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

VIII. Building Design Standards

The Building Design Standards and Guidelines for the TLD Code shall establish a coherent urban character and encourage enduring and attractive development. Site plans shall be reviewed by the Development Services Director or designee for compliance with the standards below.

The key design principles establish essential goals for Trinity Lakes to ensure the preservation, sustainability, and visual quality of different development character areas in the development. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm along Type “A” Streets and at street intersections along Trinity Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- (i) Buildings shall be oriented towards Type “A” Streets, where the lot has frontage along a Type “A” Street. All other buildings shall be oriented towards Trinity Boulevard or Civic/Open Spaces.

If the lot does not front a Type “A” Street or Trinity Boulevard then it may front a Type “B” Street.

- (ii) Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

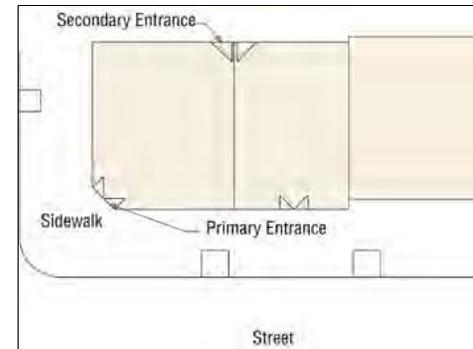


Figure showing required building orientation and location of primary entrances

8.1.2 Building Massing and Scale

- (i) Commercial and Mixed-Use buildings shall be simple, rectilinear forms with flat or low pitched roofs with parapets.
- (ii) Residential Buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- (iii) Gable roofs, if provided for residential buildings, shall have a minimum pitch of 3:12. When

hipped roofs are used, the minimum pitch shall be 3:12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3:12.

- (iv) The following standards shall apply for all buildings with mansard roofs in Trinity Lakes:
 - Mansard roofs shall only be used on buildings that are three stories or higher.
 - The mansard roof shall project no more than 18” forward of the building façade line.
 - The lower slope of the roof should be inclined at no greater than 75 degrees to the horizontal.
 - Windows on a mansard roof shall be constructed as a dormer, with a roof so that the window does not appear to be punched through the roof.

8.1.3 Design of Surface Parking

- (i) On Type ‘A’ Streets, surface parking shall be placed behind or to the side of the primary building.
- (ii) Where the surface parking is visible from the public realm on Type “A” Streets, street screening shall be used along the Street Setback Line.

8.1.4 Design of Parking Structures

- (i) All frontages of parking structures located on Type “A” Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type “A” Street frontage.
- (ii) The amount of Type “A” Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Type “A” Street edge(s).

- (iii) Parking structure facades on all Type “A” Streets and Trinity Boulevard shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- (iv) Where above ground structured parking is located at the perimeter of a building with frontage along a Type “A” Street or Trinity Boulevard; it shall be screened in such a way that cars on all parking levels are completely screened from pedestrian view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- (v) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- (vi) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures

8.1.5 Design of Automobile Related Building Site Elements (only when permitted in the Schedule of Uses per Table 5.1)

- (i) Drive-through lanes for commercial uses shall not be located along any Type “A” Street. Drive-through lanes shall be hidden behind a Street

Screen along Type “B” Streets and the Trinity Boulevard frontage.

- (ii) No more than 50% of a lot’s frontage along Trinity Boulevard or Type “B” Streets shall be occupied by gas pumps, canopies, and/or service bays.
- (iii) Any buildings associated with any automobile related use shall also have a pedestrian entrance at a Type “A” Street and/or Trinity Boulevard (if available).
- (iv) Outdoor storage of vehicles or other products sold shall not be permitted along Type “A” Streets. Along Trinity Boulevard and Type “B” Streets, outdoor storage of vehicles or other products sold shall not exceed 50% of a lot’s frontage along the Boulevard. There shall be no such limitation along alleys.

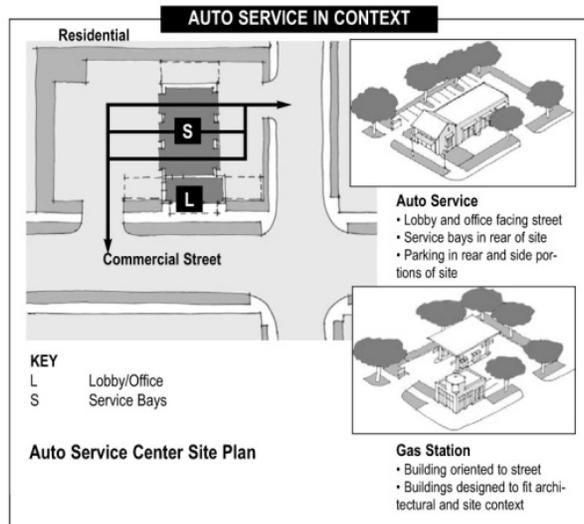


Illustration showing a site concept plan for an auto service centers

- (v) All off-street loading, unloading, and trash pick-up areas shall be located along Type “B” Streets or alleys unless permitted in the specific building

form and development standards in Section 6. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.2 Specific to Boulevard Mixed Use, Village Mixed Use, and Highway Mixed Use Character Zones

8.2.1 Massing and Façade Composition

- (i) Buildings are generally built upon a rectangular layout schemes with single or multiple components with mostly flat front, with square, round or octagonal corner towers.
- (ii) Buildings shall maintain a prevalent façade rhythm of 20’ to 30’ or multiples thereof along all Type “A” Streets and Trinity Boulevard.
- (iii) This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- (iv) Doors or windows forming regular patterns of openings, some accentuated by balconies.
- (v) Commercial and Mixed-Use building facades shall be designed with tripartite architecture (with a distinct base, middle and cap) and shall maintain the alignment of horizontal elements along the block.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and

integrated into the design of the overall building facade.



Image of Tri-Partite Architecture

- (vii) Buildings are capped with wide and continuous eaves supported by open rafters and decorative brackets, or finished with elaborate parapet walls covered by tile and very shallow eaves.
 - (viii) Awnings, blade signs, arcades, galleries, café seating and balconies should be used along commercial storefronts fronting a Type “A” Street and Trinity Boulevard to add pedestrian interest.
- 8.2.2 Building Materials:
- (i) At least 80% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - Split face concrete block or pre-cast, or poured in place concrete.
 - (ii) No more than 20% of a building’s façade along all Type “A” Streets and Trinity Boulevard shall use other accent materials: wood, architectural metal panel, split-face concrete block, tile, or pre-cast

concrete panels. EIFS shall not be permitted along any Type “A” Street or Trinity Boulevard façade.

- (iii) All facades along Type “B” Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited the upper floor facades along Type “B” Streets and alleys.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors of any Type “B” Street or alley facades.
- (iv) Roofing materials for pitched roofs visible from any public right-of-way shall be clay barrel tile, copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.

8.3 Specific to Campus Commercial Character Zone

8.3.1 Façade Composition

- (i) Buildings shall maintain a façade rhythm of 20’ to 30’ or multiples thereof for facades along all Type “A” Streets and along Trinity Boulevard.
- (ii) This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



Image of Tri-Partite Architecture

- (iv) For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.
- (v) Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
- (vi) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- (vii) Buildings shall generally maintain the alignment of horizontal elements along the block.



Campus Commercial building organization

8.3.2 Commercial and Mixed-Use Building Materials

- (i) At least 60% of each building’s Base façade (excluding doors and windows) along any Type “A” Street or Trinity Boulevard shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
 - b) Split face concrete block or pre-cast, or poured in place concrete.
- (ii) No more than 40% of each façade along any Type “A” Street or Trinity Boulevard shall use accent materials such as wood, architectural metal panel, or EIFS.
 - EIFS and Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade.
- (iii) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (iv) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Images showing appropriate building materials within the Campus Commercial Character Zone.

8.4 Specific to Transition and Neighborhood Character Zones

8.4.1 Façade Composition

- (i) For non-residential buildings, buildings shall maintain a façade rhythm of 20’ to 30’ along all Type “A” Streets.
- (ii) For non-residential buildings, this rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- (iii) For non-residential buildings, buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.
- (iv) For non-residential buildings, building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building façade.

- (v) For non-residential buildings, buildings shall generally maintain the alignment of horizontal elements along the block.
- (vi) Garages for Residential Buildings shall be located on Type “B” Streets, alleys or shared driveways.
- (vii) Garages on lots 50’ or wider:
 - a) Front entry garages shall not project more than 8 feet from the building facade.
 - b) J-swing garage types are excluded from the 8 feet restriction.
- (i) On corner lots, the garage may be rotated with windows facing the primary street.

8.4.2 Commercial and Mixed-Use Building Materials

- (i) At least 80% of each building’s façade (excluding doors and windows) along any Type “A” Street shall be finished in one of the following materials:
 - a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
- (ii) No more than 20% of each façade along any Type “A” Street shall use accent materials such as wood, architect metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted along any Type “A” facade.
- (iii) A building’s facades along all other streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
 - EIFS shall be limited to 25% of all other facades.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.

- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or materials with similar durability and lifespan.
- (v) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.



Image showing appropriate character and building materials within the Transition Character Zone.

8.4.3 Live-work and Residential Building Materials

- (i) The following shall be permitted finishes for a minimum of 80% of all street fronting facades (except alleys) of residential buildings. No more than three different materials shall be used on any single façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Masonry (brick; stone; man-made stone; or stucco utilizing a three-step process);
 - Architectural Metal Panels.
- (ii) The following may only be allowed up to 20% as an accent material:
 - a) Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.

- (iii) All other facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (iv) Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (v) An enclosed garage or carport shall be designed and constructed of the same material as the primary building.
- (vi) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the UDC.
- (vii) Chain link fences and plastic vinyl fences shall not be permitted in any character zone.

8.4.4 Accessory Buildings and Accessory Dwelling Units Building Materials:

- (i) The facades shall be built of similar materials as the primary building.
- (ii) The roof shall be built of similar materials as the primary building.

IX. Signage Standards

For new signs, the standards in Table 9.1 shall apply and sign permits shall be approved administratively by the City of Fort Worth Building Official unless specifically noted in this section.

9.1 Applicability: Except as specifically listed below, all other signage and sign standards shall comply with Chapter 6, Article 4 of the City of Fort Worth Zoning Ordinance, as amended.

Table 9.1

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	Standard
Billboards Signs	NP	NP	NP	NP	NP	NP	<ul style="list-style-type: none"> New Billboard signs are not permitted in any character zone. Billboard signs in existence prior to the adoption of the TLD Code are permitted to remain, but shall not be reconstructed. Regular maintenance to existing billboards is permitted to ensure safety and regular use.
Attached Signs	P	P	P	P	P (comm. and live-work uses only)	P (comm. and live-work uses only)	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of tenant space façade along the public street frontage with a maximum of 100 sq. ft per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of second or upper floor frontage along that public street with a maximum of 125 sq ft. Institutional uses (non-profits and churches): One sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage with a maximum of 100 sq. ft. Live-Work and Home occupations: One sign limited to an area of 20 sq. ft. max. Building sign may encroach, a maximum of 12”, on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Monument Signs	P	P	P	P	NP	NP	<ul style="list-style-type: none"> One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 ft.) limited to a maximum of 75 sq. ft. per sign face and 6 ft. in height. Monument signs in the Village Mixed Use shall be permitted along Type “B” Streets only.

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	Standard
Window Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> Limited to 10% of the window area. In the Transition and Neighborhood Zones, window signs are only permitted for commercial uses (including the “work” component of live-work uses). The following shall be exempt from this limitation: <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold. Interior directory signage identifying shopping aisles and merchandise display areas.
Building Blade Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> One per building (commercial and mixed use buildings only) per public street frontage Area = 30 sq. ft. maximum per sign face. May encroach a maximum of 6 ft. over a sidewalk, but shall not encroach over any parking or travel lane. Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade. Minimum vertical clearance from the finished sidewalk shall be 11 ft.
Tenant Blade Signs	P	P	P	P	P (comm. uses only)	P (comm. uses only)	<ul style="list-style-type: none"> One per commercial tenant space (retail, office, or restaurant use) per public street frontage, if the tenant is on the corner of the building. Area = 16 sq. ft. maximum per sign face May encroach a maximum of 4 ft. over a public sidewalk, but shall not encroach over any parking or travel lane. Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 ft. from the finished sidewalk for non-illuminated signs and 11 ft. from the finished sidewalk for illuminated signs.
Marquee Signs	P	P	P	P	NP	NP	<ul style="list-style-type: none"> Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more Marquee signs shall be attached to the building or located above or below a canopy only Area = 100 sq ft. maximum Message board may be changeable copy (non-electronic). Electronic message boards shall be permitted with a Special Exception from the Board of Adjustment.
For sale/for lease signs	P	P	P	P	P	P	<ul style="list-style-type: none"> Size is limited to 32 sq. ft. per sign face All other standards are the same as City of Fort Worth Sign Regulations.
Address signs	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Temporary construction signs	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Banners	P	P	P	P	P	P	Same as City of Fort Worth Sign Regulations
Sandwich board signs	P	P	P	P	P	P	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses Limited to 8 sq. ft. per sign face per storefront; Sign may not exceed 4 ft. in height.

Character Zone	Boulevard Mixed Use	Village Mixed Use	Highway Mixed Use	Campus Commercial	Transition	Neighborhood	
Sign Type							Standard
							<ul style="list-style-type: none"> • A minimum of 6 ft. of sidewalk shall remain clear. • Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited. • Sign shall be removed every day after the business is closed.
Directory signs	P	P	P	P	P	P	<ul style="list-style-type: none"> • Shall be allowed for all multi-tenant commercial and mixed use buildings only • One directory sign per multi-tenant building limited to 12 sq. ft. in area • Design of the sign shall be integral to the façade on which the sign is to be affixed.

- 9.2 Unique Sign Applications.** An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Unique Sign Plans” by the Development Services Director and are subject to approval of the UDC. In evaluating a Unique Sign Plan, the UDC shall consider the extent to which the application meets the following:
- 9.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
 - 9.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
 - 9.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; or
 - 9.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

establishes the standards for different private open space types and Table 10.2 establishes the private open space requirement based on the proposed intensity of residential or lodging development.

Table 10.1 Private Open Space Types

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(i) Balconies	Balconies that are not flush shall be a minimum of 5 feet clear in depth and a minimum of 8 feet in width Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.
(ii) Patios	Patios shall be a minimum of 150 sq.ft. Patios shall have a clear sense of enclosure and separation from the public realm.
(iii) Courtyard	Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk. The courtyard shall be a minimum of 200 square feet. Courtyard may be landscaped or a combination of landscape and hardscape. However, they shall contain amenities for residents such as seating, water features, etc.
(iv) Forecourt	A Forecourt shall be surrounded on at least two sides by buildings. A Forecourt shall be a minimum of 150 square feet.
(v) Playground	Playgrounds shall be a minimum of 400 sq.ft.
(vi) Community Garden	Maximum size shall be 1 acre Gardens shall be enclosed by a fence on all open sides. Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges. Fencing Materials: <u>Permitted</u> : pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel <u>Not permitted</u> : chain link, bobbed wire, vinyl, unpainted/stained pressure treated wood, plywood

X. Open Space Design Standards

- 10.1 Applicability.** This chapter establishes the design standards of publicly accessible private open space and private open space Standards for Trinity Lakes. The detailed Open Space Design Standards for each type of publicly accessible private open space are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses. The design standards are used to coordinate the style of design within Trinity Lakes.
- 10.2 Private Open Space Standards.** Given the mixed use nature of development within Trinity Lakes, all new residential and lodging uses within the development shall meet the private open space type requirements and standards established in this Section. Table 10.1

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(vii) Roof terraces	A Roof Terrace shall at least be 50% of the building footprint area. A Roof Terrace shall provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.
(viii) Private Open Space Amenity (pool, play courts, picnic area, etc.)	Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.

Table 10.2 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
Over 50 units	Shall provide at least one public civic space such as a green, square, plaza or paseo
Hotel with more than 200 lodging rooms	Shall provide at least one public civic space such as a green, square, plaza or paseo

- 10.3 Publicly Accessible Private Open Space Type Standards.**
The design of publicly accessible private open spaces shall be regulated by the open space type standards herein which shall create a network of publicly accessible private open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. The following section shall apply to all publicly accessible private open space proposed within Trinity Lakes.
- 10.4 Pervious Ground and Permeable Materials**
Residential lots 50 feet or greater in width require a minimum of 35% pervious ground or permeable materials.

10.3.1 Green Type Standards



Greens shall be appropriate where open spaces are recommended on the Regulating Plan and will serve as important publicly accessible private open spaces for Trinity Lakes. Greens will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. Greens are appropriate in the Campus Commercial, Transition, and Neighborhood Character Zones.

Typical Characteristics

General Character

Open space

Spatially defined by landscaping and building frontages

Lawns, trees and shrubs naturally disposed

Open shelters and paths formally disposed

Location and Size

Size may range from 0.5 – 5 acres.

Typical Uses

Unstructured and passive recreation

Casual seating

Commercial and civic uses

Residential address

10.3.2 Square Type Standards



Squares serve as an open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square. Squares are appropriate in the Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, Transition, and Campus Commercial Character Zones. .

Typical Characteristics

General Character

Formal open space

Spatially defined by buildings and tree-lined streets.

Open shelters, paths, lawns, and trees formally arranged

Walkways and plantings at all edges

Located at important intersection

Location and Size

Size shall range from 0.5 to 2 acres.

Typical Uses

Unstructured and passive recreation

Casual seating

Commercial and civic uses

10.3.3 Plaza Type Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the Boulevard Mixed Use, Village Mixed Use, Highway Mixed Use, Campus Commercial and Transition Character Zones. .

Typical Characteristics
General Character
Formal open space
Primarily hardscape surfaces
Trees and shrubs optional
Spatially defined by building frontages
Location and Size
Size shall range from 0.25 acre to 1 acre.
Shall front on at least one (1) street.
Typical Uses
Commercial and civic uses
Casual seating
Tables and chairs for outdoor dining
Retail and food kiosks

10.3.4 Paseo Type Standards



A **Paseo or Pedestrian Passage** is an intimate street level passage way for pedestrians through blocks at designated locations on the Regulating Plan. These paths provide direct pedestrian access to key destinations and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Arcades may line Paseos to provide shade and a more attractive edge. Paseos may allow access to emergency and maintenance vehicles. Paseos may be appropriate in all character zones.

Typical Characteristics
General Character
Hardscape pathway
Pedestrian friendly frontages
Small-scale commercial uses
Frequent entries
Location and Size
The minimum width shall be 15'.
The maximum width shall be 50'.
Typical Uses
Small scale commercial uses
Residential uses
Casual seating

10.3.5 Park Type Standards



The required/recommended park, as designated on the Regulating Plan, will create an important open space that connects the neighborhood with the Trinity River’s natural assets and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included.

Typical Characteristics

General Character

Large, open space

Spatially defined by landscaping and building frontages

Paths, trails, open shelters, lawns, trees and shrubs naturally disposed

May be lineal, following the trajectories of natural corridors

Standards

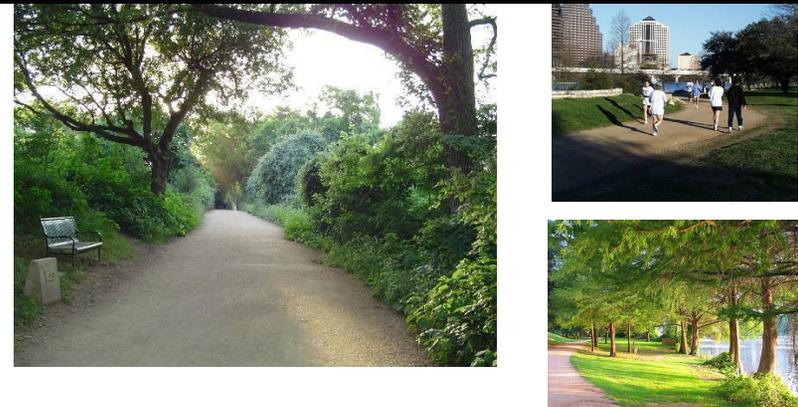
Minimum of 0.25 acres

Typical Uses

Unstructured and passive recreation

Casual seating/picnicking

10.3.6 Multi-Use Trail Type Standards



Multi-use trails provide an important place for active recreation and create a connection to regional paths and biking trails. Multi-use trails will run continuously from the development and connect to the trails along the Trinity River. The multi-use trail will help activate connections between the open spaces and the uses throughout the development. The multi-use trail may have a different character as it passes through the park and as it is adjacent to the different character zones. Within the park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing flood plain and landscape. Along streets, the trail shall have a more formal disposition with a paved trail and regular landscaping.

Typical Characteristics

General Character

Park Multi-Use Trail:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Low-impact paving or Hardscape Path

Formally disposed pedestrian furniture, landscaping and lighting

Trees lining trail for shade

Standards

Min. Width: 12 feet

Typical Uses

Active and passive recreation

XI. Definitions

In addition to Definitions in Chapter 9 of the City of Fort Worth Zoning Ordinance, the following terms shall have the corresponding interpretations.

Accessory Building: a building that is physically separated from the Principal Building and is subordinate to the Principal Building in terms of size, location, and use.

Accessory Dwelling Unit: a self-contained residential unit in on the same property as a detached or attached single-family building, or multi-unit home which is either attached to the principal building or in a separate structure.

Arcade: is a portion of the main façade of the building that is at or near the Street-Setback Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

Attics/Mezzanines: the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

Auto-Related Sales and Service Uses: are establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Build-to Zone: the area between the minimum and maximum setbacks within which the principal building’s front and side, in the case of a corner building, façade is to be built.

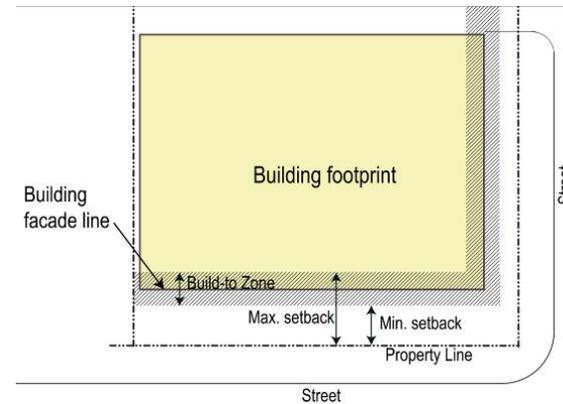
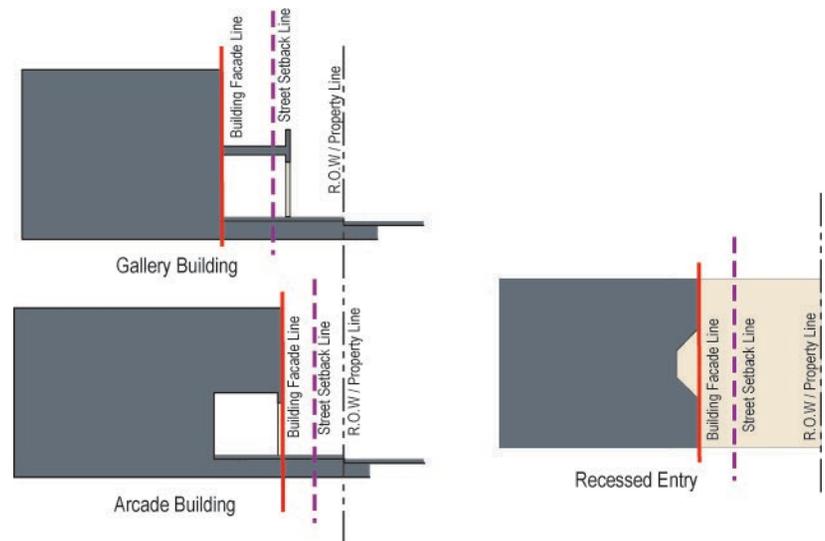


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line means the vertical plane along a lot where the portion of the building’s front façade closest to the street is actually located



Building Façade Line Illustrations

Building Form Standards: the standards established for each Character Zone that specifies the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage: the percentage of the building’s front façade that is required to be located at the front Build-to Line or Zone as a proportion of the block frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

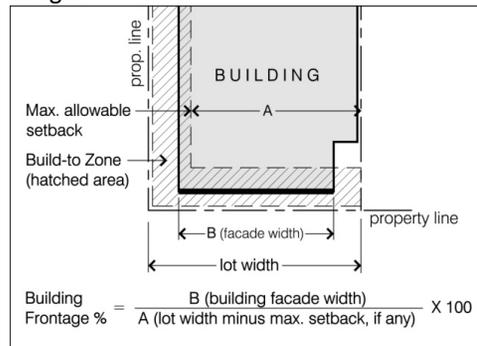


Image showing how a lot’s building frontage is calculated.

Certificate of Appropriateness (COA): is the official document issued by the Development Services Director, and for certain cases, is issued after recommendation by the UDC, authorizing proposed work to buildings within the District.

Character Zone means an area within Trinity Lakes that creates a distinct urban form different from other areas within the development. Character Zones are identified in the Regulating Plan.

Civic/Open Space: a publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as

courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance.

Green – a civic/open space intended for unstructured recreation, spatially defined by landscaping rather than building frontages.

Park – a civic/open space that is a natural preserve available for unstructured recreation.

Plaza – a primarily hardscaped, civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground – a civic/open space designed and equipped for children’s recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

Paseo: is a civic space dedicated for pedestrian movement located between blocks, buildings or along alleys. Paseos may terminate public streets within the TLDC.



Image of a typical paseo

Commercial or Mixed Use Building means a building in which the ground floor of the building is built to commercial ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready means space constructed at a minimum ground floor height as established in each character zone which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial-Ready space, the space must comply with all building and construction codes for that use. The intent of Commercial-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Community Garden is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).



Images of community gardens

Comprehensive Plan: City of Fort Worth Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City.

Courtyard is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.



Images of Courtyards

Encroachment: any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony, that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R-O-W, or above a height limit.

Forecourt is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.



Image of a forecourt

Gallery: is an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

Institutional Uses: are uses that are related to non-profit organizations dedicated to religious or social functions.

J-Swing is a home with a driveway that loads from the primary street and swings into the side of the home to enter the garage. Two of these homes side-by-side, should have a shared driveway or a curb-cut to driveways and have garages facing each other.



Images of a home with a J-Swing Garage from the front and side of home.

Live-Work Unit means a mixed use building type with a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘work’ component is usually located on the ground floor which is built to Commercial Ready standards. The ‘live’ component may be located on the street level (behind the work component) or any other level of the

building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Fence: shall be a Street Screen composed of landscaping in the form of vegetation.

Manor Home shall be a large home that is designed to appear as a large home from the exterior, but functions as a multi-unit building on the interior.

Patio is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.



Image of a patio

Playgrounds are open spaces designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation. A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.



Images of playgrounds

Private Open Space Amenity shall be any other private open space that could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.

Regulating Plan: is a Zoning Map that shows the character zones and street type designations applicable to Trinity Lakes subject to the standards in this Ordinance.

Residential Building means a building type that is built to accommodate only residential uses on all floors of the building such as townhomes, apartment buildings, duplexes, etc.

Retail Sales: Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Roof terraces are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.



Image of a roof terrace

Service Uses: This is a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade: is a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or along the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Tenant Blade: is a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Sign, Freestanding: shall include both permanent and temporary signs placed within a building’s front yard. Freestanding signs may be Pole or Monument Signs.

Sign, Marquee: is a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument: is any freestanding sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.



Image of a Monument Sign

Sign, Sandwich Board: is a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of sandwich board signs.

Street Screen: a freestanding wall or living fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial

definition of the public realm. Street screens shall not exceed 4 feet in height.



Image of a combination masonry and living street screen

Street Setback Line: means the imaginary line located at the outside edge of the sidewalk and measured from the center line of the street from which all build-to lines and build-to zones are measured from.



Zoning Staff Report

Date: April 12, 2023

Case Number: ZC-23-068

District (old/new): All

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: City of Fort Worth

Site Location: All MU-2 Districts

Acreage: NA

Request

Proposed Use: Mixed-Use

Request: Clarify when a CUP is required for a bar or tavern in MU-2.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

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Project Description and Background

The primary purpose of this text amendment is to clarify when a CUP is required for a bar or tavern in MU-2:

Adoption of an ordinance amending the Comprehensive Zoning Ordinance of the City of Fort Worth to amend Chapter 5, Supplemental Use Standards,” Article I, “Standards for Selected Uses,” to add Section 5.152 “Bars or Taverns” to clarify when a conditional use permit is required for a bar or tavern in the High Intensity Mixed-Use Zoning (MU-2) District and amend Section 4.1203 “Form-Based District Use Table” to add a reference to supplemental use standard Section 5.152

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF FORT WORTH, BEING ORDINANCE NO. 21653, AS AMENDED, CODIFIED AS APPENDIX "A" OF THE CODE OF THE CITY OF FORT WORTH, BY AMENDING CHAPTER 5, SUPPLEMENTAL USE STANDARDS," ARTICLE I, "STANDARDS FOR SELECTED USES," TO ADD SECTION 5.152 "BARS OR TAVERNS" TO CLARIFY WHEN A CONDITIONAL USE PERMIT IS REQUIRED FOR A BAR OR TAVERN IN THE HIGH INTENSITY MIXED USE ZONING (MU-2) DISTRICT AND AMEND SECTION 4.1203 "FORM-BASED DISTRICT USE TABLE" TO ADD A REFERENCE TO SUPPLEMENTAL USE STANDARD SECTION 5.152; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, Chapter 211 of the Texas Local Government Code ("TLGC") authorizes the governing body of a municipality to adopt zoning regulations to promote the public health, safety, morals, or general welfare and protect and preserve places and areas of historical, cultural, or architectural importance and significance; and

WHEREAS, Section 211.005 of the TLGC authorizes the governing body of a municipality to divide the municipality into districts of a number, shape, and size that the governing body considers best for carrying out the provisions of Chapter 211, General Zoning Regulations, within which districts the governing body may regulate the erection, construction, reconstruction, alteration, repair or use of buildings, other structures or land; and

WHEREAS, the MU-2, High Intensity Mixed Use Zoning District was created by the City Council with the purpose and intent to provide areas in which a variety of higher density housing types exist among commercial, institutional, and selected light industrial; and

WHEREAS, the MU-2 District is designed to accommodate and encourage a diversity of compact, walkable development forms to provide desirable communities to live, work and play by fostering a mix of land uses and density; and

WHEREAS, in order to balance area business types and avoid the over proliferation of one use, it is recommended that the City Council amend the Comprehensive Zoning Ordinance to require a conditional use permit overlay for bars and taverns 2,000 square feet or larger in the MU-2 District.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS

SECTION 1.

Chapter 5 “Supplemental Use Standards” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise Article 1, “Standards for Selected Uses”, to add Section 5.152 “Bars or Taverns” to read as follows:

Sec. 5.152 BARS OR TAVERNS.

A bar or tavern may be permitted in the High Intensity Mixed- Use (“MU-2”) District subject to the following conditions:

- (a) Bars or taverns 2,000 square feet or less are allowed by right in the MU-2 District.
- (b) A conditional use permit shall be required if the bar or tavern is 2,000 square feet or larger.

SECTION 2.

Article 12, “Form-Based Code District Use Table,” Section 4.1203, “District Use Table” of Ordinance No. 21653, the Zoning Ordinance of the City of Fort Worth, is hereby amended to revise “Entertainment and Eating” “Bar, Tavern, cocktail lounge; club, private or teen, dance hall” to add an asterisk to the “P” under the MU-2 column and add a reference to section 5.152 under the Supplemental Use column.

SECTION 3.

This ordinance shall be cumulative of all provisions of ordinances and of the Code of the City of Fort Worth, Texas (2015), as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 4.

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and, if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same

would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 5.

Any person, firm, or corporation, who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

SECTION 6.

All rights and remedies of the City of Fort Worth, Texas, are expressly saved as to any and all violations of the provisions of Ordinances No. 3011, 13896, 21653 and any other ordinances affecting zoning which have accrued at the time of the effective date of this ordinance, and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 7.

The City Secretary of the City of Fort Worth, Texas, is hereby directed to publish the caption, penalty clause and effective date of this ordinance for two (2) days in the official newspaper of the City of Fort Worth, Texas, as authorized by Section 52.013, Texas Local Government Code.

SECTION 8.

All other provisions of the Zoning Ordinance of the City of Fort Worth not herein amended shall remain in full force and effect.

SECTION 9.

This ordinance shall take effect upon adoption and publication as required by law.

APPROVED AS TO FORM AND LEGALITY:

By: _____
Melinda Ramos,
Deputy City Attorney

Jannette S. Goodall,
City Secretary

ADOPTED: _____

EFFECTIVE: _____