



Meeting Agenda

HISTORIC AND CULTURAL LANDMARKS COMMISSION

Monday, August 14, 2023

Work Session 1:00 P.M.

Public Hearing 2:00 P.M.

In Person

Work Session:
City Council Conference Room 2020
200 Texas Street
2nd Floor – City Hall
Fort Worth, Texas 76102

Public Hearing:
City Council Chamber
200 Texas Street
2nd Floor – City Hall
Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/weblink/register/r8a85d4e248cd36fd83cdd7826b736b1f>

Meeting/ Access Code: 2558 153 1930

Teleconference

(817) 392-1111 or 1-650-479-3208
Meeting/ Access Code: 2558 153 1930

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99
City of Fort Worth Website Homepage: [Watch Live Online](#)

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The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting. Members of the Historic and Cultural Landmarks Commission may be attending remotely in compliance with the Texas Open Meetings Act.

Any member of the public who wishes to address the Commission remotely regarding an item on the listed agenda must sign up to speak no later than 10:00AM on August 14, 2023. To sign up, either contact Anna Baker at Anna.Baker@FortWorthTexas.gov or 817-392-8000 or register through WebEx per the directions on the City's website above. If you plan to speak in person, you can sign up in person before the meeting begins.

Please note that the City of Fort Worth is using a third-party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.

COMMISSIONERS:

Paris Sanchez (Chair)	<u>X</u>	_____
Michael Moore	<u>X</u>	_____
Rick Herring	_____	_____
Dimitria Campbell	_____	_____
Armando Piña	_____	_____
Rodger Chieffalo	<u>X</u>	_____
AnnaKatrina Kelly	<u>X</u>	_____
Cade Lovelace	_____	_____
Will Northern	<u>X</u>	_____
Cory Malone	_____	_____
Les Edmonds	<u>X</u>	_____
Thomas Oliver	_____	_____
Vacant - Place 10	_____	_____
Vacant - Place 11	_____	_____

I. WORK SESSION City Council Conference Room 2020

A. Discussion of items on the agenda

II. PUBLIC HEARING City Council Chamber

A. CALL TO ORDER: Statement of Open Meetings Act

B. ANNOUNCEMENTS

C. APPROVAL OF JULY 10, 2023 MEETING MINUTES

Motion:	That the July 20, 2023 meeting minutes be approved.
Motion by:	Kelly
2 nd :	Moore
Vote:	6-0

D. DETERMINATION CASE

1. HCLC-23-271 **401 W Lancaster Ave; Downtown Overlay /HSE** *Individual*
Council District: 9
Applicant/Owner: City of Fort Worth/Cleopatra Investments

The City of Fort Worth Development Services Department requests a determination as to whether the primary structure located at 401 W Lancaster Ave. can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage.

CONTINUANCE REQUESTED

Motion:	That the request for a determination as to whether the primary structure located at 401 W Lancaster Ave. can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage <u>be continued for 90 days.</u>
Motion by:	Northern
2nd:	Moore
Vote:	2-4, Motion fails

Motion:	That the request for a determination as to whether the primary structure located at 401 W Lancaster Ave. can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage <u>be continued for 30 days.</u>
Motion by:	Kelly
2nd:	Edmonds
Vote:	5-1

E. APPEAL CASES

1. HCLC-23-258 1108 S Judd St; A-5/HC *Morningside*
 Council District: 8
 Applicant/Owner: Eva Mojica

Applicant appeals the decision of the Historic Preservation Officer and requests a Certificate of Appropriateness (COA) for work undertaken recently to install a concrete pad in the front of the residence; install a fence in the front yard; replace windows and construct a shed in the back yard.

Motion:	That the request for a Certificate of Appropriateness to retain previously performed work at 1108 Judd Street <u>be denied</u> because the request is inconsistent with the Morningside Historic District Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties.
Motion by:	Kelly
2nd:	Chieffalo
Vote:	6-0

2. HCLC-23-269 2335 Mistletoe Ave; A-5/HC *Mistletoe Heights*
 Council District: 9
 Applicant/Owner: Tom Carr, S4S Design/Elizabeth Stevens

Applicant appeals the decision of the Historic Preservation Officer and requests a Certificate of Appropriateness (COA) to construct a front addition and change the porch configuration on the non-contributing structure.

Motion:	That the request for a Certificate of Appropriateness to retain previously performed work at 2335 Mistletoe Avenue <u>be denied</u> because the request is inconsistent with the Morningside Historic District Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties.
Motion by:	Kelly

2nd:	Edmonds
Vote:	6-0

F. NEW CASES

1. HCLC-23-260 917 E Leuda St; Zone A-5/ HC *Terrell Heights*
Council District: 8
Applicant/Owner: Carlos Briones
 Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.

Motion:	<p>That the request for a Certificate of Appropriateness to construct a new residence at 917 E. Leuda Street <u>be continued</u>, to allow the applicant time to provide required plans and address the following conditions:</p> <ol style="list-style-type: none"> 1. That the setback be provided on a contextual site plan and be the average setback of historic properties along the block; 2. That a site plan be provided which shows the driveway to be more consistent with driveways along the street; 3. That a streetscape plan be provided to show the adjacent properties elevations for context; 4. That the siding extends down to 6" above grade; 5. That the front door be consistent with traditional front door designs within the district; 6. That the small window on the left elevation be revised to meet a 2:1 height to width proportion; 7. That all building materials be labeled on the front elevation; and 8. That any adjustments made to the drawings be submitted to the Development Services Department prior to the issuance of a Certificate of Appropriateness.
Motion by:	Kelly
2nd:	Edmonds
Vote:	6-0

2. HCLC-23-265 807 W Morphy St; Zone C/HC *Fairmount*
Council District: 9
Applicant/Owner: Ty McAllister/Ocean Cove LLC
 Applicant requests a Certificate of Appropriateness (COA) for a waiver from the Historic Fairmount Historic District Standards and Guidelines to construct a two-story 3 bay garage.

Motion:	That the request for a Certificate of Appropriateness for a waiver from the Fairmount Historic District and Guidelines to construct a two-story, 3-bay garage at 807 W Morphy <u>be denied</u>.
Motion by:	Kelly
2nd:	Edmonds
Vote:	6-0

III. ADJOURNMENT

Executive Session

The Historic and Cultural Landmarks Commission will conduct a closed meeting, as necessary, to seek the advice of its attorneys concerning pending or contemplated litigation, or other matters that are exempt from public disclosure under Article X, Section 9 of the Texas State Bar Rules, and as authorized by Section 551.071 of Texas Government Code, which are related to any item appearing on this agenda.

ASSISTANCE AT THE PUBLIC MEETINGS:

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ASISTENCIA EN REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.



Meeting Agenda

HISTORIC AND CULTURAL LANDMARKS COMMISSION

Monday, September 11, 2023

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Michael Moore	_____	_____
Rick Herring	_____	_____
Dimitria Campbell	_____	_____
Armando Piña	_____	_____
Rodger Chieffalo	_____	_____
AnnaKatrina Kelly	_____	_____
Cade Lovelace	_____	_____
Will Northern	_____	_____
Cory Malone	_____	_____
Les Edmonds	_____	_____
Thomas Oliver	_____	_____
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I. **WORK SESSION** City Council Conference Room 2020

A. Discussion of items on the agenda

II. **PUBLIC HEARING** City Council Chamber

A. **CALL TO ORDER:** Statement of Open Meetings Act

B. **ANNOUNCEMENTS**

C. **APPROVAL OF AUGUST 14, 2023 MEETING MINUTES**

D. CONTINUED CASES

1. HCLC-23-271 **401 W Lancaster Ave; Downtown Overlay /HSE** *Individual*
Council District: 9
Applicant/Owner: City of Fort Worth/Cleopatra Investments
The City of Fort Worth Development Services Department requests a determination as to whether the primary structure located at 401 W Lancaster Ave. can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage.

2. HCLC-23-260 917 E Leuda St; Zone A-5/ HC *Terrell Heights*
Council District: 8
Applicant/Owner: Carlos Briones
Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.

E. APPEAL CASES

1. HCLC-23-264 2909 Evans Ave; ER/HC *Morningside*
Council District: 8
Applicant/Owner: Arnold Sefcik, ICS Insurance Construction Services LLC
Applicant appeals the decision of the Historic Preservation Officer and requests a Certificate of Appropriateness (COA) for work undertaken recently to paint the previously unpainted brick on the non-contributing structure.
2. HCLC-23-005 5500 Alexander Dr; A-5/HC *Carver Heights*
Council District: 5
Applicant/Owner: Lluvia Gamboa
Applicant appeals the decision of the Historic Preservation Officer and requests a Certificate of Appropriateness (COA) to construct a front addition and change the porch configuration on the non-contributing structure.

F. TAX VERIFICATION CASE

1. HCLC-23-299 1609 Fairmount Ave; C/HC *Fairmount*
Council District: 9
Applicant/Owner: Kristen Correa, Dwell Property Management LLC
Applicant requests a recommendation to City Council to consider approving a historic site tax exemption.

G. NEW CASES

1. HCLC-23-094 921 Bessie St; Zone A-5/ HC *Terrell Heights*
Council District: 8
Applicant/Owner: Irving Gatica/Enrique Martinez
Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.
2. HCLC-23-261 1128 Annie St; Zone A-5/ HC *Terrell Heights*
Council District: 8
Applicant/Owner: Ada Rodriguez
Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.

3. **HCLC-23-292** **1612 E Leuda St; Zone A-5/ HC** *Terrell Heights*
Council District: 8
Applicant/Owner: Lucy Garcia
Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.
4. **HCLC-23-296** **5804 Eisenhower Dr; Zone A-5/ HC** *Carver Heights*
Council District: 5
Applicant/Owner: Mauricio M Baz
Applicant requests a Certificate of Appropriateness (COA) to construct a new residence.

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Executive Session

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I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the City of Fort Worth official bulletin board, places convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time Friday, September 08, 2023 at 10:15 a.m. and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.


City Secretary for the City of Fort Worth, Texas

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 9

GENERAL INFORMATION

LOCATION	401 W Lancaster Ave
ZONING/ USE (S)	PD/HSE
OWNER APPLICANT/AGENT	Cleopatra Investments, Ltd./ City of Fort Worth
NEIGHBORHOOD ASSOCIATION	Individual

REQUEST

The City of Fort Worth requests a determination from the Historic and Cultural Landmarks Commission (HCLC), in accordance with Chapter 7: Buildings, Article 4: Minimum Building Standards Code; Section 7-109 Preservation of Historic Properties of the City Code, as to whether the individually designated commercial structure at **401 W Lancaster Ave** can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage.

The applicant is requesting a determination for the **Texas & Pacific Warehouse (Merchants Terminal Building)**. The structure is considered a **CAT 2 (Substandard and Hazardous)**.

CODE COMPLIANCE BACKGROUND INFORMATION

- Property Designated HSE in **November 1995**.
- Property purchased by Cleopatra Investments in **1997**.
- **September 2016 – January 2018** Code violations lead to negotiated response by owner to address various problems requiring immediate action to address water infiltration. Owner required to:
 - Secure the building, enclose windows with temporary enclosures, remove rooftop vegetation, install rooftop drainage system, install and operate water pump in basement to mitigate routine flooding;
 - Improvements were not sufficient to address all minimum building standards violations, but intended to immediately address several critical items until redevelopment occurred
- **February 2018** HCLC determined that the property could be reasonably rehabilitated.
- **2018-2022** Building continued to deteriorate and remains below Minimum Building Standards.
- **July 2022** Notice of Noncompliance letter issued to owner for failure to address the demolition by neglect of the property and to request access to the interior of the structure for the structural engineer.

- **November 2022** Notice of Noncompliance letter issued to owner to again request access to the interior of the structure for the structural engineer.
- **March 2023** Structural Assessment by Frank Neal and Associates commissioned by the City completed.
- **July 2023** Notice of Noncompliance letter issued to the owner as a result of the findings of the structural assessment and requesting a repair schedule by August 10, 2023.
- **August 2023** The owner was granted until September 10th to submit a repair schedule.
- **August 14, 2023** City of Fort Worth Requests Determination by the Historic and Cultural Landmarks Commission whether the building can be reasonably rehabilitated. Application was granted a **continuance** until the September 11th HCLC meeting.
- **September 11, 2023**, City of Fort Worth Requests Determination by the Historic and Cultural Landmarks Commission whether the building can be reasonably rehabilitated.

APPLICABLE REGULATIONS:

City of Fort Worth Zoning Ordinance

Minimum Building Standards Code

Chapter 7: Buildings, Section 7.109 – Preservation of Historic Properties

- a) Prior to the issuance of notice for a hearing under § 7- 102 or § 7- 102A of this article, a hearing will be conducted before the Historic and Cultural Landmarks Commission of the City of Fort Worth if the building or structure that is the subject of the hearing:
 1. Meets either(a) or (b) and also (c) below.
 - a. Individually designated or pending designation as:
 - a) Highly significant endangered;
 - b) Historic and cultural landmark; or
 - c) Demolition delay.
 - b. A contributing historic property located in an area designated or pending designation as an historic and cultural landmarks district.
 - c. Is not a single- family dwelling occupied by the owner.

The HCLC shall review the condition of the building or structure to determine whether it can be reasonably rehabilitated, and shall submit a written report of its findings and recommendations to the superintendent within 60 calendar days from the date of the initial landmarks commission hearing.

Historic Preservation Ordinance - Section 4.401(d)(3)

Certificates of Appropriateness

The Historic and Cultural Landmarks Commission may approve a certificate of appropriateness for demolition when it has determined that the structure is no longer significant.

Level of Review – HCLC Review

The HCLC has original jurisdiction to evaluate applications for appropriateness, or any portion thereof, and issue COAs for requests for determination of whether **individually designated historic properties** and **contributing historic properties** in HC Districts can be reasonably

rehabilitated pursuant to the city's Minimum Building Standards Code, including, but not limited to, [Chapter 7, Article 4, § 7-109 of the city code](#)

City of Fort Worth Preservation Ordinance - Section 4.401(d)(3)

The Historic and Cultural Landmarks Commission may approve a certificate of appropriateness for demolition when it has determined that the structure is no longer significant. The following criteria, as well as the criteria applied to evaluate districts for inclusion in the National Register of Historic Places, must be used to establish the significance and integrity of property or neighborhoods and their features, and to evaluate the eligibility of a property as a historic property or HC District: Staff have considered the property as part of the District designation and have considered the 8 existing criteria for designation.

FINDINGS/RECOMMENDATIONS

The following criteria are used to in determining reasonable rehabilitation of a structure.

1. Significance; and
2. Integrity
1. Significance

THE HISTORIC AND/OR ARCHITECTURAL SIGNIFICANCE OF THE BUILDING

According to the Tarrant County Historic Resources Survey, the Texas & Pacific buildings were constructed from 1930-1931 with the architectural firm of Wyatt C. Hedrick winning contracts for the terminal and the warehouse. Both structures were listed on the National Register of Historic Places in 1978. The warehouse was designated HSE by the City of Fort Worth in 1995.

The Texas and Pacific Railroad played a central role in Fort Worth's development, from the establishment of the city's first rail line in 1876 to the peak years of train service during World War II. Fort Worth's growth in the oil-boom years of the 1920's outstripped its transportation facilities. In 1929, an ambitious joint plan between the Texas & Pacific and the City of Fort Worth, resulted in the reconstruction of the downtown rail and road system.

On July 31, 1995, the City of Fort Worth and its Historic and Cultural Landmarks Commission nominated the T & P Warehouse for designation as Highly Significant Endangered, having met 10 of the original 15 criteria for designation.

THE SPECIAL CHARACTER AND AESTHETIC INTEREST THAT THE BUILDING ADDS TO THE LOCAL HISTORIC DISTRICT OR LANDMARK SITE:

The Texas & Pacific Warehouse forms part of the Texas & Pacific Railroad Complex and Freight Buildings. The in-freight warehouse is an enormous 8-story masonry block measuring 100' by 600', of reinforced concrete and steel-frame construction, clad in yellow-buff brick with limestone trim. Projecting end bays terminate the octagonal towers that accentuate the verticality of the Art Deco structure.

Continuous loading docks covered by metal canopies extend along the sides. Ornament is restricted primarily to patterned red brick friezes above the ground floor, frieze panels at the cornice, and limestone copings along the parapets.

The dominance of the in-freight warehouse suggests Fort Worth's importance as an importer of goods for local distribution, but also as a way-station for freight destined for other parts of the country. The Warehouse contributes to a complex of buildings that form an architecturally impressive monument to the importance of the railroad in Fort Worth's development.¹

2. Integrity

EVALUATING THE INTEGRITY OF A PROPERTY

Integrity is the ability of a property to convey its significance. The designation of a property must not only be shown to have significance under Zoning Ordinance, but it also must have integrity. Within the concept of integrity for example, the National Register criteria recognizes seven aspects or qualities that, in various combinations, define integrity.

Seven Aspects of Integrity

1. **Location.**
2. **Design.**
3. **Setting.**
4. **Materials.**
5. **Workmanship**
6. **Feeling.**
7. **Association.**

Location - The structure is still in its original location.

Design - The structure's design, form, plan, and style are still extant, and defining features such as Art Deco details remain.

Setting - The setting of the structure amidst commercial properties of similar age and historic use is still extant on the south side of Lancaster Avenue and behind the building where freight rail lines still exist. The original setting along the north side of the street is no longer extant.

Materials - The decorative brickwork, loading docks, suspended canopies, glazed tile, and exterior envelope is in sound condition. Many of the original steel windows have been removed and saved for reuse in a future redevelopment project.

Workmanship - Unique details such as the glazed tiles, concrete canopies, decorative brickwork and Art Deco detailing of the Warehouse remain and convey the intricate workmanship that was utilized in the construction of the building.

Feeling - The T&P Warehouse retains its feeling as a 1930s commercial structure due to its surrounding context and retention of overall form and details.

Association - While the structure retains its feeling as a 1930s rail-oriented commercial structure, due to the building remaining vacant and no longer operating as a freight warehouse, there is little association that remains as a commercial and rail road-oriented building in the City of Fort Worth.

When the building has been assessed with the National Park Service's Seven Aspects of Integrity (location, design, setting, materials, workmanship, feeling, association), this structure retains six (6) of the Seven Aspects of Integrity.

¹ Tarrant County Historic Resources Survey: Phase III for Worth's Southside (pp.35-36)

Minimum Building Standards Code

The subject property is an individually designated structure, which triggers the requirement for the HCLC to review the condition of the structure to determine whether it can be reasonably rehabilitated.

The condition of the building(s) or structure(s):

A structural assessment of condition² has been considered in relation to the structural integrity only. Preservation staff has assessed non-structural exterior elements of the building in relation to condition.

Overall, the structure is in fair condition. The exterior envelop of the structure shows signs of damage, including:

- Damage to exterior canopy, including spalling, falling concrete, and exposed rebar;
- Damage to roof systems, including the recently installed temporary roof covering which is failing;
- Water infiltration from the roof, deteriorated masonry joints on the top three (3) floors of the building, and the openness of all exterior openings to the elements;

According to the structural assessment provided by Frank W Neal and Associates (Attach C), most interior structural damage is related to failing concrete, concrete spalling and rusted rebar. Approximately 3,500 square feet across all 8 floors, including the sub-basement and the roof,

² **1.1.1 Assessment of Condition:** The assessment of condition has been provided to the historic fabric only. The following definitions have been provided for assistance and clarity:

POOR CONDITION:

Elements which have been characterised as being in ‘poor condition’ are those elements that no longer possess the qualities which they possessed when they first formed part of the building, such as durability, composition, aesthetic merit and functionality. These elements either cannot continue to perform their original function without immediate repair or they are in such a condition that their failure is imminent. These elements are in need of extensive repair and/or replacement.

FAIR CONDITION:

Elements which have been characterised as being in ‘fair condition’ are those elements that partially possess qualities such as durability, composition, aesthetic merit and functionality, and were still performing satisfactorily at the time of inspection, however, they require a moderate degree of repair in order to deter further deterioration and/or conservation to a sound or good condition.

SOUND CONDITION:

Elements which have been characterised as being in ‘sound condition’ are those elements that mostly possess qualities such as durability, composition, aesthetic merit and functionality, and were still performing satisfactorily at the time of inspection, however, they may require a minor degree of repair or preventative maintenance in order to deter further deterioration and/or conservation to a good condition.

GOOD CONDITION:

Elements which have been characterised as being in ‘good condition’ are those elements that possess durability, composition, robustness, aesthetic merit and functionality. These elements are not in need of repair.

Note: When describing a fitting, its condition is defined based on appearance, not on functionality.

shows severely spalled and exposed corroded rebar which requires complete demolition and repair. The report also gives a suggested timeline and budget for the recommended repairs.

As the report notes, some structural issues should be repaired within the next 3-6 months, while the remainder should be repaired in the next 1-3 years. While repairs to concrete and rebar will address structural issues, they will not address the ultimate cause of the structural issues: water infiltration. Water is the ultimate enemy of any building, regardless of age. While the T&P Warehouse can be reasonably rehabilitated now, if its structural elements are continuously exposed to water infiltration and moisture penetration, it will continue to be in danger of structural failure.

Another area of concern in relation to the current condition of the building is limited, temporary repairs to address Minimum Building Standards (MBS) violations. Each time a band-aid solution is undertaken, such as a temporary roof or removal of original steel windows, unintentional damage is created to original materials and building systems which cannot be replaced. Past repair efforts have focused on the most egregious areas of water penetration and Code violations at the extent of original historic materials. If this pattern of temporarily addressing MBS issues continues into the future, there may be no original integrity left to the structure through which it can convey its significance.

Without a comprehensive plan to fully enclose the building and protect it from the elements, the structural issues identified in the assessment will continue to occur into the future. Such an action plan should provide long-term solutions to water management and structural stability and repair, with methods based in best preservation practices and the *Secretary of the Interior's Standards for the Treatment of Historic Properties* as required by the City's Historic Preservation Ordinance.

Given the foregoing, the physical evidence on site and information provided by the structural engineer and the owner, the building still conveys its significance and integrity despite its condition. Therefore, based on the information provided, Staff considers that the structure at 401 W Lancaster Avenue can be reasonably rehabilitated.

Staff therefore offer the following motion:

1. **That the Texas & Pacific Warehouse located at 401 W Lancaster Avenue can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage; and**
2. **That the owner prepare a comprehensive action plan that addresses all issues identified in the structural assessment in a timely manner (1-3 years), including the causes of the issues, and that the solutions proposed be permanent and consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties***

List of Attachments:

Attachment A: Frank W Neal and Associates Structural Assessment March 30, 2023

Attachment B: Notice of Noncompliance July 2022

Attachment C: Notice of Noncompliance November 2022

Attachment D: Notice of Noncompliance July 2023 including applicable Minimum Building Standards

Attachment E: Timeline of Code Compliance associated with T&P Warehouse

Supplemental Information

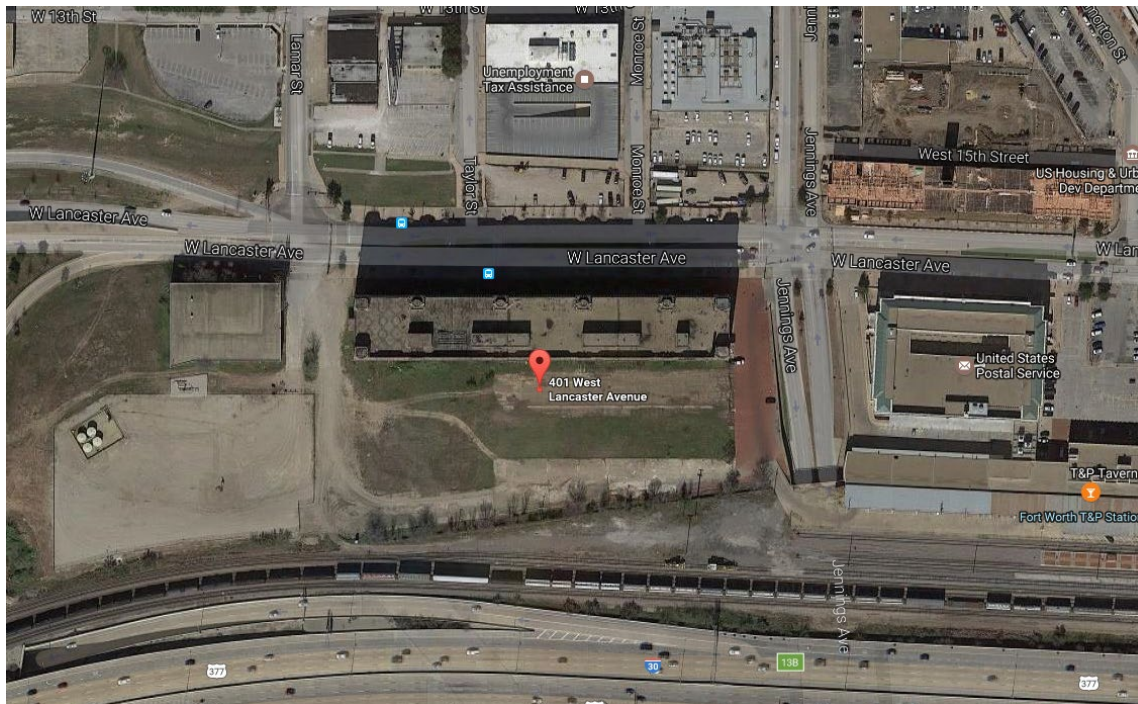


Fig. 1 – Aerial view of the subject property



Fig. 2 – East(side) and North (front) Elevations



Fig. 3 – East (side) Elevation



Fig. 4 – West (side) and South (rear) Elevations



Fig. 5 – Detail of Northeast corner



Fig. 6 – Detail of Northwest corner, note lack of window openings



Fig. 7 – Interior photo from FNA Structural Report



Fig. 8 – Interior Photo from FNA Structural Report



Fig. 9 – South Canopy from FNA Structural Report



Fig. 10 – Interior photo from FNA Structural Report



Fig. 11 – Interior photo from FNA Structural Report



Fig. 12 – Photo of rooftop with failing temporary roof



Fig. 13 – Photo of intact windows, typical condition on most floors



Fig. 14 – Typical condition of middle floors, note open elevator shaft

T&P Warehouse Assessment

For

Texas and Pacific Warehouse

401 West Lancaster Avenue
Fort Worth, TX 76102

Prepared for:

Fort Worth Local Development Corporation

200 Texas Street
Fort Worth, TX 76102

FWNA Project Number 222.333

May 30, 2023



Table of Contents:

Table of Contents: 1

Executive Summary: 2

Introduction: 3

Brief History of Property: 3

Structural Evaluation: 4

 Basement: 4

 Floor 1: 4

 Floor 2: 5

 Floor 3: 7

 Floor 4: 8

 Floor 5: 9

 Floor 6: 10

 Floor 7: 11

 Floor 8: 12

 Roof: 13

Recommendations: 15

 Concrete Repair Procedure 1: 15

 Concrete Repair Procedure 2: 16

Cost Estimates: 17

Conclusions: 19

Photos: 20

Appendix A: 39

 Structural Floor Plan Sheets

Executive Summary:

Frank W. Neal & Associates (FWNA) performed multiple observations at the Texas and Pacific (T&P) Warehouse between March 7, 2023 and March 22, 2023. The purpose of these observations was to determine the extent of repairs required in the building to maintain its structural integrity.

The warehouse consists of 8-stories with a basement and penthouse structures on the roof. It is constructed as 4 distinct structures separated by expansions joints. The structure on floors 1 through 8 consist of concrete flat plate slabs supported by concrete columns. The roof consists of a one-way slab supported by concrete beams and girders with some of the girders being encased steel wide flange sections. The girders are supported by concrete columns.

Our observations in the **Structural Evaluation** section determined vast scattered areas of spalled concrete and exposed, mildly corroded rebar throughout every level of the warehouse with scattered lengths of less than 1/4" thick cracks in the bottom of floor slab on Floor 2 (including the exterior canopies), Floor 8, and the Roof. These damaged areas do not require immediate repair. However, if left unattended to they may lead to damaging affects in the future. The repair procedures outlined in the **Recommendations** section should be performed within the next 1 to 3 years.

Our observations also indicated approximately 3,500-ft² of severely spalled and exposed, corroded rebar which requires complete demolition and repair in various areas of the slabs in the warehouse and roof beams. These repairs should be made within the next year as their condition creates localized structural integrity issues in the warehouse. Temporary shoring should be provided in the immediate future and remain in place until the demolition and repairs are completed.

The expected cost of repairs required are based upon estimates provided by several concrete repair contractors. This includes the cost of construction and application. The cost of concrete required for the areas of demolition and repair is based on industry experience and do not include the cost of demolition and construction. Based on these estimates, a total cost for the repair procedures outlined in the **Structural Evaluation** and **Recommendations** sections is estimated to be \$2,149,000. This value includes a 10% contingency, which is an industry standard.

These repairs will provide the required remediation to maintain the structural integrity of the warehouse. Additional means of water infiltration prevention into the structure should be made to prevent any further standing water at various levels. This standing water is the primary reason behind the observed various stages of deterioration found throughout the warehouse.

Introduction:

At the request of the Fort Worth Local Development Corporation, FWNA has performed a visual assessment and investigation of the structural elements for the T&P Warehouse. The intent of this assessment is to provide information regarding the general condition of the structure, as well as the extent of structural issues that require repair. Our observations took place on the 7th, 15th, 16th, 17th, 21st, and 22nd of March 2023 and were visual only. No testing, destructive or nondestructive, was performed during our visits.

The warehouse is approximately 600-ft long by 100-ft wide and is 8-stories tall with a basement and penthouse structures on the roof. No structural contract documents of the original construction were available for review. The warehouse consists of 4 distinct structures separated by expansions joints. The structure on floors 1 through 8 consist of conventionally reinforced concrete flat plate slabs supported by cylindrical concrete columns. The columns include column capitals and drop panels. The roof consists a conventionally reinforced one-way slab in most of the level and a two-way slab in the western most portion of the level. The one-way slab is supported by reinforced concrete beams and girders with some of the girders being encased steel wide flange sections. The girders are supported by cylindrical concrete columns. The roof two-way slab is also supported by cylindrical concrete columns which also included column capitals and drop panels.

Brief History of Property:

Fort Worth's centralized location in the T&P Railway Company's network provided a prime location for the growth of various economic activities in the southwest. The rapid population growth of the city in the 1910s and 1920s created the need for expanding the existing passenger train terminal. In response, T&P invested \$13 million into building development programs¹.

As part of this program, a 3-building complex was constructed in 1931 that included a new thirteen-story passenger terminal, an outbound freight terminal, and an 8-story inbound freight terminal. The inbound terminal would come to be known as the T&P Warehouse. The warehouse included areas for both cold and dry storage, distribution of produce and merchandise, as well as leasable office space. The three buildings were examples of the Art Deco and Modern style movements of the time and were designed by prominent Fort Worth architect Wyatt C. Hedrick. The terminal was considered an exceptionally modern office for the time while the T&P Warehouse was one of the largest storage warehouses in the country.

By the 1950s air-traffic had become a prominent means of transportation and by the 1960s the buildings had become entirely shut down and vacated. Since then, the T&P Warehouse has predominantly laid vacant, leading to deterioration of various structural and aesthetic elements throughout the building. This deterioration has accelerated due to water leaking throughout the structure and has largely been unaddressed.

¹ National Register of Historic Places, Texas and Pacific Terminal Complex, Fort Worth, Tarrant County, Texas, National Register #78002983

Structural Evaluation:

The following section outlines the observations made during the sites visits performed by FWNA between March 7th, 2023 and March 22nd, 2023. Concrete repair procedures mentioned can be found in the

Recommendations section.

Basement:

The basement level foundation slab thickness is unknown, but is assumed to be between 5-in to 7-in thick. The western most end of this level has large amounts of shallow standing water. This water has aided in the extensive spalling and corrosion of the bottom of floor slab supporting **Floor 1**. It is recommended that additional means of drainage be installed in the foundation to prevent any standing water. Refer to *SK-B.1 – SK-B.4* in **Appendix A** for specific locations for the following numbered observations:

1. The subbasement in this location was inaccessible due to a large amount of standing water. Pumps were present and were being used to remove the water at the time of our observation of this area. From what was observable, small areas of spalled concrete and exposed rebar on the bottom of the floor slab supporting **Floor 1** were seen. Additional inspection is needed in this area to fully detail the required amount of repair needed.
2. The slab on grade at this location has been damaged due to the heaving of the soil beneath. The heave of the slab is not affected the overall structure. However, the slab will need to be demolished, the soil beneath regraded and compacted per recommendations from a licensed geotechnical engineer, and a new reinforced slab on grade poured in its place. The approximate volume of new reinforced concrete to be poured is 55-yd³.
3. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 1:

Observations for this floor were primarily taken from the **Basement**. The floor slab thickness is approximately 8-in thick. The western most end of the basement consisted of large amount of shallow standing water which has aided in the extensive spalling in the bottom of the floor slab in this area. It is recommended that additional means of drainage be installed in the foundation to prevent any standing water. Refer to *SK-1.1 – SK-1.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 1* and *Photo 2*). This is a typical condition found throughout the floor slab at this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-1.1 – SK-1.4* for approximate square footage affected in each grid box location.
2. The subbasement in this location was inaccessible due to a large amount of standing water. Pumps were present and were being used to remove the water at the time of our observation of this area. From what was observable, small areas of spalled concrete and exposed rebar on the bottom of the floor slab were seen. Additional inspection is needed in this area to fully detail the required amount of repair needed.

3. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly rusted rebar. This is a common condition in several locations at this floor (refer to *Photo 3*). **Concrete Repair Procedure 1** should be used for repair.
4. The bottom of floor slab at this location has approximately 80-ft² of spalled concrete and exposed, severely corroded rebar (refer to *Photo 4*). A few rebar members have been entirely corroded through and are hanging from the bottom of the floor slab. This area will require a complete demolition and repour of a new floor slab. The extent of the demolished slab should not extend into the existing column drop panels. The approximate volume of new reinforced concrete to be poured is 2-yd³.
5. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab (refer to *Photo 5* and *Photo 6*). **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-1.2* for approximate square footage of affected area.
6. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion (refer to *Photo 7*). This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
7. The columns and bottom of floor slab in this area were covered with spray foam insulation making the structural concrete unobservable. Additional inspection is needed in this area to fully detail the required amount of repair needed, if any.
8. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 2:

Observations for this floor were primarily taken from **Floor 1**. The floor slab thickness is approximately 8-in thick and the exterior canopies are approximately 5-in thick. A vast majority of the columns supporting this level had a steel casing around the bottom third of their height, making this portion unobservable. It is recommended that these casings be removed to fully detail the required amount of repair needed. Refer to *SK-2.1 – SK-2.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-2.1 – SK-2.4* for approximate square footage affected in each grid box location.
2. The top of the concrete wall this location has approximately 12-ft² of spalled concrete and exposed, mildly corroded rebar. This is a common condition in several locations at this floor (refer to *Photo 8*). **Concrete Repair Procedure 1** should be used for repair.

3. The bottom of floor slab at this location has approximately 375-ft² of spalled concrete and exposed, severely corroded rebar (refer to *Photo 9* and *Photo 10*). This area will require a complete demolition and repour of a new slab. The extent of the demolished slab should not extend into the existing column drop panels. The approximate volume of new reinforced concrete to be poured is 10-yd³.
4. The concrete at the bottom of beam in this location has completely spalled off, fully exposing the flexural rebar and part of the stirrups (refer to *Photo 11* and *Photo 12*), which are both now severely corroded. This will require a complete demolition and repour of a new beam. The extent of demolition should not extend into the column capitals or drop panels. The approximate volume of new reinforced concrete to be poured is 6-yd³.
5. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. Some spalled sections also showed signs of previous patchwork that have begun to deteriorate (refer to *Photo 13*). This is a common condition in various locations at this floor. The deteriorated patchwork should be removed and **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-2.1 – SK-2.4* for approximate square footage affected in each grid box location.
6. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1. Concrete Repair Procedure 1** should be used for repair. Refer to *SK-2.2* for approximate square footage of affected area.
7. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion (refer to *Photo 14*). This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
8. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.
9. The bottom of floor slab and part of the thickened slab around the elevator core in this grid box has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 15* and *Photo 16*). **Concrete Repair Procedure 1** should be used for repair of both the bottom of floor slab and thickened slab. Refer to *SK-2.4* for approximate square footage of affected area.
10. The column capital and drop panel at this column appears to have been intentionally chipped away for unknown reasons (refer to *Photo 15* and *Photo 16*). **Concrete Repair Procedure 1** should be used for repair. The approximate area affected at this column is 75-ft². This is a common condition at multiple columns at this floor.
11. The column at this location has extensive spalling and exposed, mildly corroded rebar (refer to *Photo 16*). Due to the steel casing at the bottom third of the column height, it is unknown how far this damage extends towards the base. **Concrete Repair Procedure 1** should be used for repair. The approximate area affected at this column 30-ft². This is a common condition at several columns at this floor.

12. The bottom of floor slab in this area was covered with a ceiling finish making the structural concrete unobservable. Additional inspection is needed in this area to fully detail the required amount of repair needed, if any.
13. The bottom of the south canopy on the exterior of the building has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar as well as scattered lengths of less than ¼" thick cracks (refer to *Photo 17*). The cracks are allowing water and other deleterious material ingress into the concrete. These are typical conditions found throughout these two canopies. The spalled concrete will need to be patched and the cracks sealed. **Concrete Repair Procedure 1** and **Concrete Repair Procedure 2** should be used for the spalled concrete/exposed rebar and crack conditions, respectively. Refer to *SK-2.2 – SK-2.4* for approximate square footage and length affected in each area.
14. The bottom of the south canopy on the exterior of the building has two locations where the concrete has completely spalled through and is gone entirely (refer to *Photo 18*). This area will require a partial demolition and full repour of a new canopy slab. The approximate volume of new reinforced concrete to be pour is 2-yd³.
15. The bottom of the north and west canopy on the exterior of the building has scattered lengths of less than ¼" cracks (refer to *Photo 19*). These cracks are allowing water and other deleterious material ingress into the concrete. The cracks will need to be sealed. We recommend using **Concrete Repair Procedure 2**. Refer to *SK-2.1 – SK-2.4* for approximate total lengths of cracks in each area.

Floor 3:

Observations for this floor were primarily taken from **Floor 2**. The floor slab thickness is approximately 8-in thick. Refer to *SK-3.1 – SK-3.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-3.1 – SK-3.4* for approximate square footage affected in each grid box location.
2. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatex®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.
3. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly rusted rebar. **Concrete Repair Procedure 1** should be used for repair.
4. The bottom of floor slab at this location has approximately 160-ft² of spalled concrete and exposed, severely corroded rebar (refer to *Photo 21*). A few rebar members have been entirely corroded through and are hanging from the bottom of the floor slab. This area will require a complete demolition and repour of a new floor slab. The extent of the demolished slab should not extend into the existing column drop panels. The approximate volume of new reinforced concrete to be poured is 4-yd³.

5. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1. Concrete Repair Procedure 1** should be used for repair. Refer to *SK-3.2* for approximate square footage of affected area.
6. The area around the existing openings along grid 6 for this elevator core had significantly more extensive concrete spalling and rebar corrosion (refer to *Photo 22*). This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
7. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. Some spalled sections also showed signs of previous patchwork that have begun to deteriorate (refer to *Photo 13*). This is a common condition in various locations at this floor. The deteriorated patchwork should be removed and **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-3.1 – SK-3.4* for approximate square footage affected in each grid box location.
8. The bottom of floor slab in this area appears to have been intentionally chipped away for unknown reasons and has exposed various areas of rebar, which has now become mildly corroded. **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-3.2* for approximate square footage of affected area.
9. The bottom of floor slab in this area was covered with a ceiling finish making the structural concrete unobservable. Additional inspection is needed in this area to fully detail the required amount of repair needed, if any.
10. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 4:

Observations for this floor were primarily taken from **Floor 3**. The floor slab thickness for is approximately 8-in thick. Refer to *SK-4.1 – SK-4.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-4.1 – SK-4.4* for approximate square footage affected in each grid box location.
2. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly corroded rebar. This is a common condition at various columns at this floor (refer to *Photo 23*). **Concrete Repair Procedure 1** should be used for repair.

3. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatec®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.
4. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1**. **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-4.2* for approximate square footage of affected area.
5. The area around the existing openings along grid 6 for this elevator core had significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
6. The bottom of floor slab at this location showed signs of spalled concrete that has not yet completely fallen off. **Concrete Repair Procedure 1** should be used for repair. The approximate area of square footage affected is 5-ft².
7. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.
8. The concrete column capital and drop panel at this column has spalled off (refer to *Photo 24* and *Photo 25*). **Concrete Repair Procedure 1** should be used for repair. The approximate area affected at this column is 64-ft². This is a common condition at several columns at this floor.

Floor 5:

Observations for this floor were primarily taken from **Floor 4**. The floor slab thickness is approximately 8-in thick. Refer to *SK-5.1 – SK-5.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-5.1 – SK-5.4* for approximate square footage affected in each grid box location.
2. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly corroded rebar. This is a common condition at various columns at this floor (refer to *Photo 26*). **Concrete Repair Procedure 1** should be used for repair.
3. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatec®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.

4. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1. Concrete Repair Procedure 1** should be used for repair. Refer to *SK-5.2* for approximate square footage of affected area.
5. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
6. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 6:

Observations for this floor were primarily taken from **Floor 5**. The floor slab thickness is approximately 8-in thick. Refer to *SK-6.1 – SK-6.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatex®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.
2. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly corroded rebar. This is a common condition at various columns at this floor. **Concrete Repair Procedure 1** should be used for repair.
3. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 27*). This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-6.1 – SK-6.4* for approximate square footage affected in each grid box location.
4. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1. Concrete Repair Procedure 1** should be used for repair. Refer to *SK-6.2* for approximate square footage of affected area.
5. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
6. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 7:

Observations for this floor were primarily taken from **Floor 6**. The floor slab thickness is approximately 8-in thick. Refer to *SK-7.1 – SK-7.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-7.1 – SK-7.4* for approximate square footage affected in each grid box location.
2. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatex®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.
3. The bottom of beam at this location has approximately 5-ft² of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 28*). **Concrete Repair Procedure 1** should be used to repair this area.
4. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1**. **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-7.2* for approximate square footage of affected area.
5. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
6. The bottom of floor slab at this location has approximately 215-ft² of spalled concrete and exposed, severely corroded rebar (refer to *Photo 29*). Some of the spalled concrete was still in the area, indicating there has been rapid spalling in this area. This area will require a complete demolition and repour of a new floor slab. The extent of the demolished slab should not extend into the existing column drop panels. The approximate volume of new reinforced concrete to be poured is 6-yd³.
7. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. Some spalled sections also showed signs of previous patchwork that have begun to deteriorate (refer to *Photo 13*). This is a common condition in several locations at this floor. The deteriorated patchwork should be removed and **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-7.1 – SK-7.4* for approximate square footage affected in each grid box location.
8. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly corroded rebar. **Concrete Repair Procedure 1** should be used for repair.
9. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Floor 8:

Observations for this floor were primarily taken from **Floor 7**. The floor slab thickness is approximately 8-in thick. Refer to *SK-8.1 – SK-8.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. This is a typical condition found throughout the floor slab for this floor. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-8.1 – SK-8.4* for approximate square footage affected in each grid box location.
2. The bottom of floor slab around this column has various lengths of mildly corroded rebar which has no apparent cover (refer to *Photo 20*). This appears to be an error made during construction. **Concrete Repair Procedure 1** should be used to repair this rebar. It should be noted that this repair procedure will not create cover for the rebar. However, the Sika® Armatec®-110 EpoCem will prevent the exposed rebar from rusting further. The approximate square footage affected at this column is 15-ft². This is a common condition above various columns at this floor.
3. The bottom of floor slab at this location has an approximate 8-ft long, less than ¼" thick crack (refer to *Photo 30*). It is allowing water and other deleterious material ingress into the structure. The crack will need to be sealed. We recommend using **Concrete Repair Procedure 2**.
4. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1**. **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-8.2* for approximate square footage of affected area.
5. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
6. The bottom of floor slab at this location has approximately 215-ft² of spalled concrete and exposed, severely corroded rebar. Some of the spalled concrete was still in the area, indicating there has been rapid spalling in this area. This area will require a complete demolition and repour of a new floor slab. The extent of the demolished slab should not extend into the existing column drop panels. The approximate volume of new reinforced concrete to be poured is 6-yd³.
7. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. Some spalled sections also showed signs of previous patchwork that have begun to deteriorate (refer to *Photo 13*). This is a common condition in several locations at this floor. The deteriorated patchwork should be removed and **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-8.1 – SK-8.4* for approximate square footage affected in each grid box location.
8. The column drop panel at this location has approximately 5-ft² of spalled concrete (refer to *Photo 31*). **Concrete Repair Procedure 1** should be used for repair.

9. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.

Roof:

Observations for this floor were primarily taken from **Floor 8**. The roof slab thickness is approximately 8-in thick. The inside face of the roof parapet is also a part of the observations at this level. The outside face of the parapet was unobservable. Refer to *SK-R.1 – SK-R.4* in **Appendix A** for specific locations for the following numbered observations:

1. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 32*). This is a typical condition found throughout the roof slab. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-R.1 – SK-R.4* for approximate square footage affected in each grid box location.
2. The bottom of floor slab at these grid box locations has scattered lengths of less than ¼” thick cracks (refer to *Photo 32* and *Photo 33*). These cracks are allowing water and other deleterious material ingress into the structure. This is a typical condition found throughout the roof slab. The cracks will need to be sealed. We recommend using **Concrete Repair Procedure 2**. Refer to *SK-R.1 – SK-R.4* for approximate total lengths of cracks in each grid box location.
3. The bottom and sides of the roof beam at this location has approximately 25-ft² of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 34*). **Concrete Repair Procedure 1** should be used for repair. This is a common condition at various beams at the roof.
4. The side of the roof girder at this location has approximately 10-ft² of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 35*). **Concrete Repair Procedure 1** should be used for repair. This is a common condition at various girders at the roof.
5. The bottom of the concrete column at this location has approximately 4-ft² of spalled concrete and exposed, mildly corroded rebar. This is a common condition at various columns at this floor. **Concrete Repair Procedure 1** should be used for repair.
6. The elevator core in this area has scattered areas, varying in size, of spalled concrete and exposed rebar at the bottom and sides of the thickened floor slab like that found on **Floor 1**. **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-R.2* for approximate square footage of affected area.
7. The area around the existing openings along grid 6 for this elevator core has significantly more extensive concrete spalling and rebar corrosion. This area will require a complete demolition and repour of a new thickened slab. The extent of the demolished slab should not extend into the existing column capitals or floor beam. The approximate volume of new reinforced concrete to be poured is 4-yd³.
8. The bottom of concrete wall at this location has an approximately 25-ft long crack and an additional 25-ft² of spalled concrete (refer to *Photo 36*). The crack does not appear to be more than ¼” in thickness and it is not currently allowing the ingress of water or other deleterious material. **Concrete Repair Procedure 1** and **Concrete Repair Procedure 2** should be used for repair.

9. The bottom of floor slab in these grid box locations has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar. Some spalled sections also showed signs of previous patchwork that have begun to deteriorate (refer to *Photo 13*). This is a common condition in several locations at this floor. The deteriorated patchwork should be removed and **Concrete Repair Procedure 1** should be used for repair. Refer to *SK-R.1 – SK-R.4* for approximate square footage affected in each grid box location.
10. The elevator pit at this location has been sealed off and is unobservable. Additional inspection is needed to fully detail the required amount of repair needed, if any.
11. The bottom of girder at this location has approximately 3-ft² of spalled concrete. The girder appears to be an encased wide flange beam (refer to *Photo 37*). **Concrete Repair Procedure 1** should be used for repair. This is a common condition at a couple girders at the roof.
12. The inside face of the parapet between these grids has scattered areas, varying in size, of spalled concrete and exposed, mildly corroded rebar (refer to *Photo 38*). This is a typical condition found throughout the inside face of the parapet. **Concrete Repair Procedure 1** should be used to repair these areas. Refer to *SK-R.1 – SK-R.4* for approximate square footage affected between grids.

Recommendations:

The repair methods outlined in this section are for the preservation of the structural integrity of the building and to prevent the acceleration in deterioration of the existing structural elements. Further repair and/or demolition and modifications may be required for the re-use of the building depending on the final occupancy category.

The demolition and replacement of specific areas specified in the **Structural Evaluation** section are outside of the scope of work for FWNA. The replacement details should be designed and specified by a registered Professional Engineer licensed in the State of Texas. Appropriate temporary shoring should be installed in the specified demolition areas immediately. The shoring is to be left in place until the reconstruction of these areas is complete.

Concrete Repair Procedure 1:

This repair method is for areas with spalled concrete and exposed, mildly rusted rebar. The depth of spalled concrete varies between 1-in to 3-in. This method is intended to repair the concrete surface, treat the reinforcement and to provide adequate cover to the exposed rebar.

Surface Preparation:

1. Remove any unsound or loose concrete and clean the surface to remove any dust, contaminants, or any miscellaneous debris. Removed concrete shall be properly disposed of.
2. Saw cut perimeter around the damaged area by ½-in maximum. Do not cut the reinforcing steel.
3. Vapor abrasive blast, sandblast, or wire brush exposed reinforcing steel (or steel girder at similar condition) to remove all contaminants and rust.
4. Remove ½-in of the concrete behind the reinforcing steel (or steel girder at similar condition).
5. The surface of the repair area shall be saturated surface dry by means of placing a wet burlap sack over affected area for 24-hr minimum. Once burlap sack is removed, the surface shall be removed of any excess water before applying repair mortar in Step 2 below.

Repair Material Placement:

1. Apply 10-mils thick layer of Sika® Armatex®-110 EpoCem per the manufacturer's application specifications to the exposed, properly cleaned rebar (or steel girder at similar condition) and taking special care to properly coat the underside. Allow to dry for 2 to 3-hr and apply a second 10-mil thick layer using the same application procedure. Allow to dry for an additional 2 to 3-hr before applying the repair mortar in Step 2.
2. Apply SikaTop®-123 Plus repair mortar per manufacturer's application specifications. The repair mortar shall be cured after initial set utilizing moisture conditioning through the placement of a flat, wet absorbent material such as burlap or cotton mats. The absorbent material shall remain over the repair mortar for a minimum of 7-days. Care shall be taken to ensure the absorbent material does not dry. Water used for curing shall conform to ASTM C94/C94M.

Concrete Repair Procedure 2:

This repair method is for areas with less than ¼” thick cracks in the concrete. The depth of the cracks are unknown. This method is intended to prevent further ingress of water and other deleterious materials into the crack.

Surface Preparation:

1. Remove any unsound or loose concrete and clean the surface to remove any dust, contaminants, or any miscellaneous debris. Removed concrete shall be properly disposed.
2. Widen surface of crack to at least ¼” thick. Clean any remaining debris with a wire brush. If concrete around crack has extensive spalling, **Concrete Repair Procedure 1** should be used following the completion of this repair procedure.

Repair Material Placement:

1. Apply Sikaflex® Concrete Fix per manufacturer’s application specifications to the entire length of the crack. Allow to cure for minimum of 7-days.

Cost Estimates:

Table 1 is the associated cost for each type of repair required discussed in the **Structural Evaluation** and **Recommendations** sections. The cost values for Concrete Repair Procedure 1 and Concrete Repair Procedure 2 are an average based upon estimates provided by several concrete repair contractors. The estimates are given as a per-square-foot or per-linear-foot basis and include the cost of materials and construction. The cost value for Demolition and Replacement is for the price of the reinforced concrete only. It does not include the cost for the demolition and construction. The value is based on industry experience and is given as a per-cubic-yard basis.

Table 2 is a breakdown of the total affected area, length, and/or volume required for each type of repair for each level and overall building. It includes the associated cost based on the values in **Table 1** and a total amount and cost for each repair required. The values for the affected area and length have been rounded up to the nearest fifth.

Table 3 is a breakdown of each repair required, including area, length, and/or volume required, and the total cost at each level. It includes a total repair cost for the entire building based on the values in **Table 1**. This value includes and additional 10% for contingency, which is an industry standard, and is rounded up to the nearest \$500th. The values for the affected area and length have been rounded up to the nearest fifth.

Table 1 – Cost per Type of Repair Required

<i>Type</i>	<i>Cost</i>
Concrete Repair Procedure 1	\$120/ft ²
Concrete Repair Procedure 2	\$10.00/ft
¹ Demolition and Replacement	\$250/yd ³

1. Value does not include the cost for demolition and construction.

Table 2 – Cost per Level by Type of Repair Required

<i>Concrete Repair Procedure 1</i>			<i>Concrete Repair Procedure 2</i>			<i>Demolition and Replacement</i>		
Level	¹ Area Affected	Cost	Level	¹ Length Affected	Cost	Level	Volume Affected	² Cost
Basement	-		Basement	-		Basement	55-yd ³	\$13,750
Floor 1	2,725-ft ²	\$327,000	Floor 1	-		Floor 1	6-yd ³	\$1,500
Floor 2	4,470-ft ²	\$536,400	Floor 2	2,115-ft	\$253,800	Floor 2	22-yd ³	\$5,500
Floor 3	870-ft ²	\$104,400	Floor 3	-		Floor 3	10-yd ³	\$2,500
Floor 4	535-ft ²	\$64,200	Floor 4	-		Floor 4	6-yd ³	\$1,500
Floor 5	340-ft ²	\$40,800	Floor 5	-		Floor 5	6-yd ³	\$1,500
Floor 6	480-ft ²	\$57,600	Floor 6	-		Floor 6	6-yd ³	\$1,500
Floor 7	625-ft ²	\$75,000	Floor 7	-		Floor 7	12-yd ³	\$3,000
Floor 8	660-ft ²	\$79,200	Floor 8	10-ft	\$100	Floor 8	12-yd ³	\$3,000
Roof	2,675-ft ²	\$321,000	Roof	5,870-ft	\$58,700	Roof	6-yd ³	\$1,500
Total	13,380-ft²	\$1,605,600	Total	7,995-ft	\$312,600	Total	141-yd³	\$32,250

1. Values have been rounded up to the nearest fifth.

2. Values do not include the cost for demolition and construction.

Table 3 – Total Cost of Repair per Level

<i>Level</i>	<i>Repair Required</i>	¹ <i>Area/Length/Volume Affected</i>	² <i>Cost</i>	² <i>Total Level Cost</i>
Basement	Concrete Repair Procedure 1	-	-	\$13,750
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	55-yd ³	\$13,750	
Floor 1	Concrete Repair Procedure 1	2725-ft ²	\$327,000	\$328,500
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	6-yd ³	\$1,500	
Floor 2	Concrete Repair Procedure 1	4470-ft ²	\$536,400	\$795,700
	Concrete Repair Procedure 2	2115	\$253,800	
	Demolition and Replacement	22-yd ³	\$5,500	
Floor 3	Concrete Repair Procedure 1	870-ft ²	\$104,400	\$106,900
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	10-yd ³	\$2,500	
Floor 4	Concrete Repair Procedure 1	535-ft ²	\$64,200	\$65,700
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	6-yd ³	\$1,500	
Floor 5	Concrete Repair Procedure 1	340-ft ²	\$40,800	\$42,300
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	6-yd ³	\$1,500	
Floor 6	Concrete Repair Procedure 1	480-ft ²	\$57,600	\$59,100
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	6-yd ³	\$1,500	
Floor 7	Concrete Repair Procedure 1	625-ft ²	\$75,000	\$78,000
	Concrete Repair Procedure 2	-	-	
	Demolition and Replacement	12-yd ³	\$3,000	
Floor 8	Concrete Repair Procedure 1	660-ft ²	\$79,200	\$82,300
	Concrete Repair Procedure 2	10	\$100	
	Demolition and Replacement	12-yd ³	\$3,000	
Roof	Concrete Repair Procedure 1	2,675-ft ²	\$321,000	\$381,200
	Concrete Repair Procedure 2	5,870-ft	\$58,700	
	Demolition and Replacement	6-yd ³	\$1,500	
³Total Repair Cost				\$2,149,000

1. Values for Area and Length Affected have been rounded up to the nearest fifth.

2. Value for Demolition and Replacement does not include the cost for demolition and construction.

3. Value includes an additional 10% for contingency and is rounded up to the nearest \$500th.

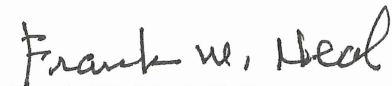
Conclusions:

The primary cause of the observed deteriorations found throughout the warehouse is due to a combination of water infiltration into the structure and insufficient means to properly drain it. The abandonment and improper building maintenance over the years has allowed spalling and rebar corrosion to progress extensively in the structural concrete members. The recommended repairs outlined in the **Recommendations** section will provide the required remediation to maintain the structural integrity of the warehouse in its current state. Additional means of drainage and prevention of water infiltration is required to ensure the longevity of the structure and to prevent additional spalling or other damage from occurring.

It is FWNA's understanding that the warehouse is to be renovated in the future for a new occupancy use. These recommended repairs do not guarantee the structure has sufficient capacity to support this new occupancy. A licensed structural engineer in the state of Texas should be used to analyze the existing structure, including the repairs outlined in this assessment, to determine what, if any, additional structural modifications need to be made to provide adequate capacity to support the code prescribed loading per the Fort Worth, TX Building Code.

If you need further assistance, please consider us available.

Sincerely,
Frank W. Neal & Associates, Inc.



Frank W. Neal, P.E.
Principal Engineer
fneal@fwna-eng.com



McCully A. Kokaly, E.I.T.
Graduate Engineer
mkokaly@fwna-eng.com



Photos:



Photo 1: Various areas of spalled concrete in bottom of slab of varying size



Photo 2: Various areas of spalled concrete in bottom of slab of varying size



Photo 3: Spalled concrete and exposed, corroded rebar at bottom of column



Photo 4: Spalled concrete with severely corroded rebar



Photo 5: Various areas of spalled concrete in bottom and side of thickened slab at elevator core



Photo 6: Various areas of spalled concrete in bottom and side of thickened slab at elevator core



Photo 7: Severe deterioration in thickened slab around elevator core at existing floor openings

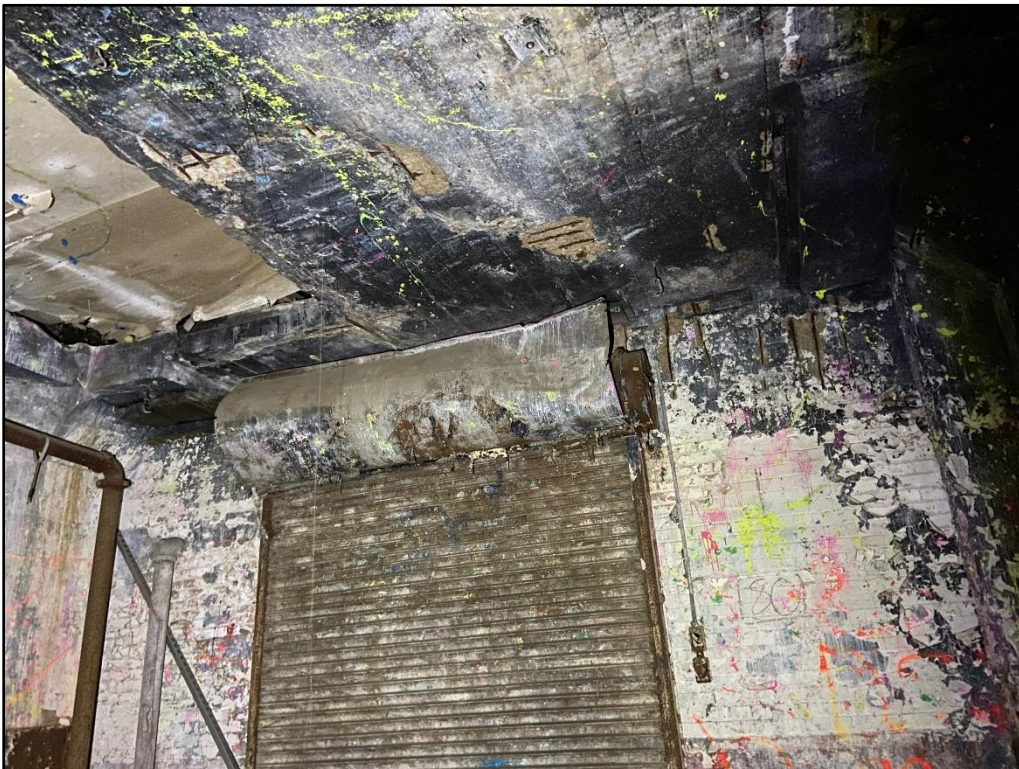


Photo 8: Example of spalled concrete at top of wall



Photo 9: Spalled concrete with severely corroded rebar in bottom of slab



Photo 10: Spalled concrete with severely corroded rebar in bottom of slab



Photo 11: Spalled concrete with severely corroded rebar at bottom of beam



Photo 12: Spalled concrete with severely corroded rebar at bottom of beam



Photo 13: Example of deteriorated patchwork over areas of spalled concrete



Photo 14: Severe deterioration in thickened slab around elevator core at existing floor openings



Photo 15: Spalled concrete in bottom of floor slab, damaged column capital and drop panel



Photo 16: Spalled concrete at column, damaged column capital, and spalled concrete in bottom of slab



Photo 17: Various areas of spalled concrete and cracks in bottom of exterior south canopy of varying size and length



Photo 18: Missing concrete and exposed rebar in exterior south canopy



Photo 19: Various cracks in bottom of exterior north canopy of varying length



Photo 20: Example of exposed, corroded rebar with no apparent cover in bottom of floor slab



Photo 21: Spalled concrete with severely corroded rebar



Photo 22: Severe deterioration in thickened slab around elevator core at existing floor openings



Photo 23: Spalled concrete with exposed, corroded rebar at bottom of column



Photo 24: Spalled concrete in column capital and drop panel



Photo 25: Spalled concrete in column capital and drop panel



Photo 26: Spalled concrete with exposed, corroded rebar at bottom of column



Photo 27: Various areas of spalled concrete in bottom of slab of varying size



Photo 28: Spalled concrete with exposed, corroded rebar at bottom of beam



Photo 29: Spalled concrete with severely corroded rebar



Photo 30: Crack in bottom of floor slab



Photo 31: Spalled concrete in column capital and drop panel



Photo 32: Various areas of spalled concrete and cracks in bottom of slab of varying size and length



Photo 33: Various cracks in bottom of slab of varying length



Photo 34: Spalled concrete and mildly corroded rebar in bottom and sides of roof beams

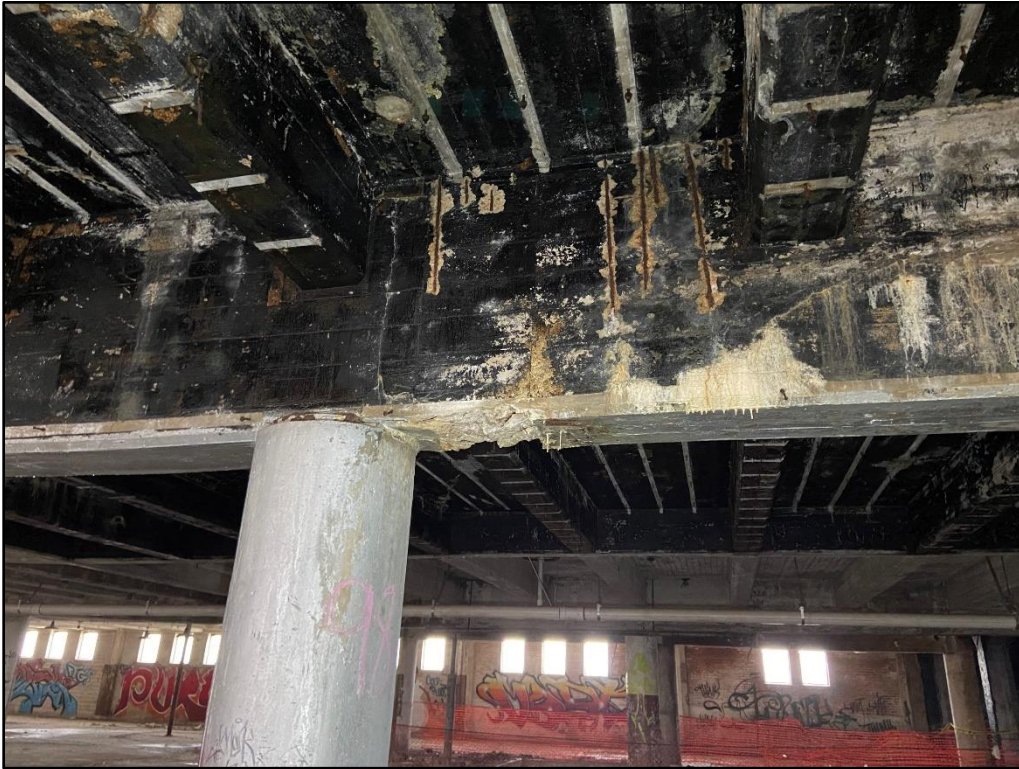


Photo 35: Spalled concrete and mildly corroded rebar in side of roof girder



Photo 36: Concrete crack and spalled concrete at bottom of wall



Photo 37: Spalled concrete and exposed wide flange girder



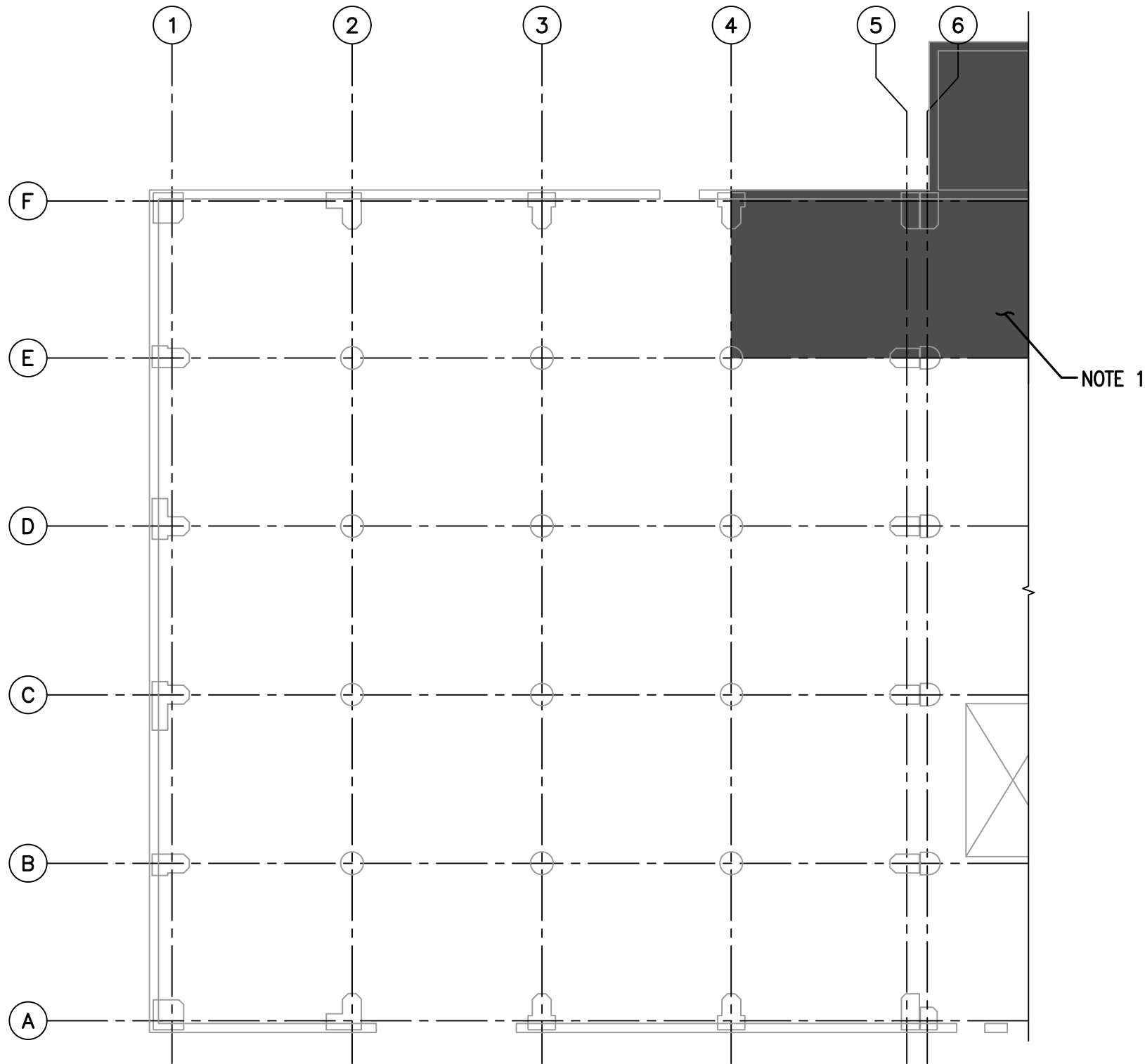
Photo 38: Spalled concrete and exposed rebar on inside face of parapet

Appendix A

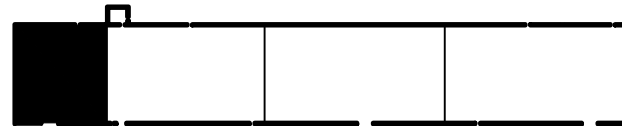
Structural Floor Plan Sheets

SK-B.1 – SK-B.4	<i>Basement Floor Plans</i>
SK-1.1 – SK-1.4	<i>First Floor Plans</i>
SK-2.1 – SK-2.4	<i>Second Floor Plans</i>
SK-3.1 – SK-3.4	<i>Third Floor Plans</i>
SK-4.1 – SK-4.4	<i>Fourth Floor Plans</i>
SK-5.1 – SK-5.4	<i>Fifth Floor Plans</i>
SK-6.1 – SK-6.4	<i>Sixth Floor Plans</i>
SK-7.1 – SK-7.4	<i>Seventh Floor Plans</i>
SK-8.1 – SK-8.4	<i>Eighth Floor Plans</i>
SK-R.1 – SK-R.4	<i>Roof Plans</i>

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Fort Worth, TX 76104 Texas Firm Reg. No. F-296

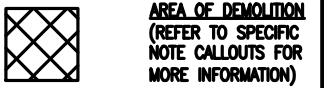
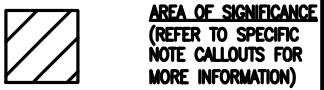
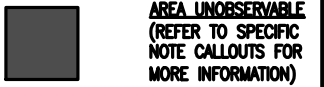
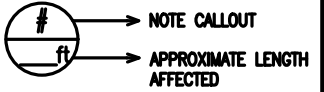
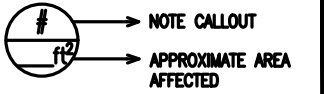
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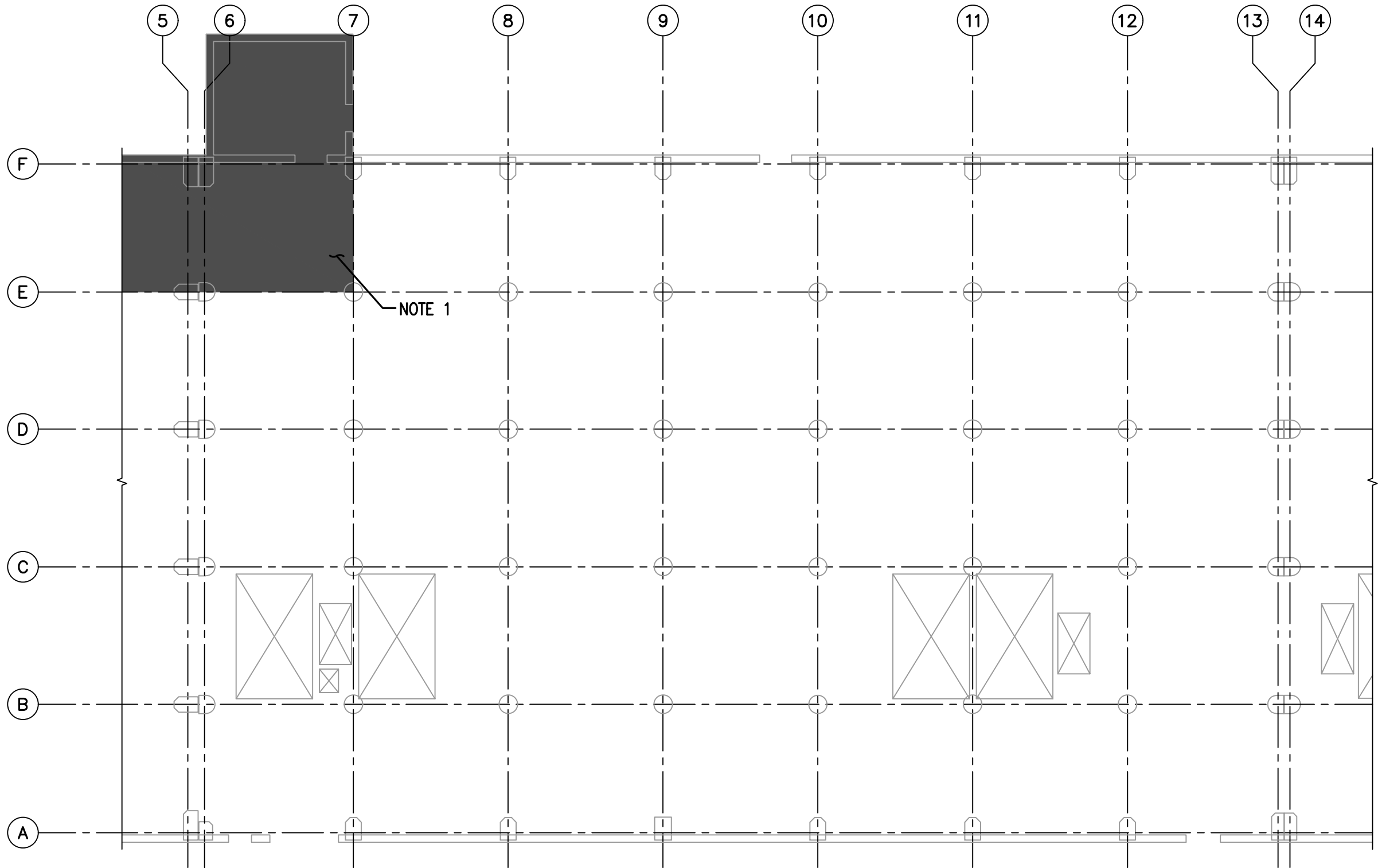


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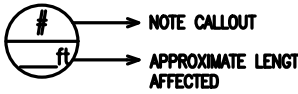
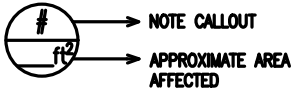
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FORT WORTH, TX 76102

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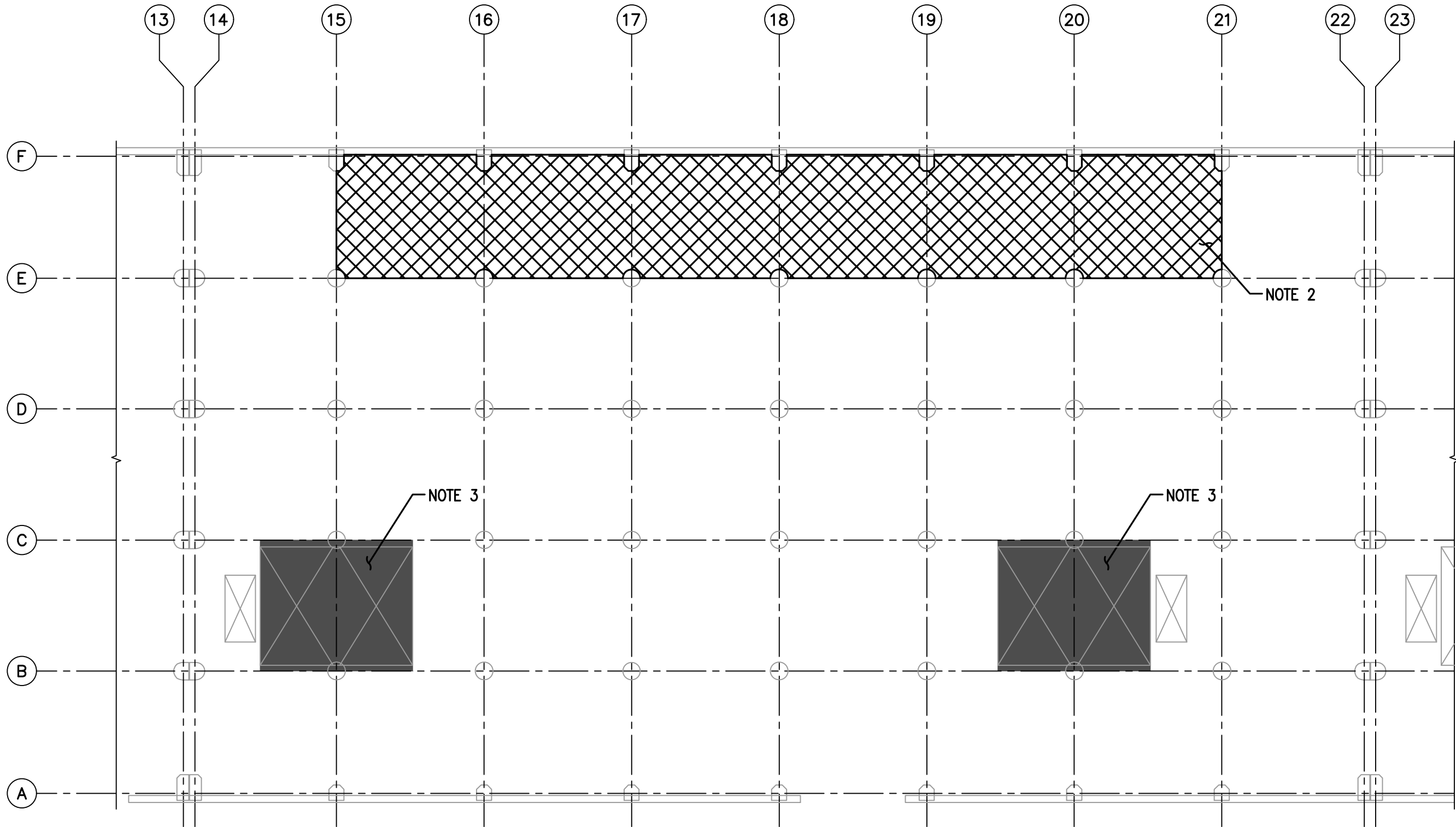
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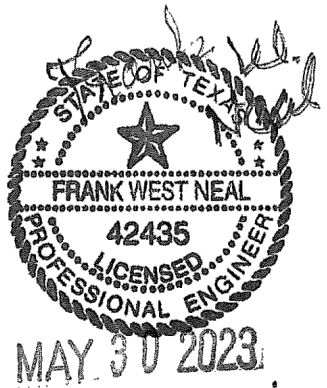
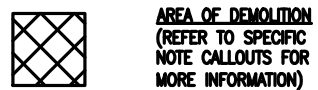
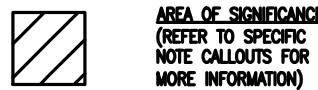
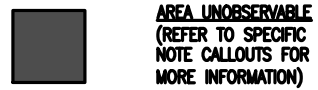
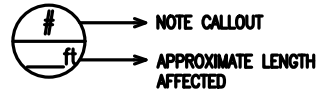
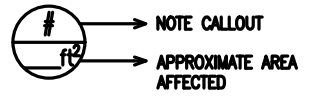
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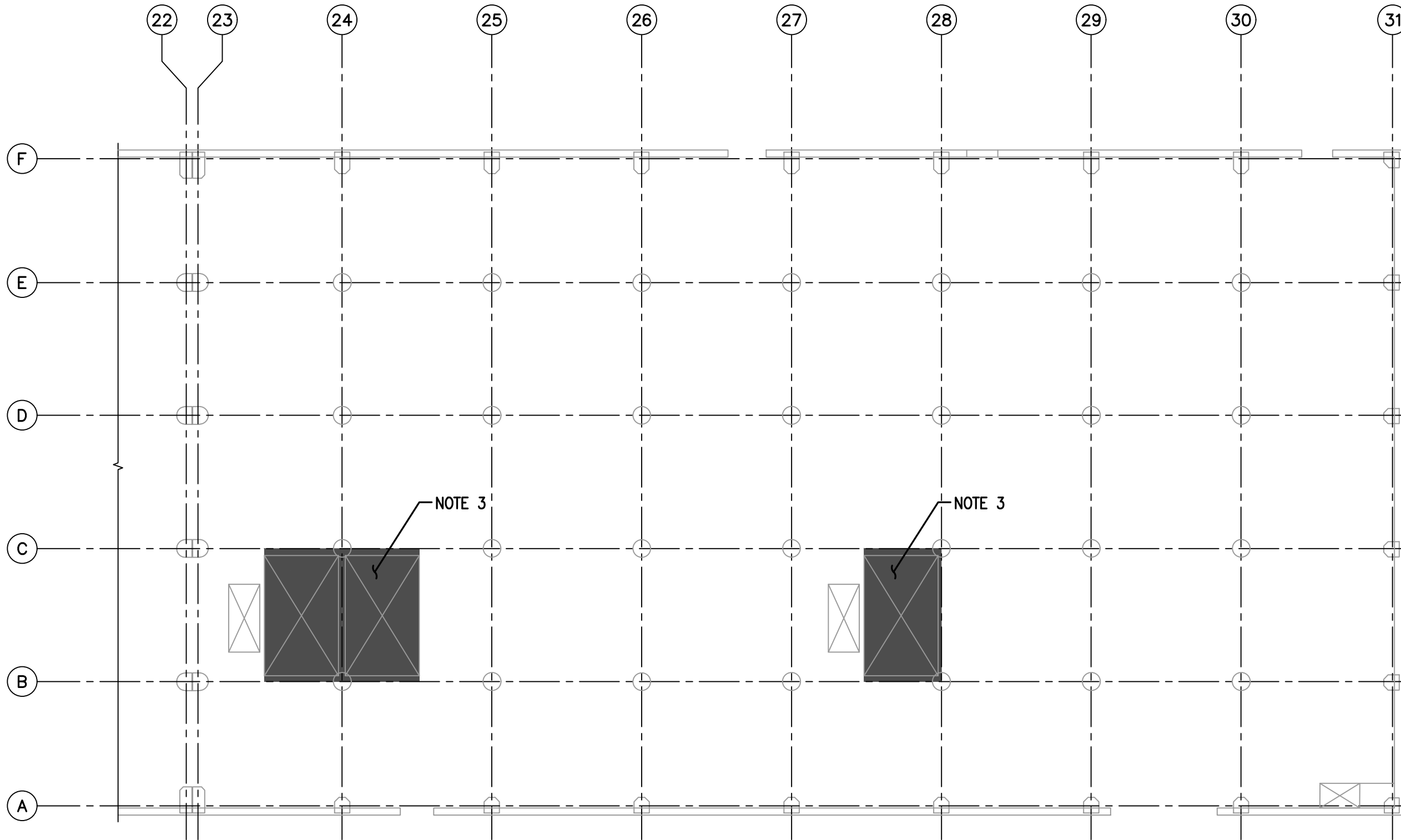
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→ NOTE CALLOUT
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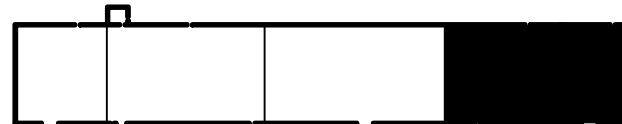
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(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)

▨ AREA OF SIGNIFICANCE
(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)

▩ AREA OF DEMOLITION
(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)



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Structural Engineering
Frank W. Neal & Assoc., Inc. 817-332-1944
1015 W. Broadway Ave. fwna-eng.com
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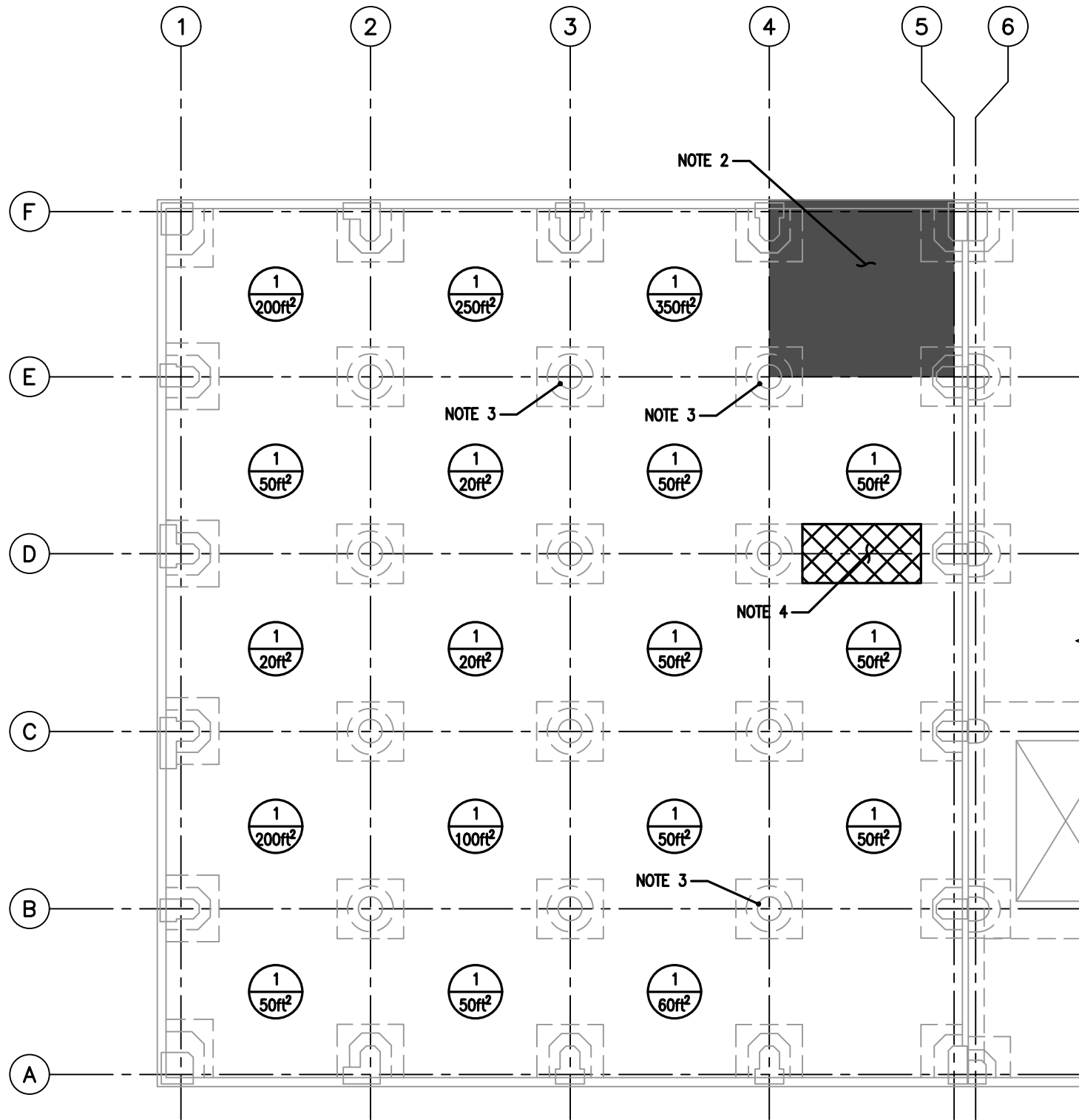
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FWNA PROJECT # 222.333

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May 31, 2023 - 9:46am



KEY PLAN:



FWN&A
Structural Engineering
Frank W. Neal & Assoc., Inc. 817-332-1944
1015 W. Broadway Ave. fwna-eng.com
Fort Worth, TX 76104 Texas Firm Reg. No. F-296

T&P WAREHOUSE ASSESSMENT

401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102



REVISIONS	DATE: 05-30-2023
	SHEET #
	SK-1.1
FWNA PROJECT # 222.333	

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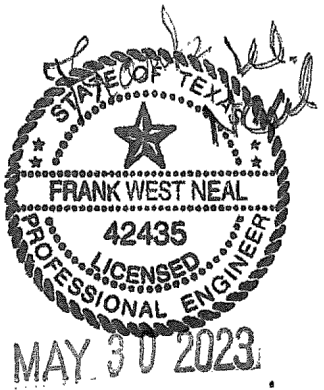
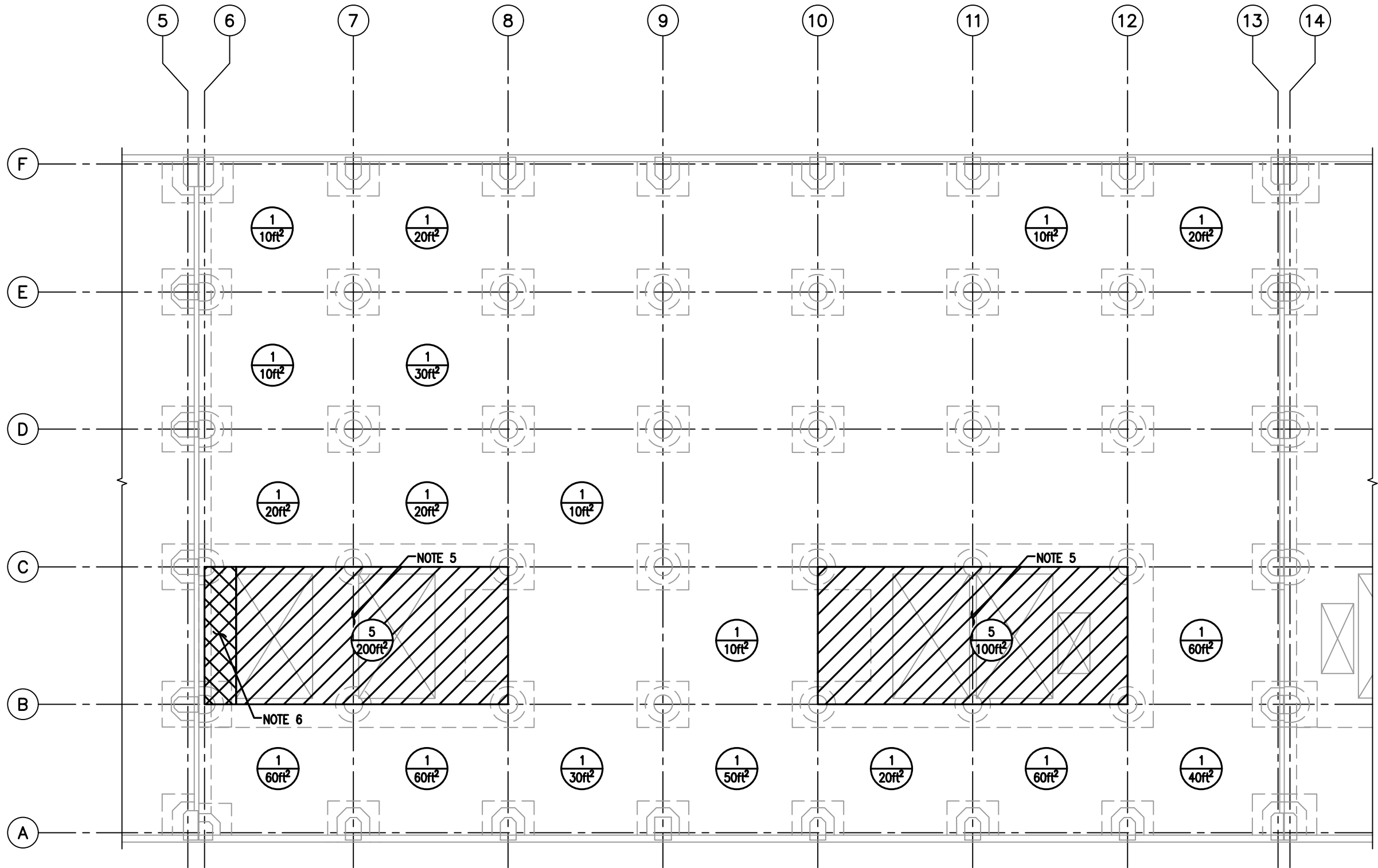
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NOTE CALLOUTS FOR
MORE INFORMATION)

AREA OF SIGNIFICANCE
(REFER TO SPECIFIC
NOTE CALLOUTS FOR
MORE INFORMATION)

AREA OF DEMOLITION
(REFER TO SPECIFIC
NOTE CALLOUTS FOR
MORE INFORMATION)



KEY PLAN:



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Structural Engineering
Frank W. Neal & Assoc., Inc. 817-332-1944
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401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102

REVISIONS	DATE: 05-30-2023
	SHEET #
	SK-1.2
FWNA PROJECT # 222.333	

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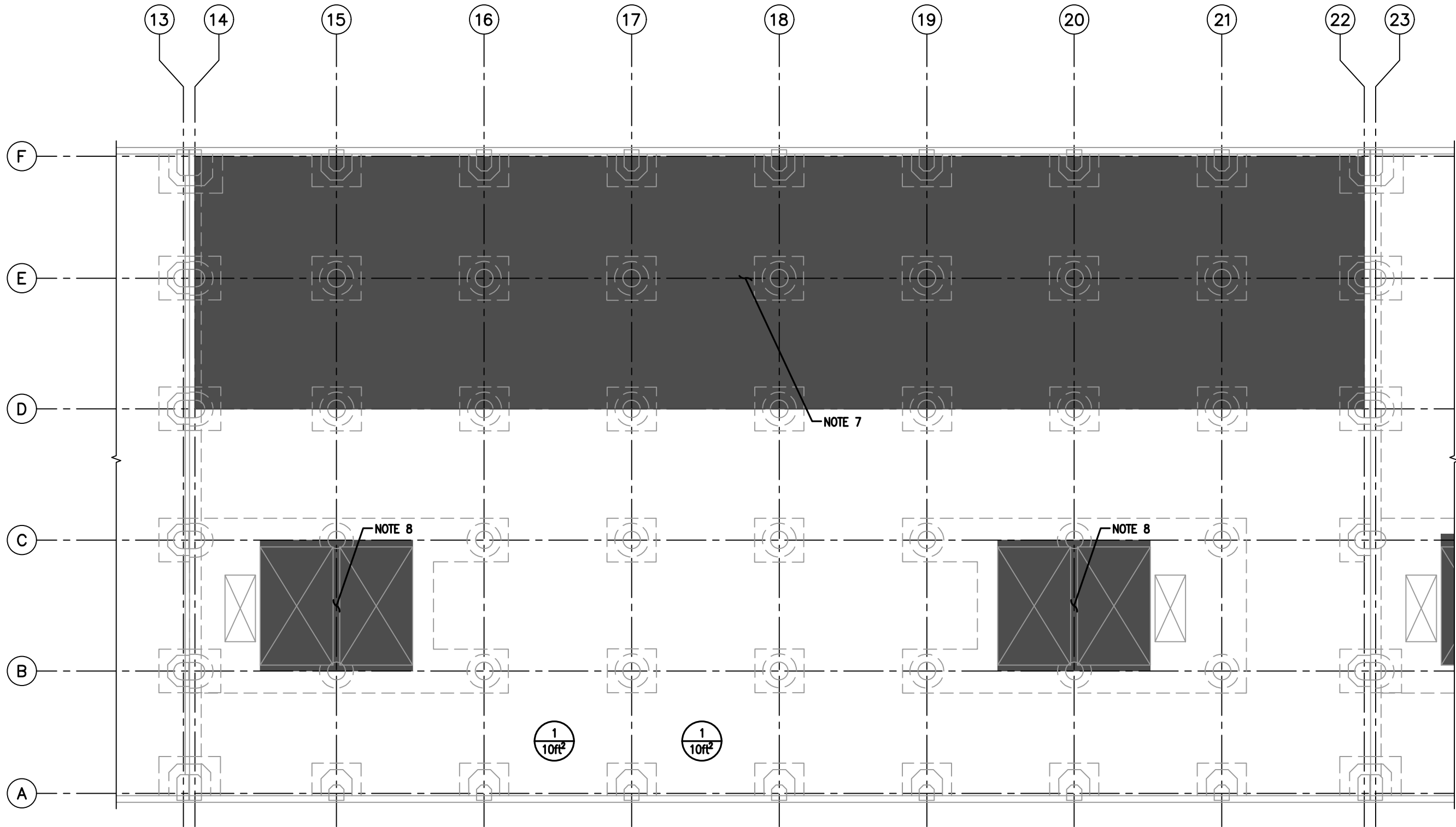
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AREA OF DEMOLITION
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401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102

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DATE:
05-30-2023

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SK-1.3

FWNA PROJECT # 222.333

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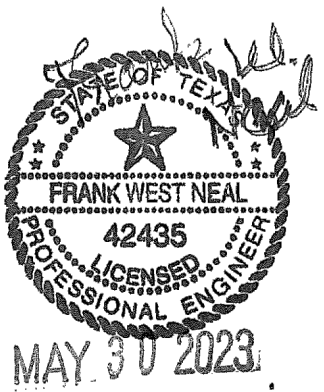
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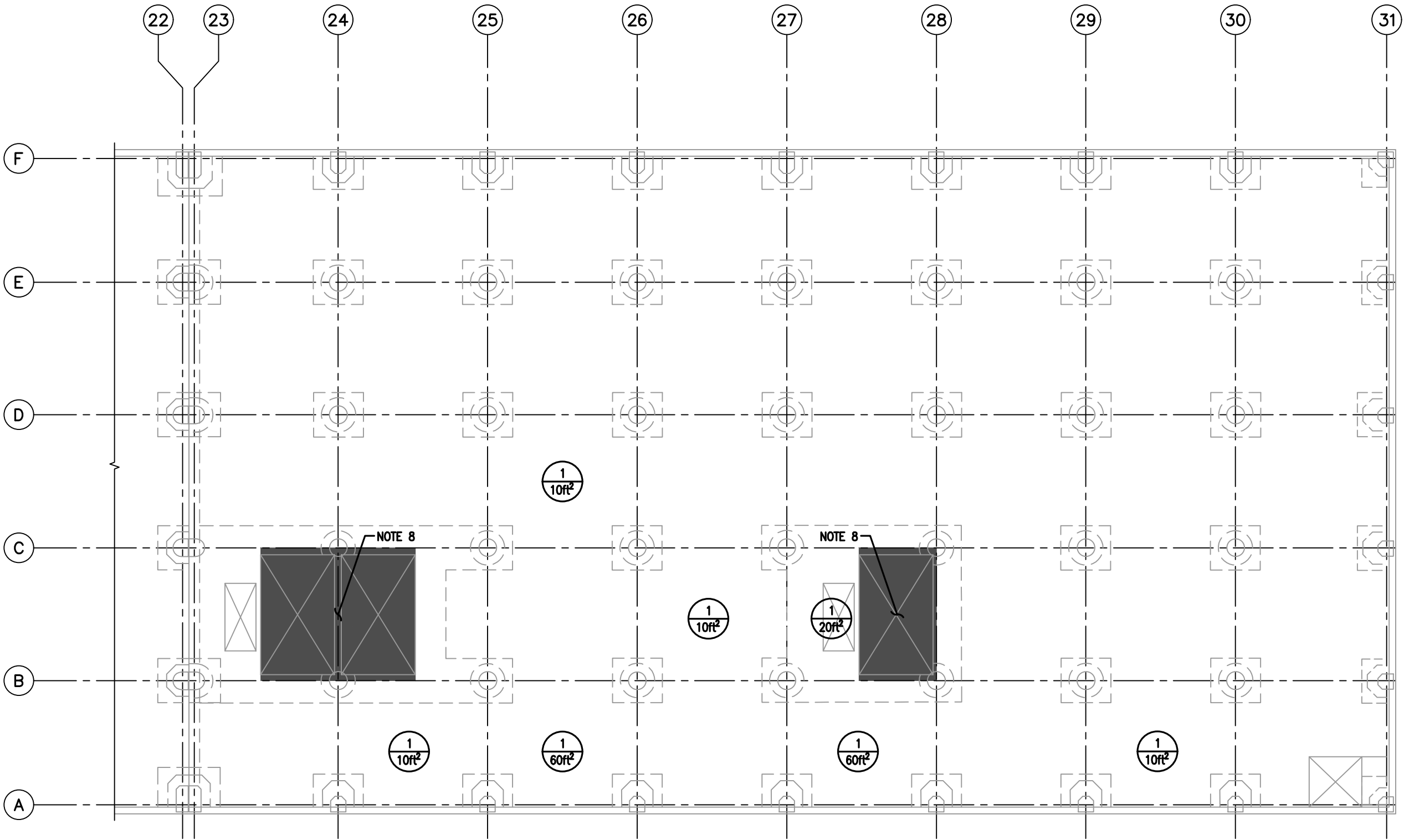


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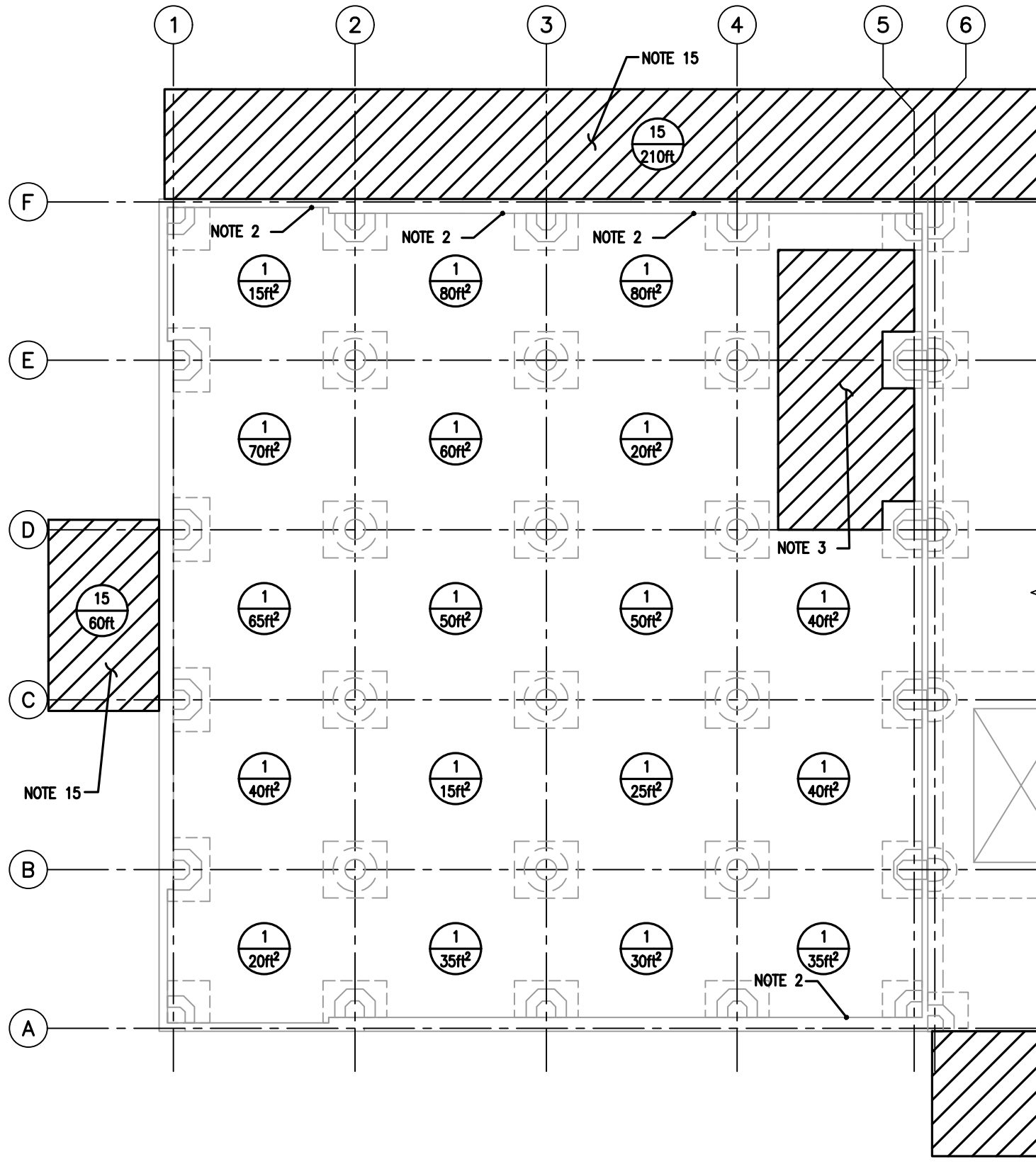
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REVISIONS	DATE: 05-30-2023
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FWNA PROJECT # 222.333	

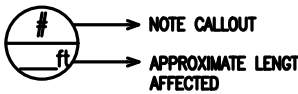
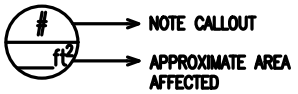


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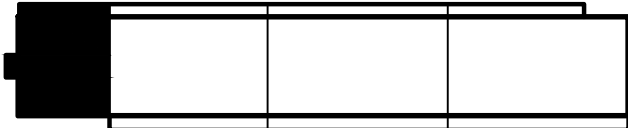
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May 31, 2023 - 9:52am



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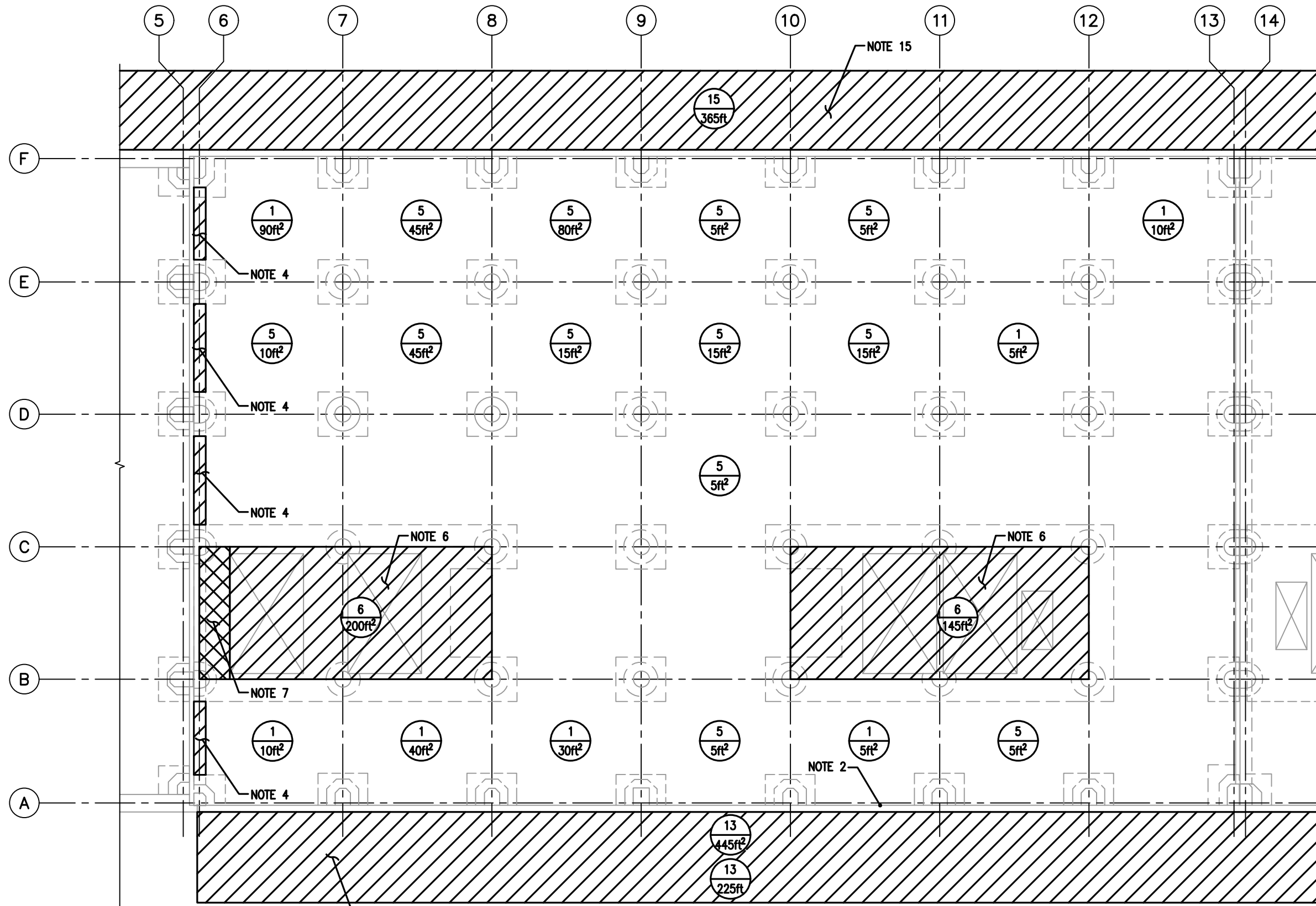
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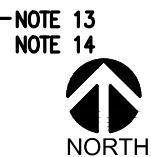
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FORT WORTH, TX 76102

REVISIONS	DATE: 05-30-2023
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FWNA PROJECT # 222.333	

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May 31, 2023 - 9:52am



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401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102

REVISIONS	DATE: 05-30-2023
	SHEET #
	SK-2.2
FWNA PROJECT # 222.333	

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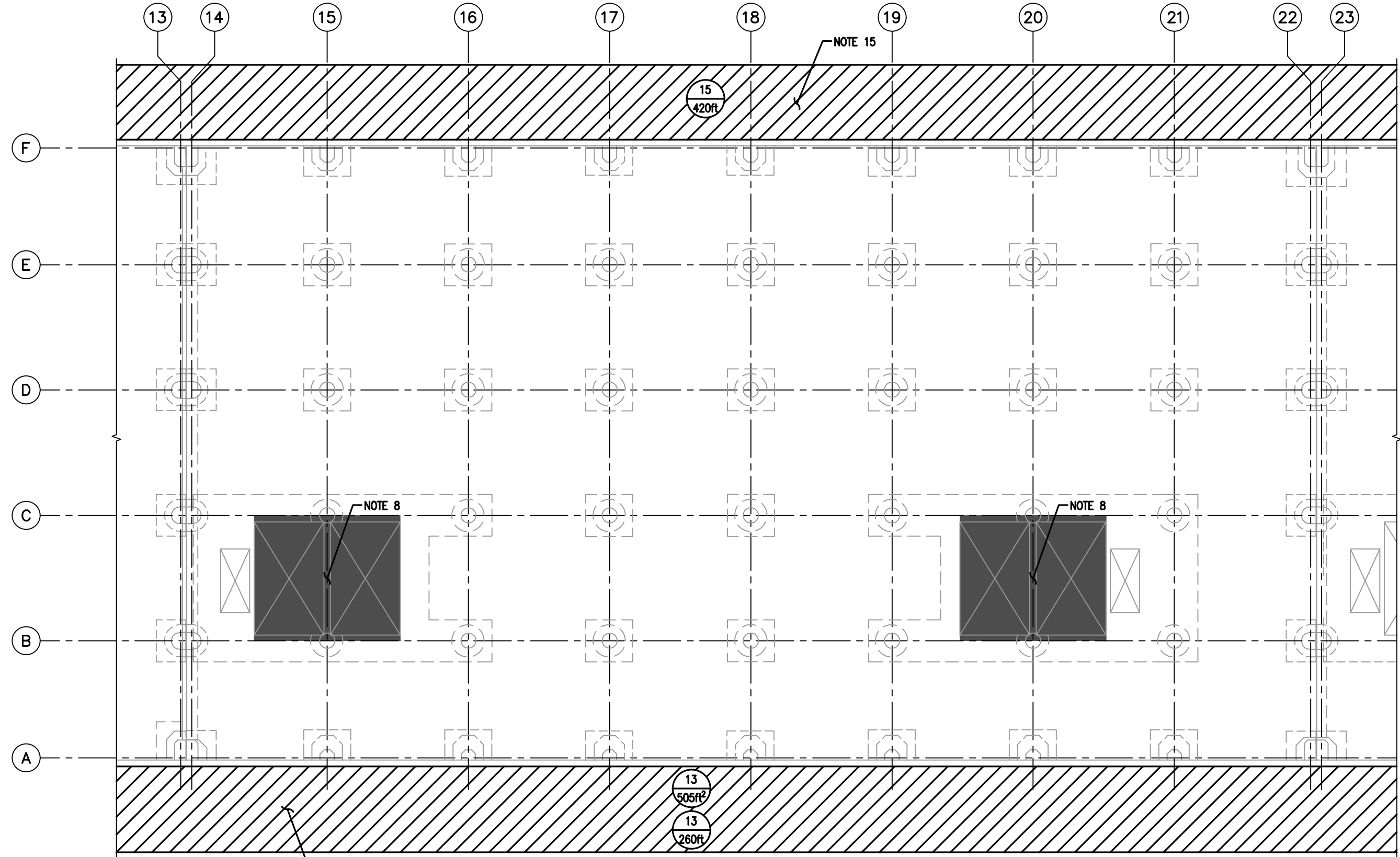


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FWNA PROJECT # 222.333	

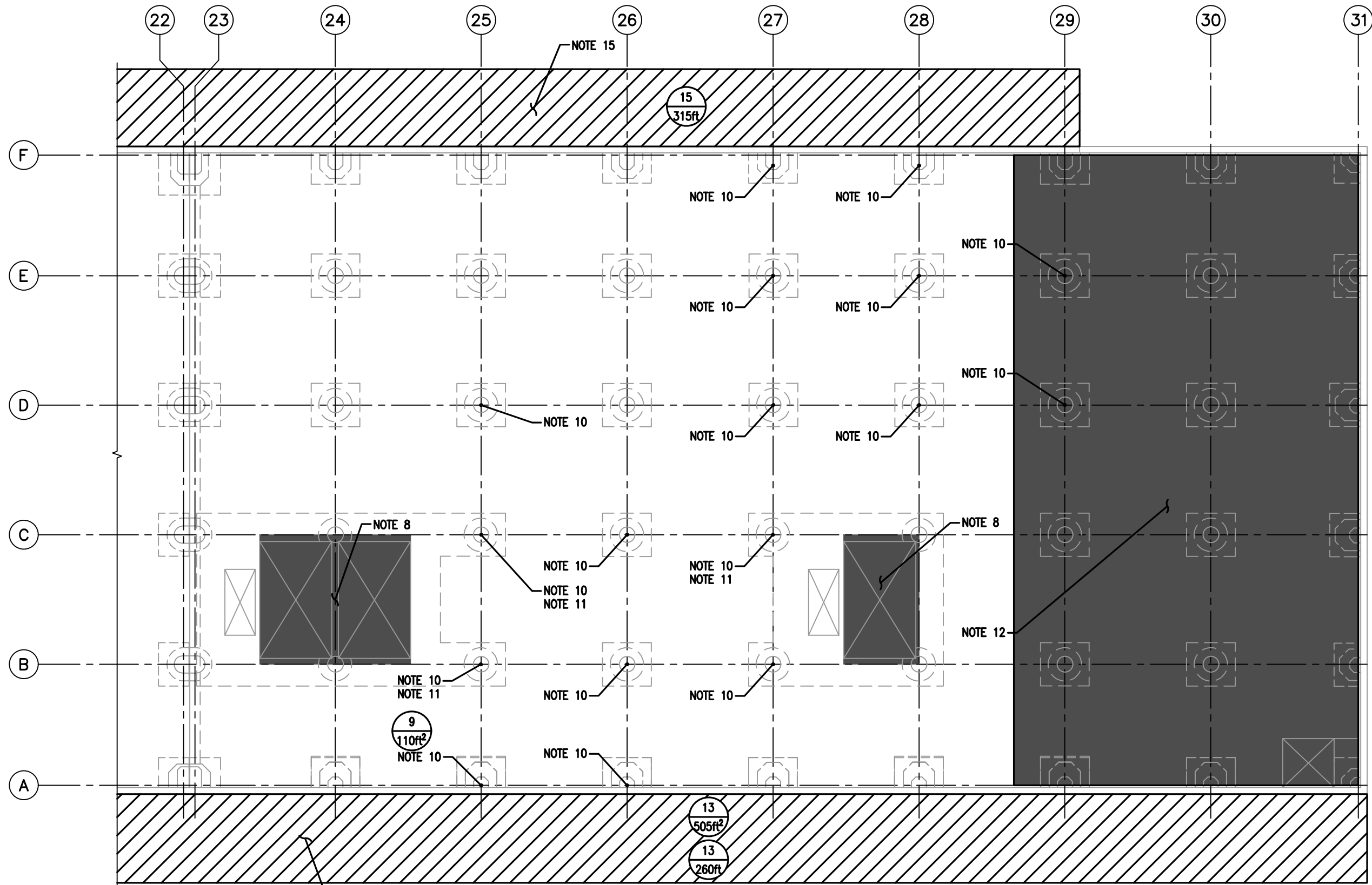


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May 31, 2023 - 9:53am



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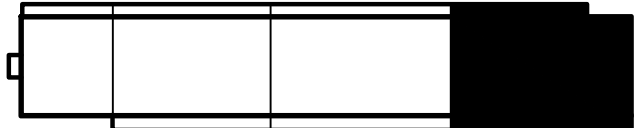
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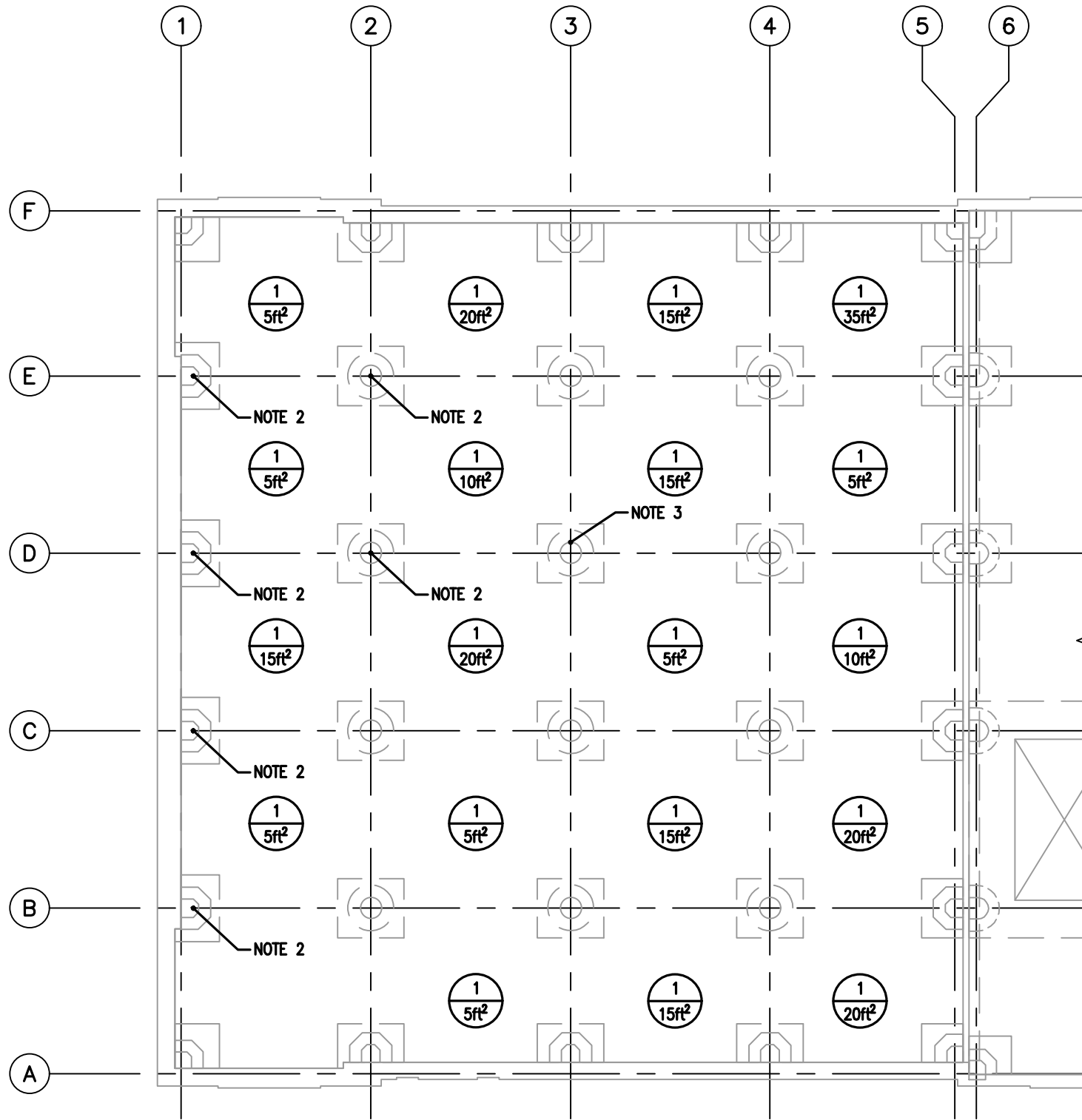
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SK-2.4

FWNA PROJECT # 222.333

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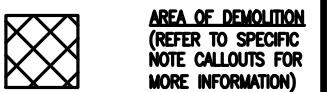
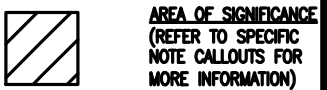
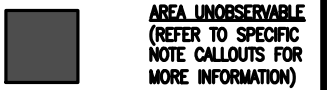
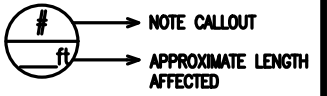
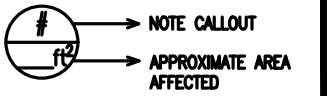
T&P WAREHOUSE ASSESSMENT

401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102

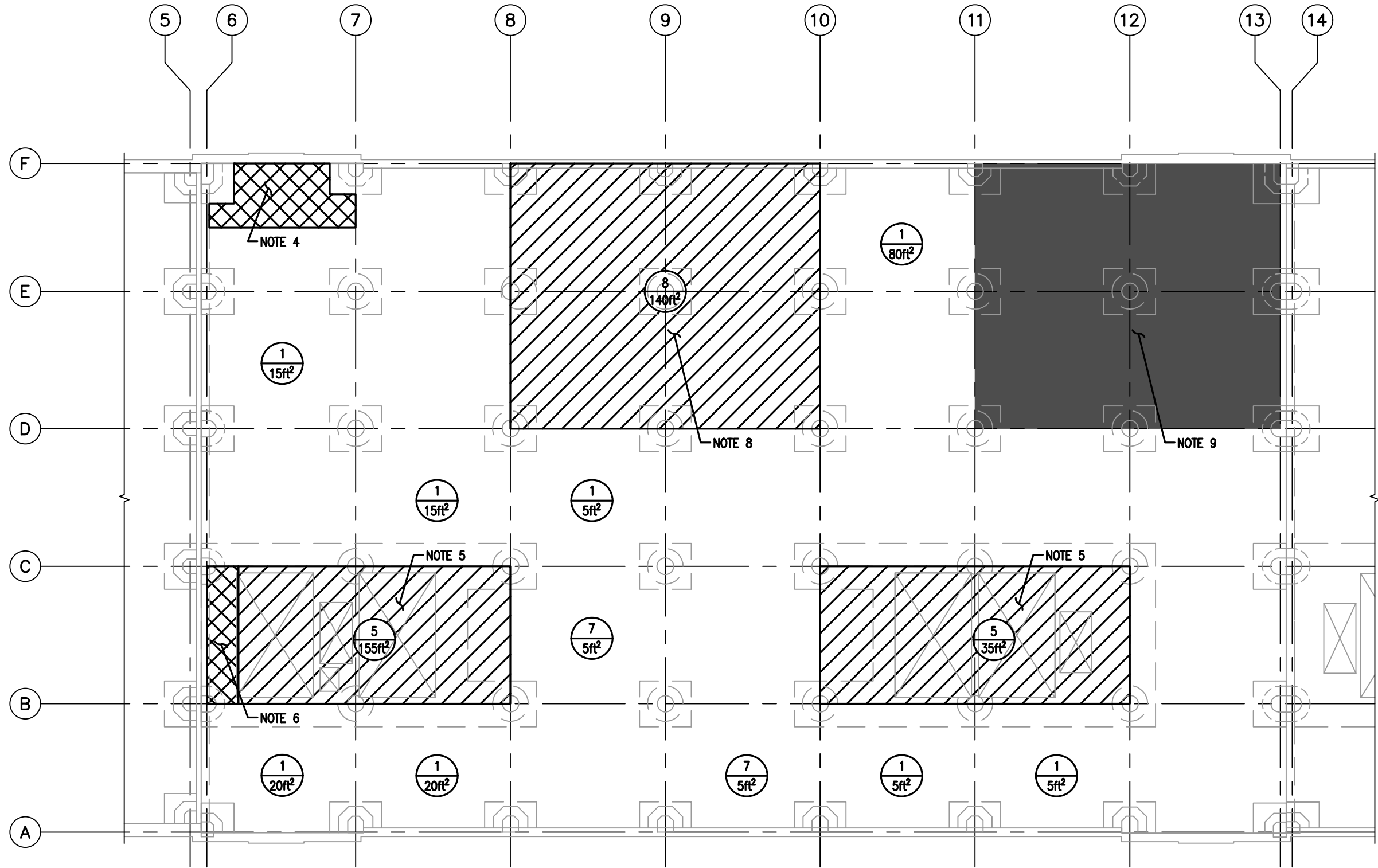


REVISIONS	DATE: 05-30-2023
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May 31, 2023 - 9:54am



LEGEND

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AREA UNOBSERVABLE
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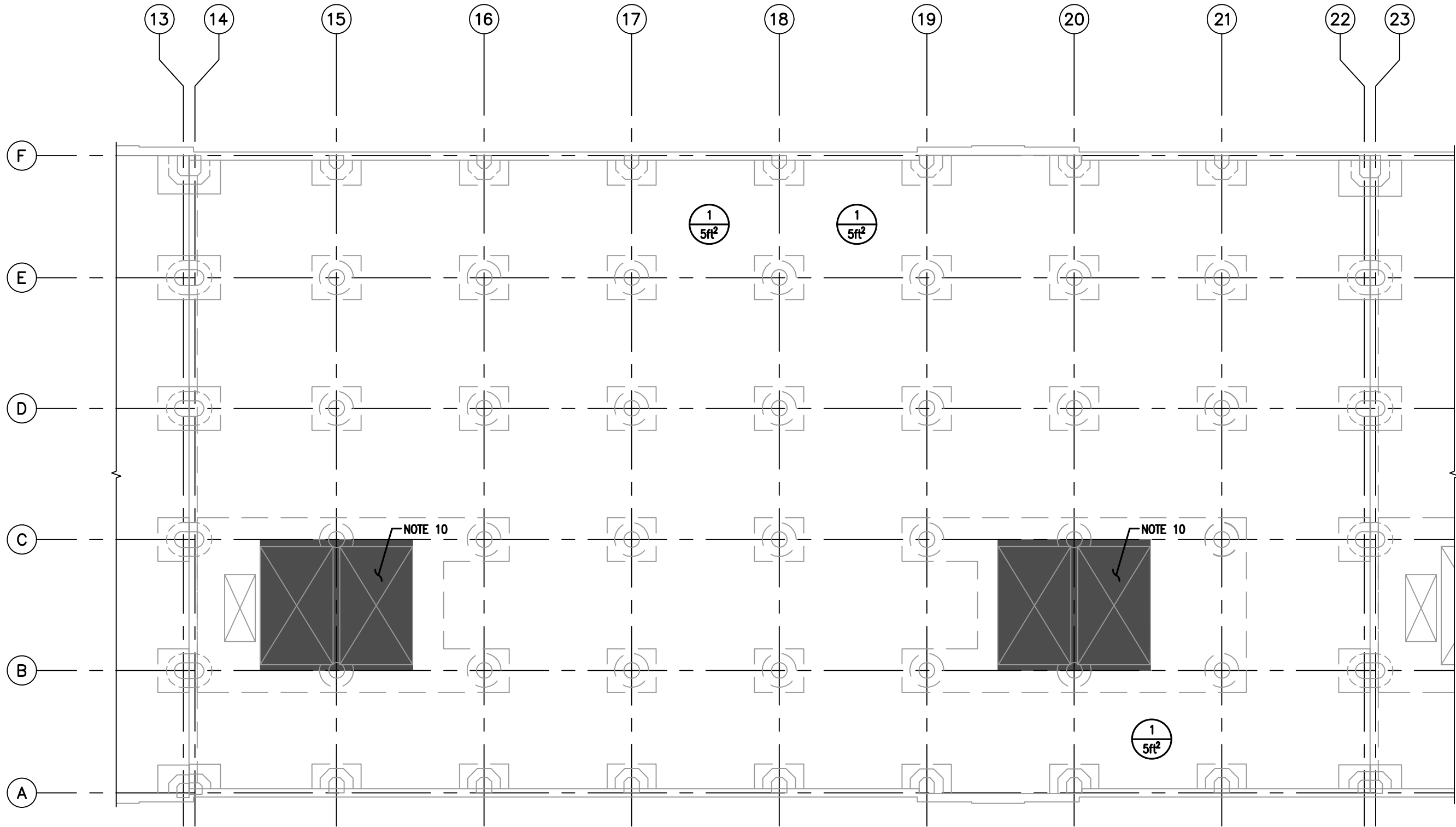
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1015 W. Broadway Ave. fwna-eng.com
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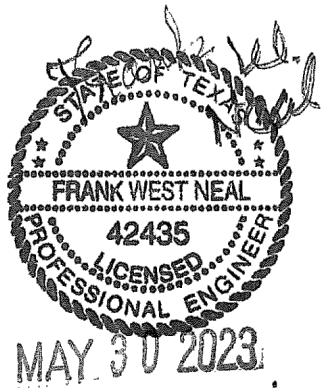
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401 WEST LANCASTER AVENUE
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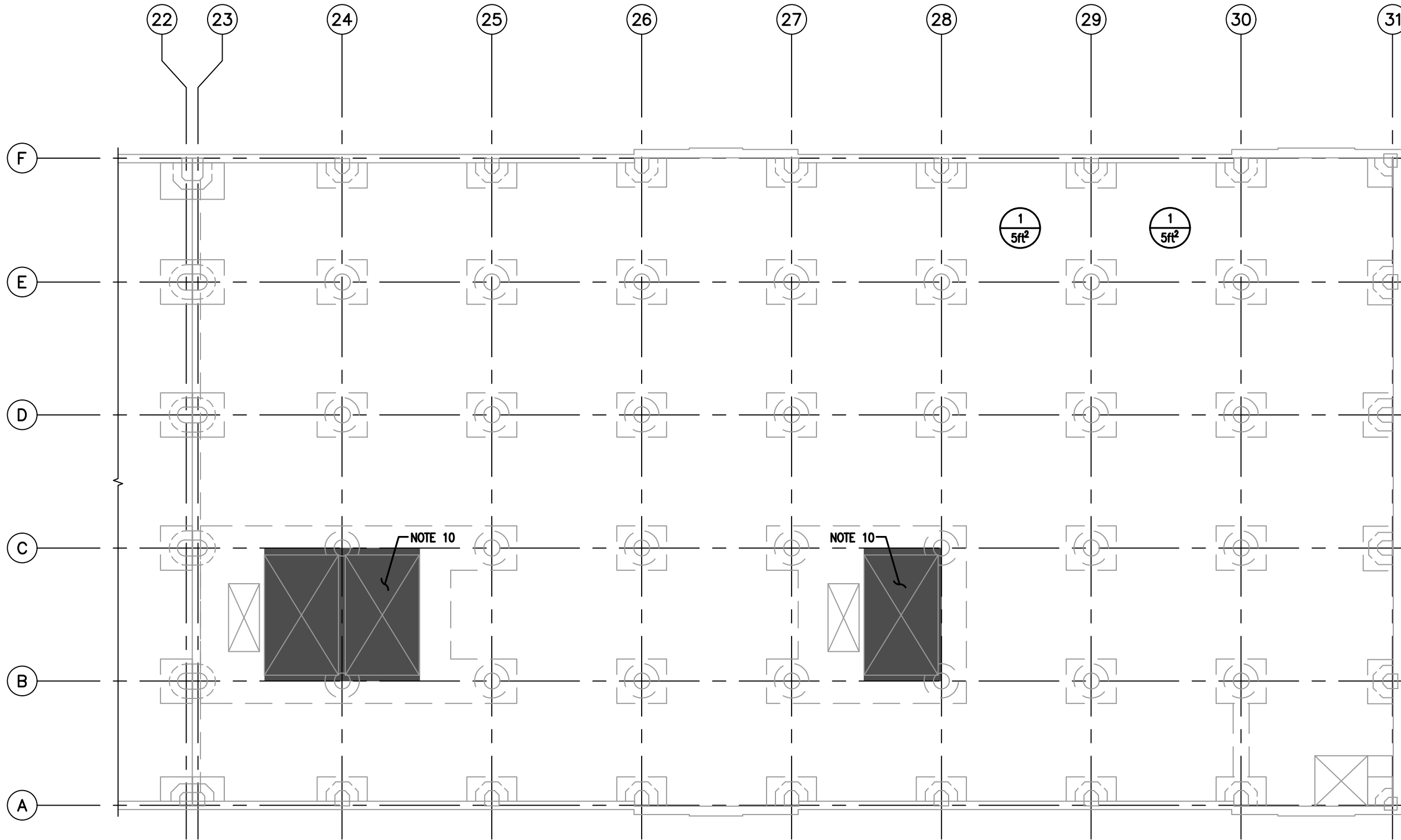
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SK-3.3

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LEGEND



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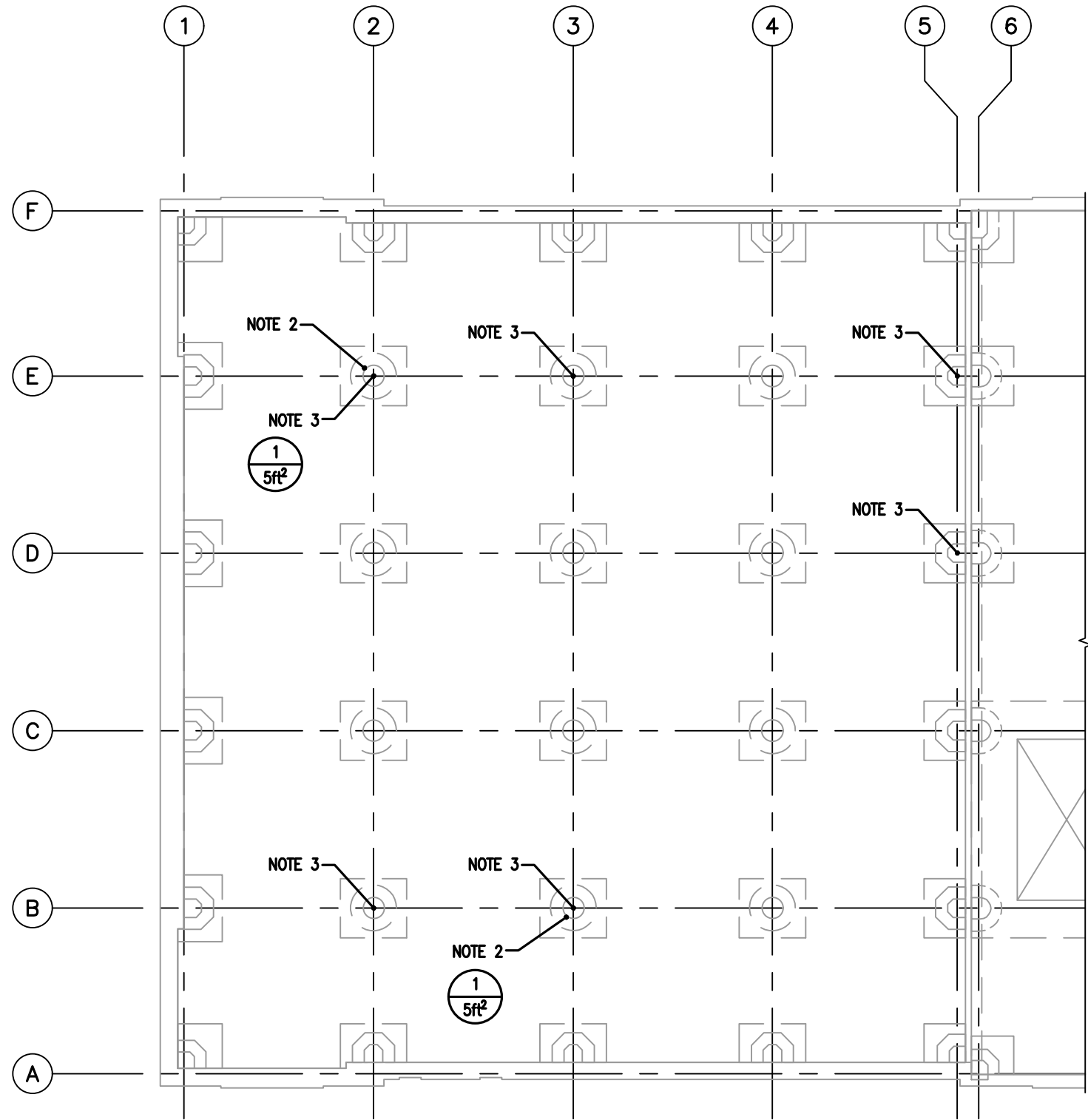
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SK-3.4

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May 31, 2023 - 10:03am



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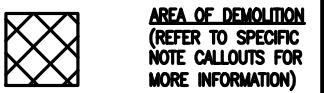
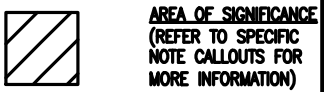
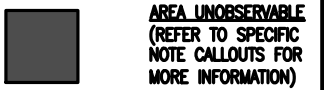
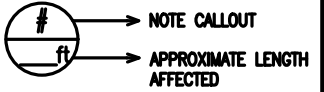
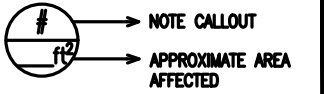
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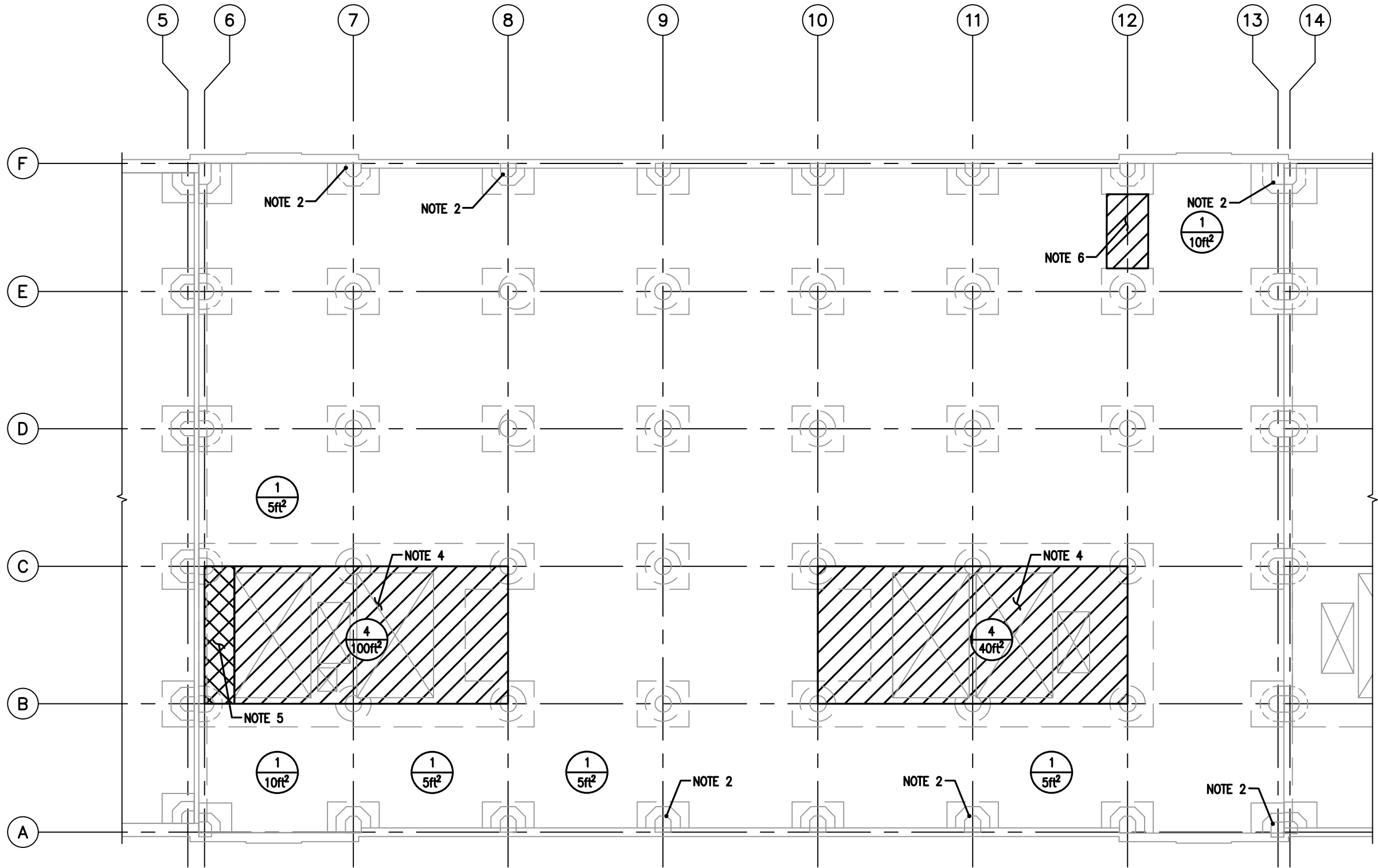


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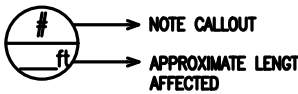
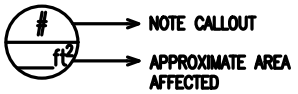
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LEGEND



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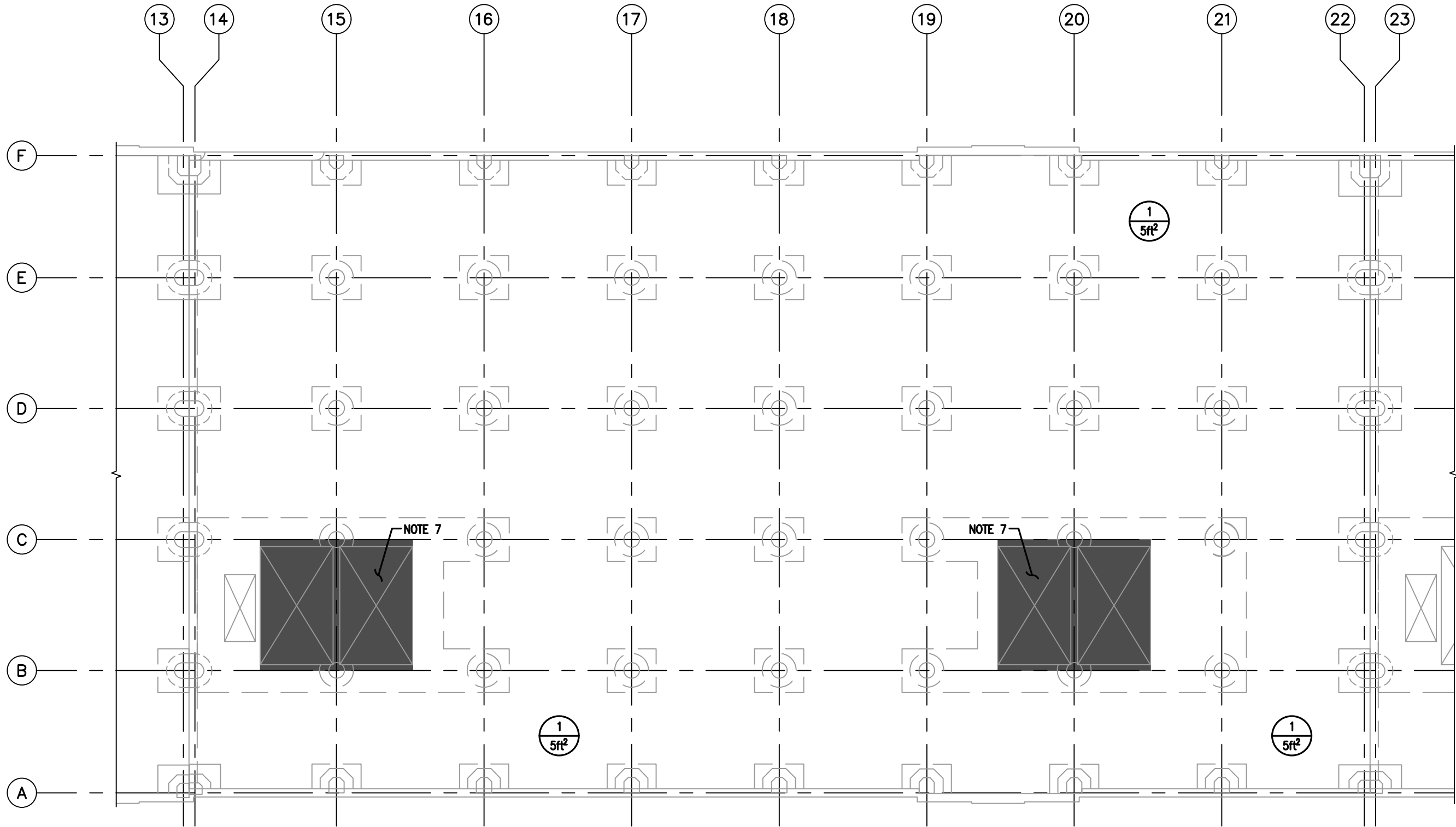
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May 31, 2023 - 10:02am



LEGEND

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NOTE CALLOUT
APPROXIMATE AREA AFFECTED

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(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)

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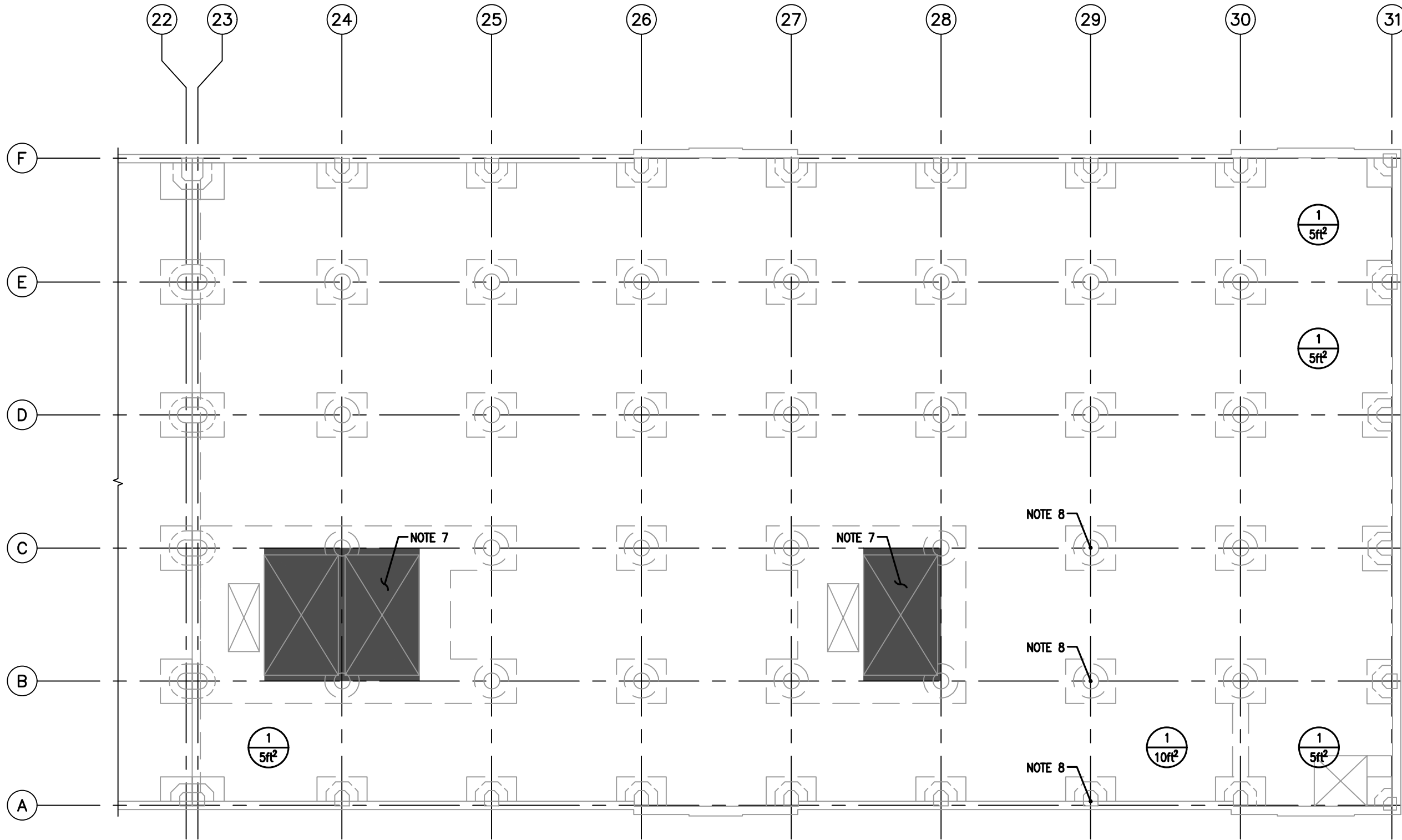


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REVISIONS	DATE: 05-30-2023
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NOTE CALLOUT

APPROXIMATE AREA
AFFECTED



NOTE CALLOUT

APPROXIMATE LENGTH
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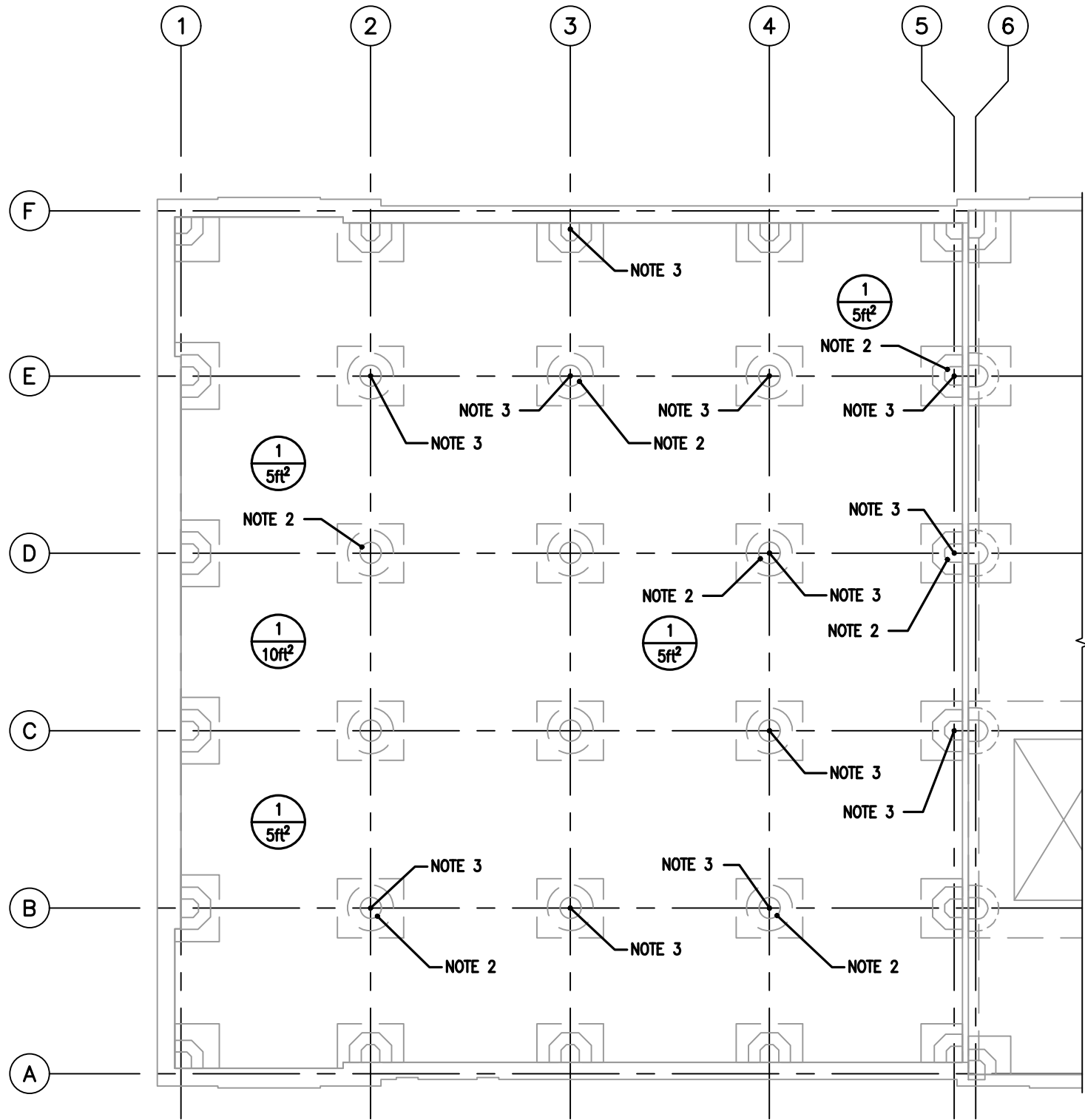
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REVISIONS	DATE: 05-30-2023
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	SK-5.1
FWNA PROJECT # 222.333	

LEGEND

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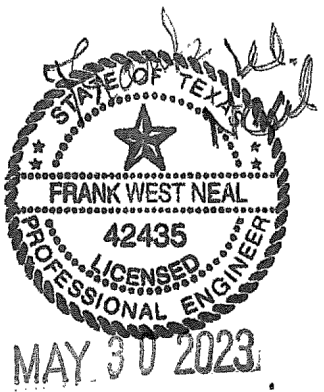
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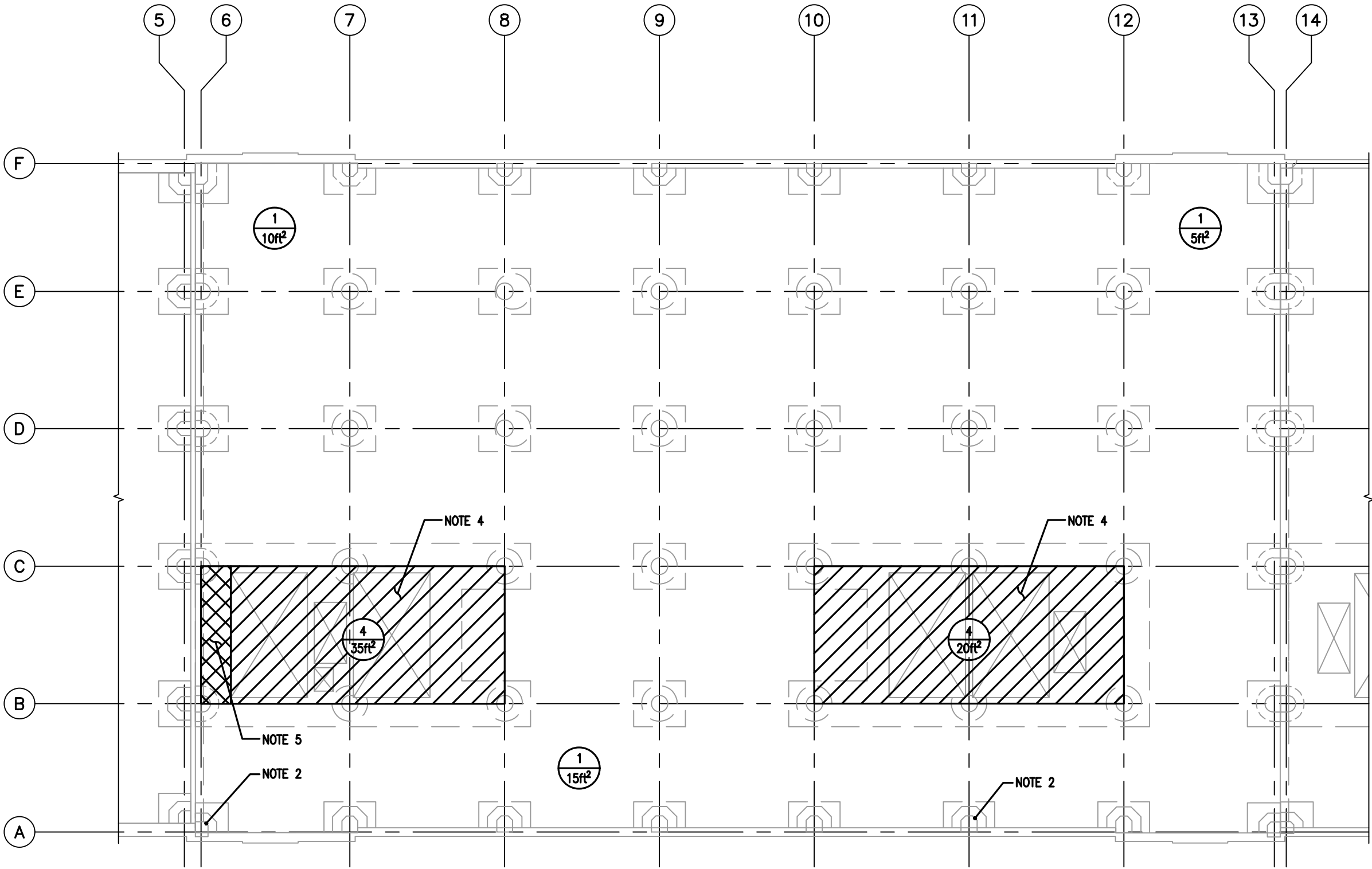


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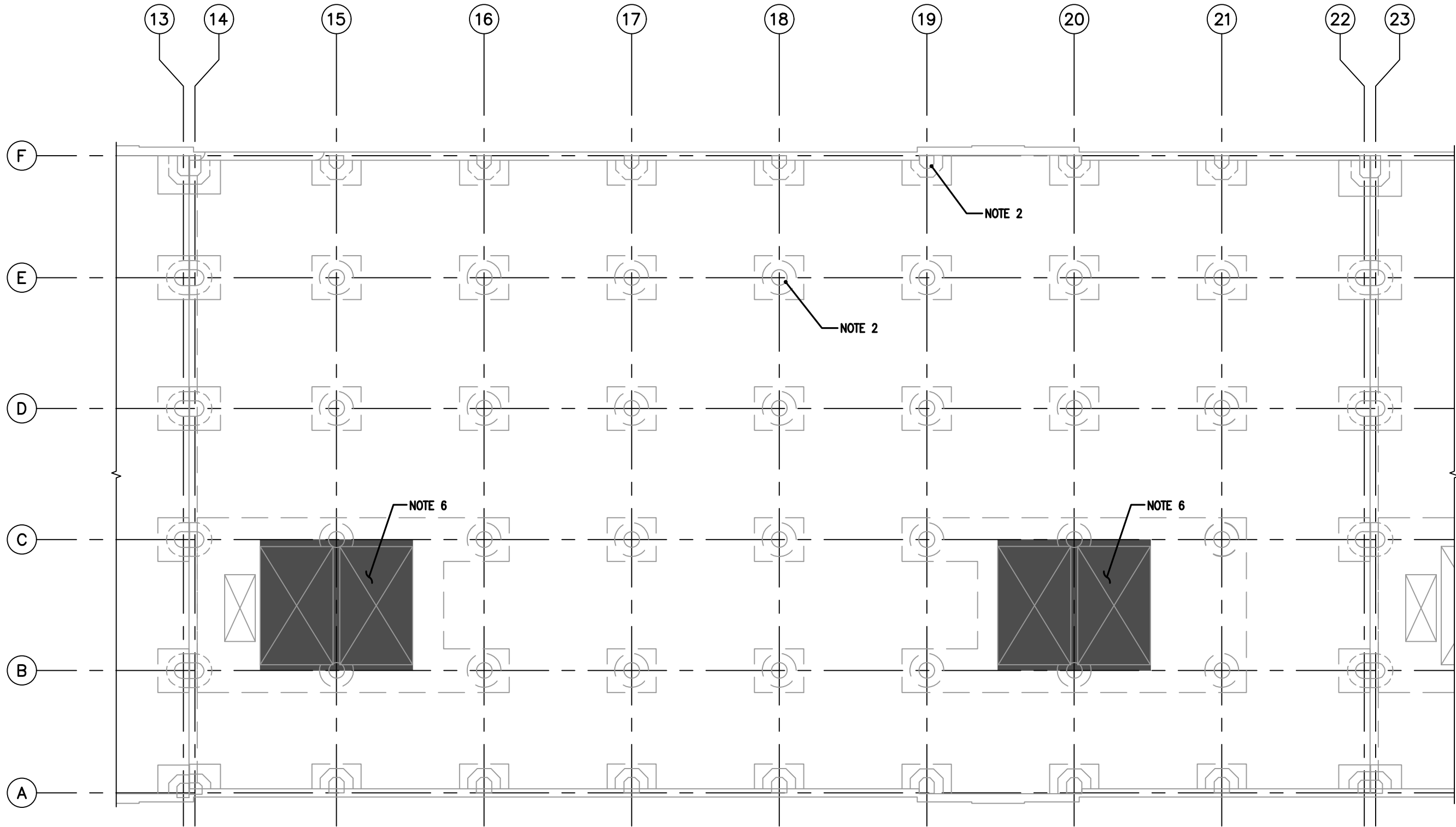
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FWNA PROJECT # 222.333	



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May 31, 2023 - 9:57am

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May 31, 2023 - 9:57am



LEGEND

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→ APPROXIMATE AREA AFFECTED

ft → NOTE CALLOUT
→ APPROXIMATE LENGTH AFFECTED

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(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)

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AREA OF DEMOLITION
(REFER TO SPECIFIC NOTE CALLOUTS FOR MORE INFORMATION)



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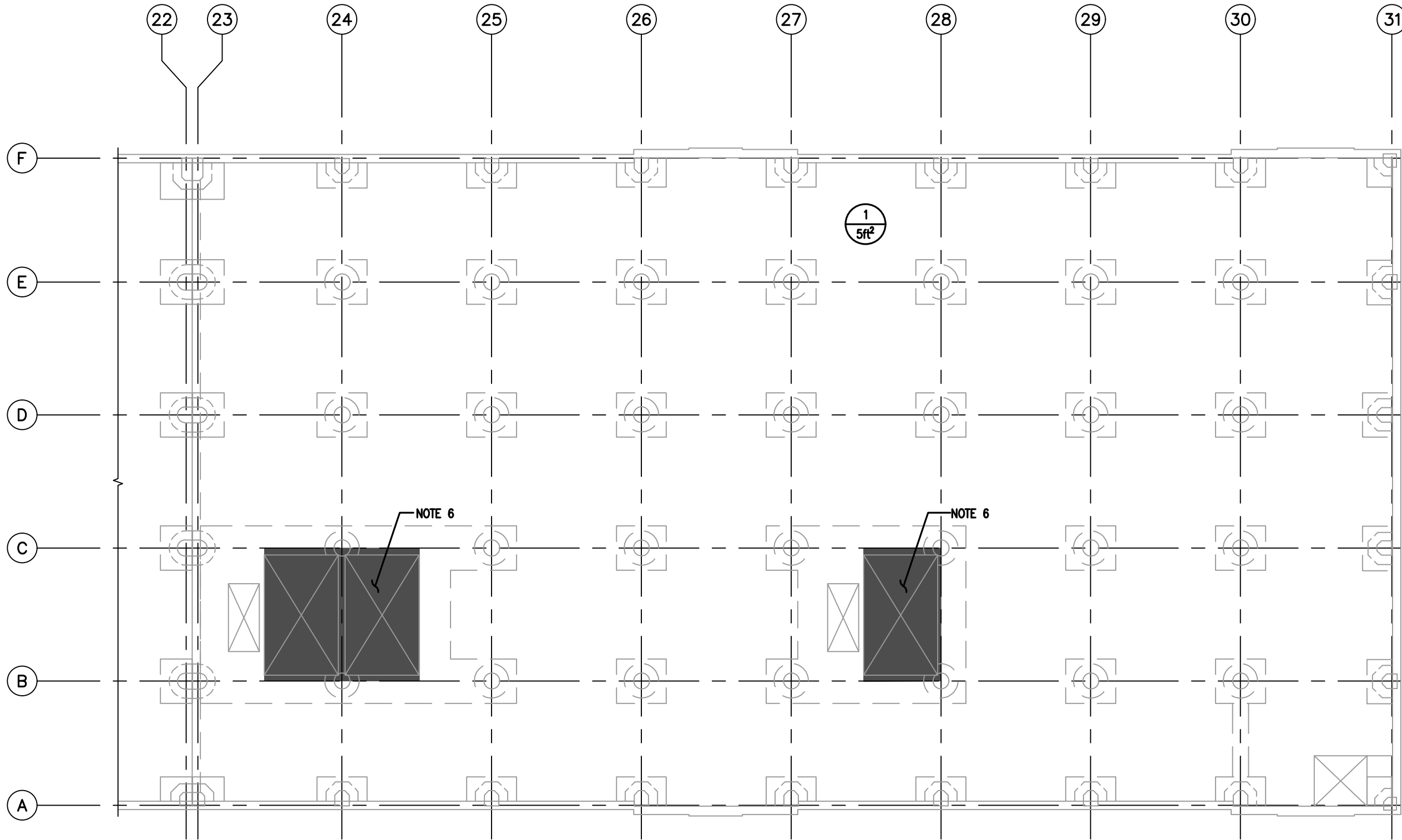


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T&P WAREHOUSE ASSESSMENT
401 WEST LANCASTER AVENUE
FORT WORTH, TX 76102
FWNA PROJECT # 222.333

REVISIONS	DATE: 05-30-2023
	SHEET #
	SK-5.3
FWNA PROJECT # 222.333	

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→ NOTE CALLOUT
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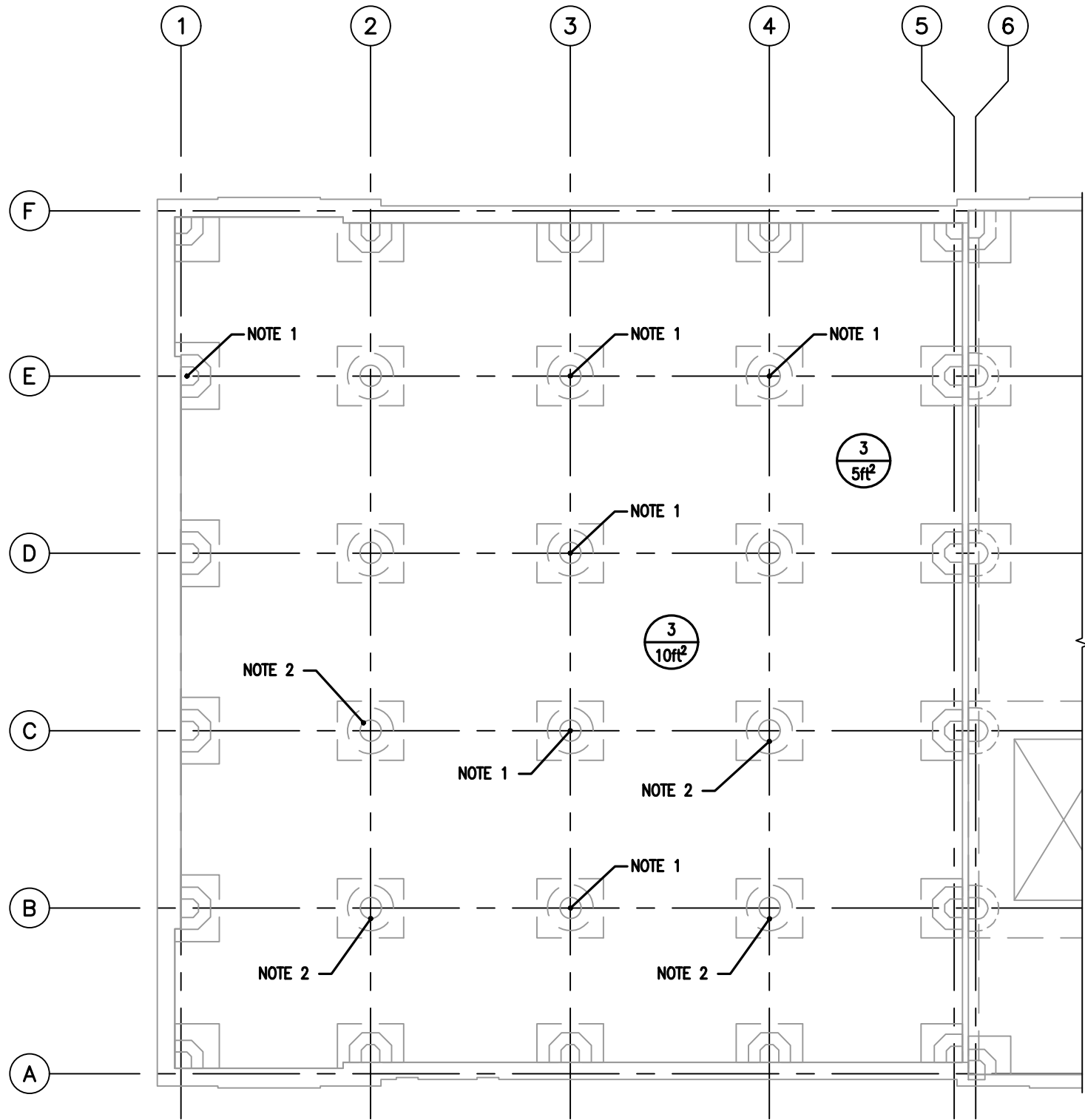
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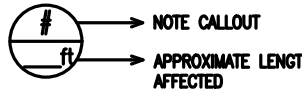
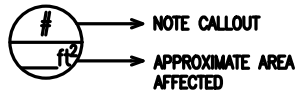
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REVISIONS	DATE: 05-30-2023
	SHEET #
	SK-5.4
FWNA PROJECT # 222.333	

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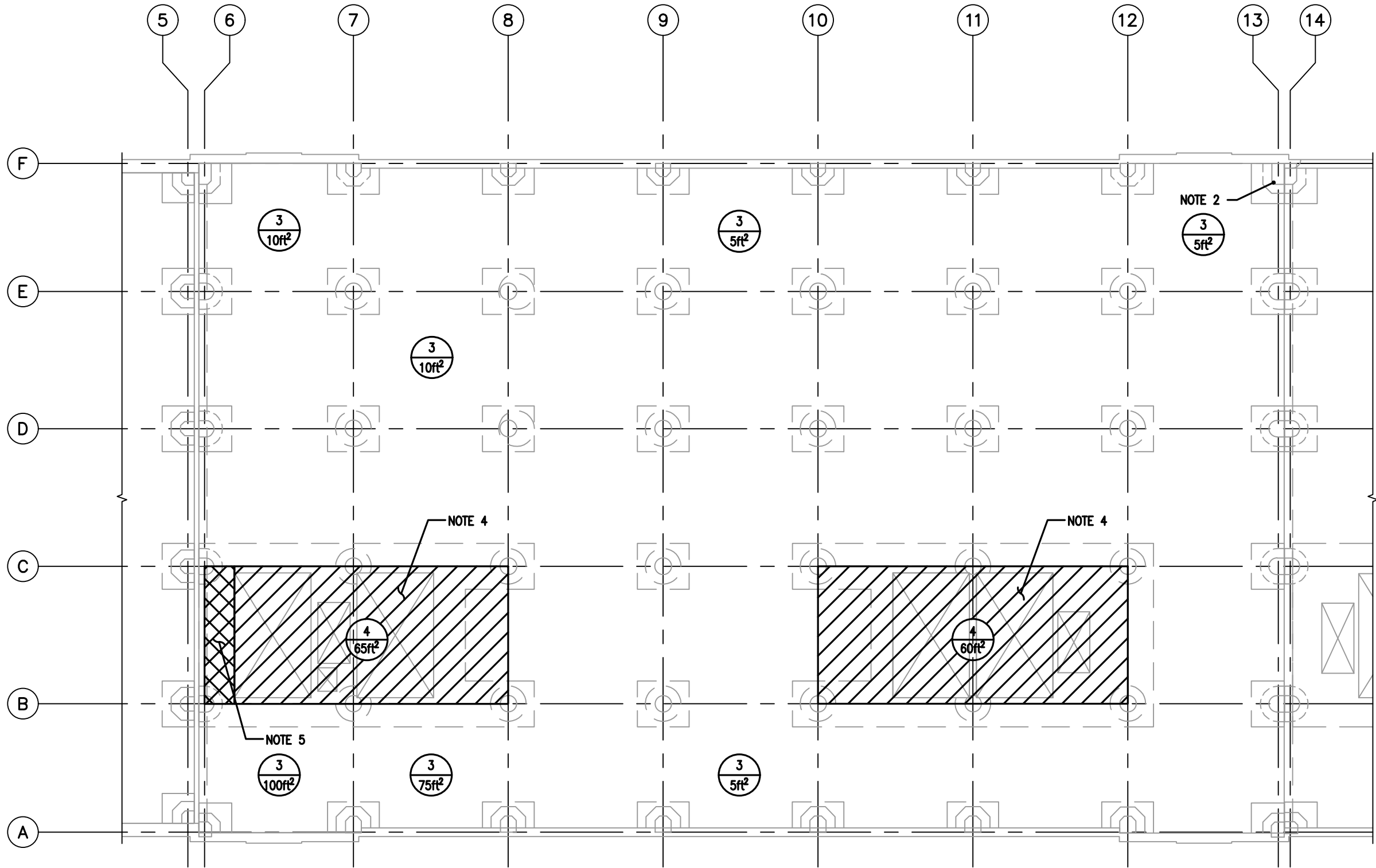
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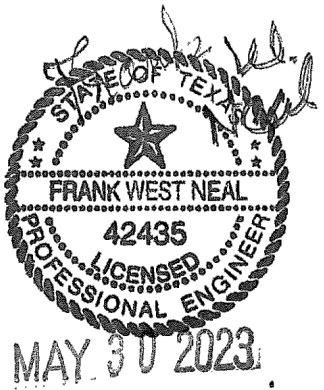
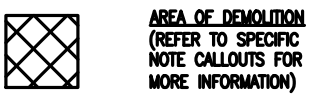
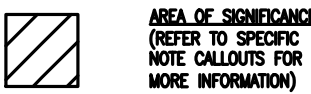
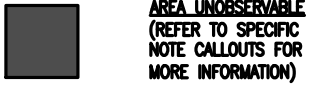
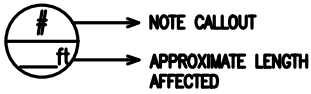
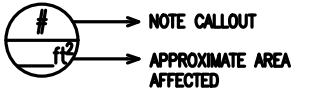
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FWNA PROJECT # 222.333

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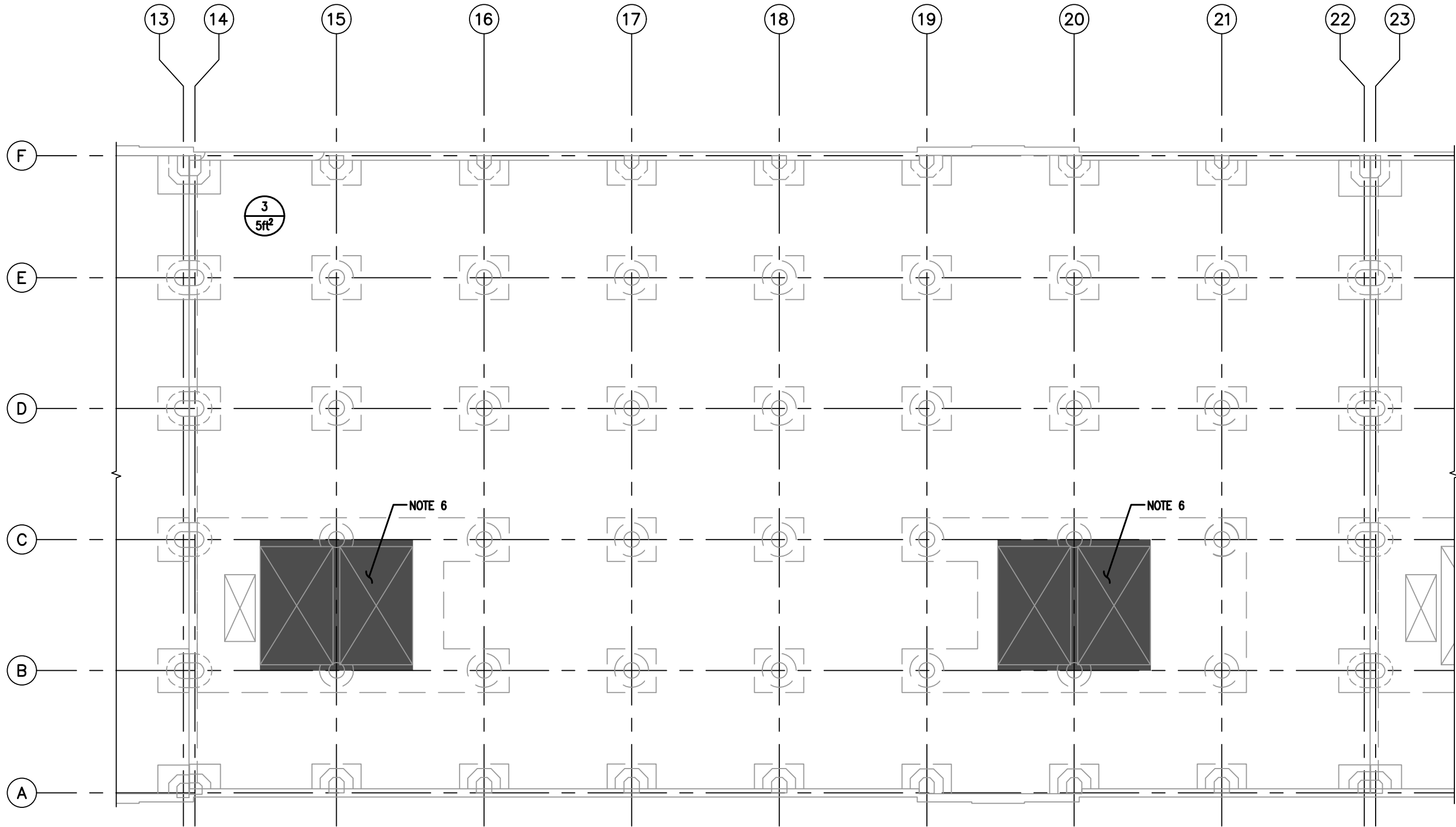
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	SK-6.2
FWNA PROJECT # 222.333	

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May 31, 2023 - 10:02am



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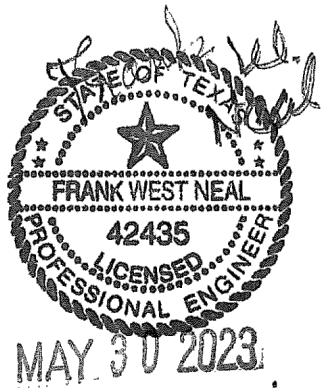
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APPROXIMATE AREA AFFECTED

ft → NOTE CALLOUT
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AREA UNOBSERVABLE
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MORE INFORMATION)



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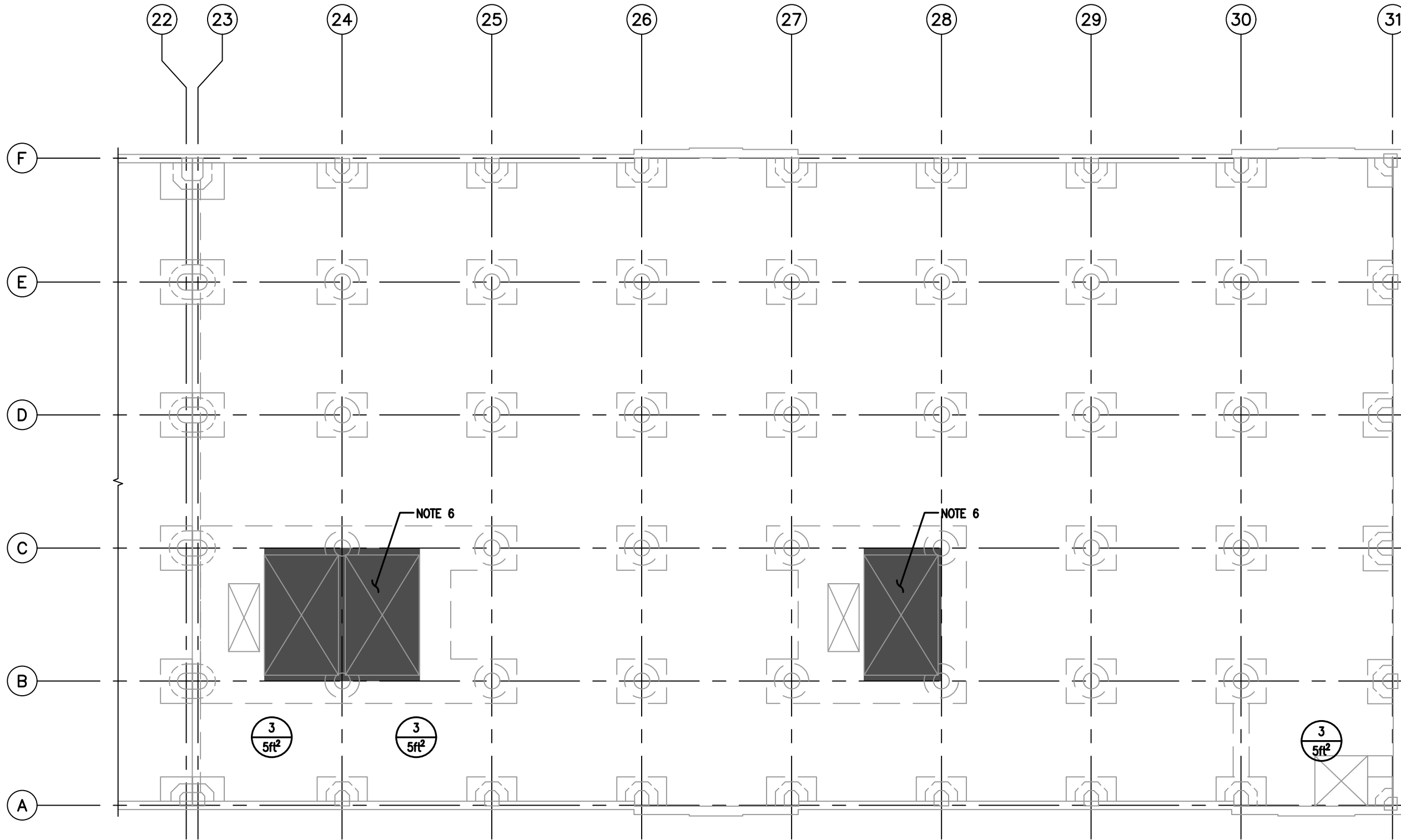
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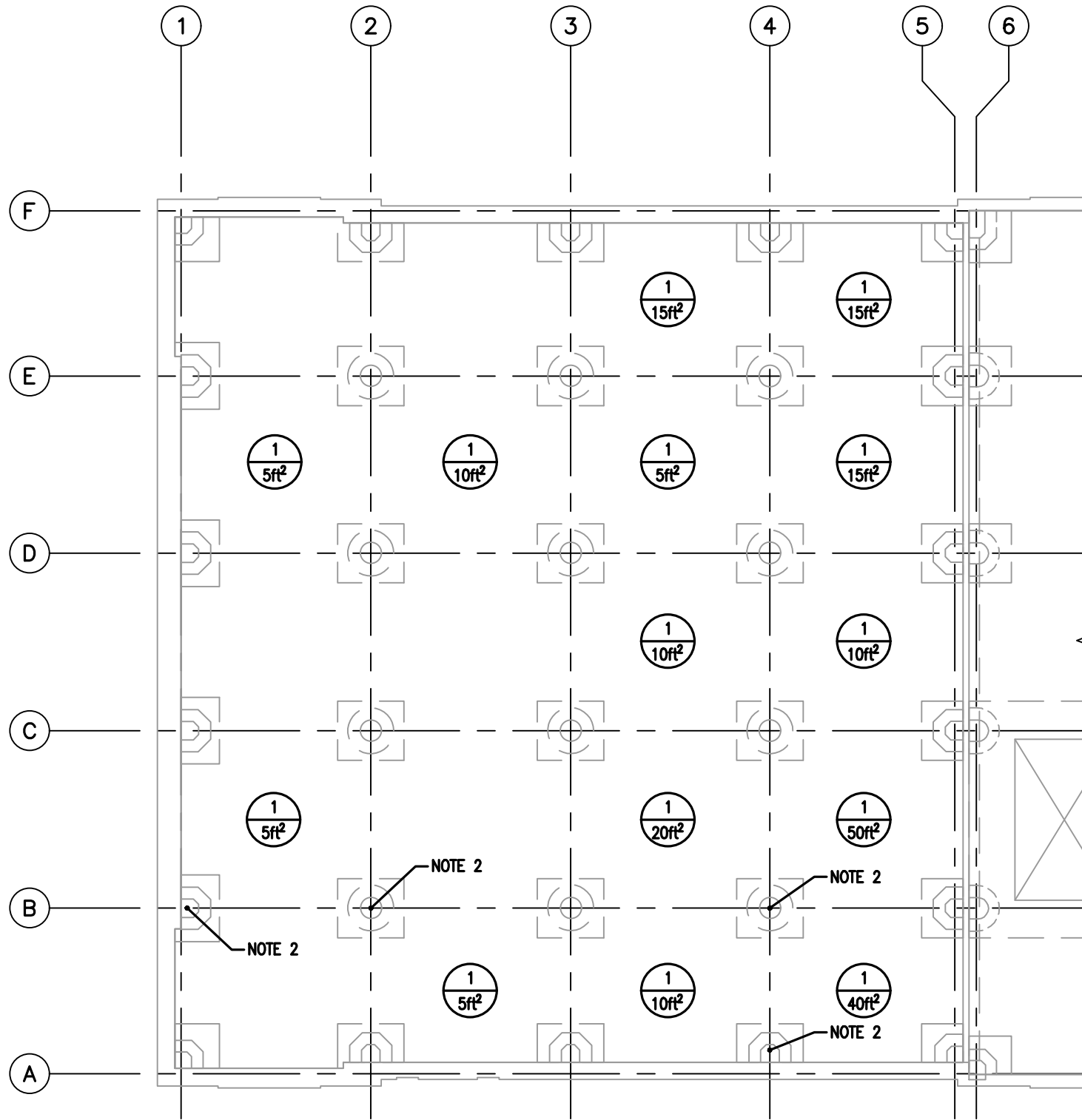
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SK-6.4

FWNA PROJECT # 222.333

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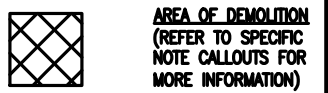
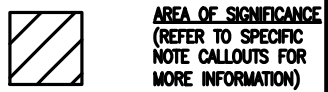
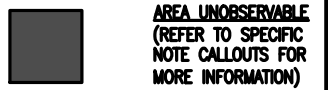
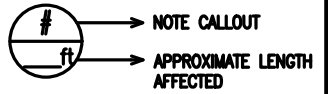
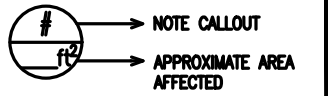
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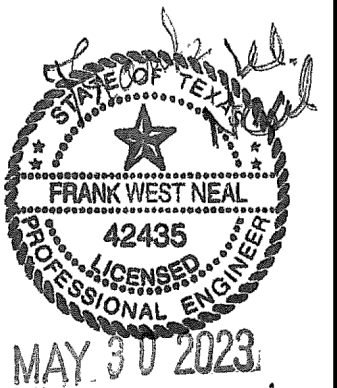
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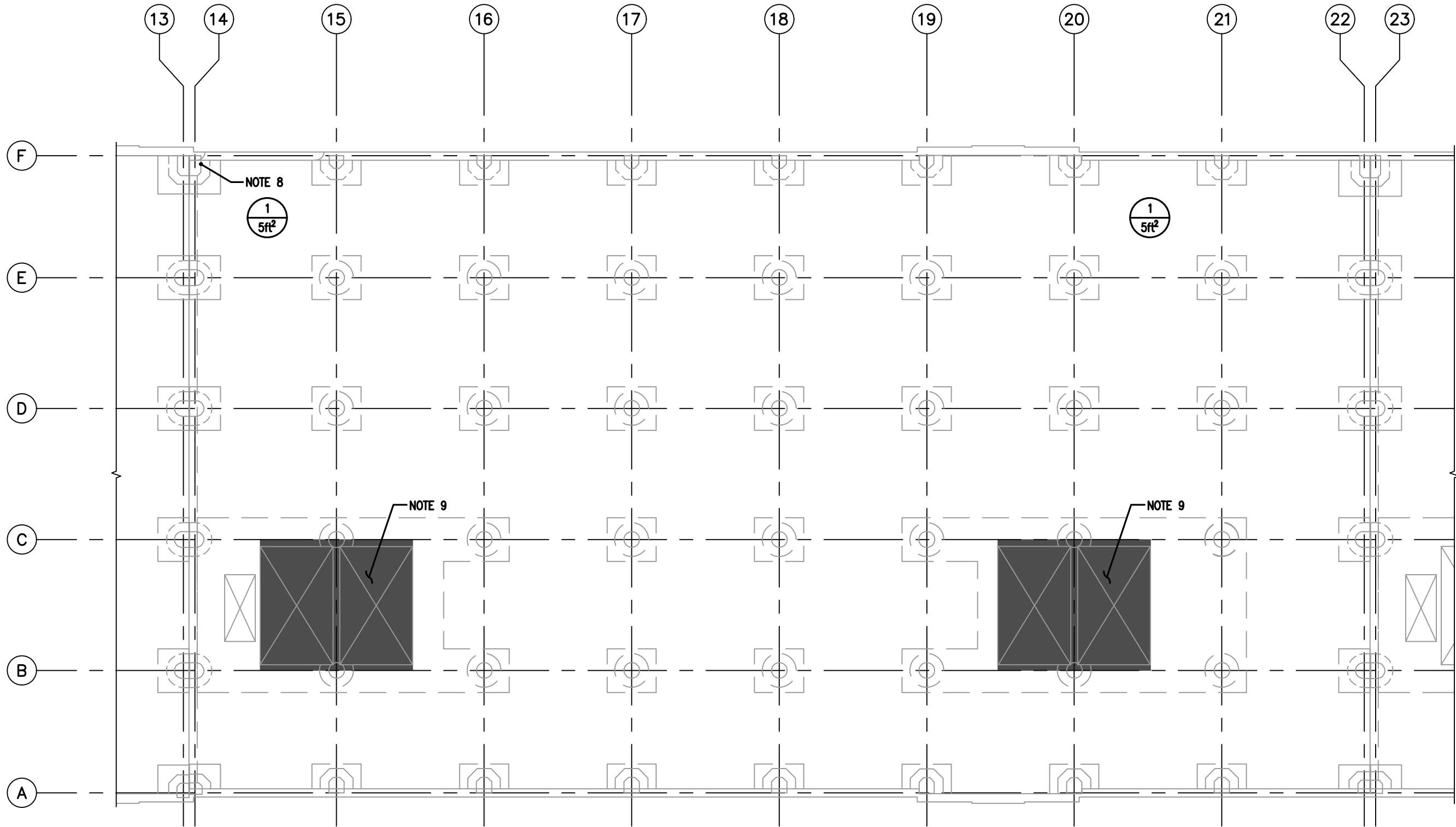
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May 31, 2023 - 10:09am



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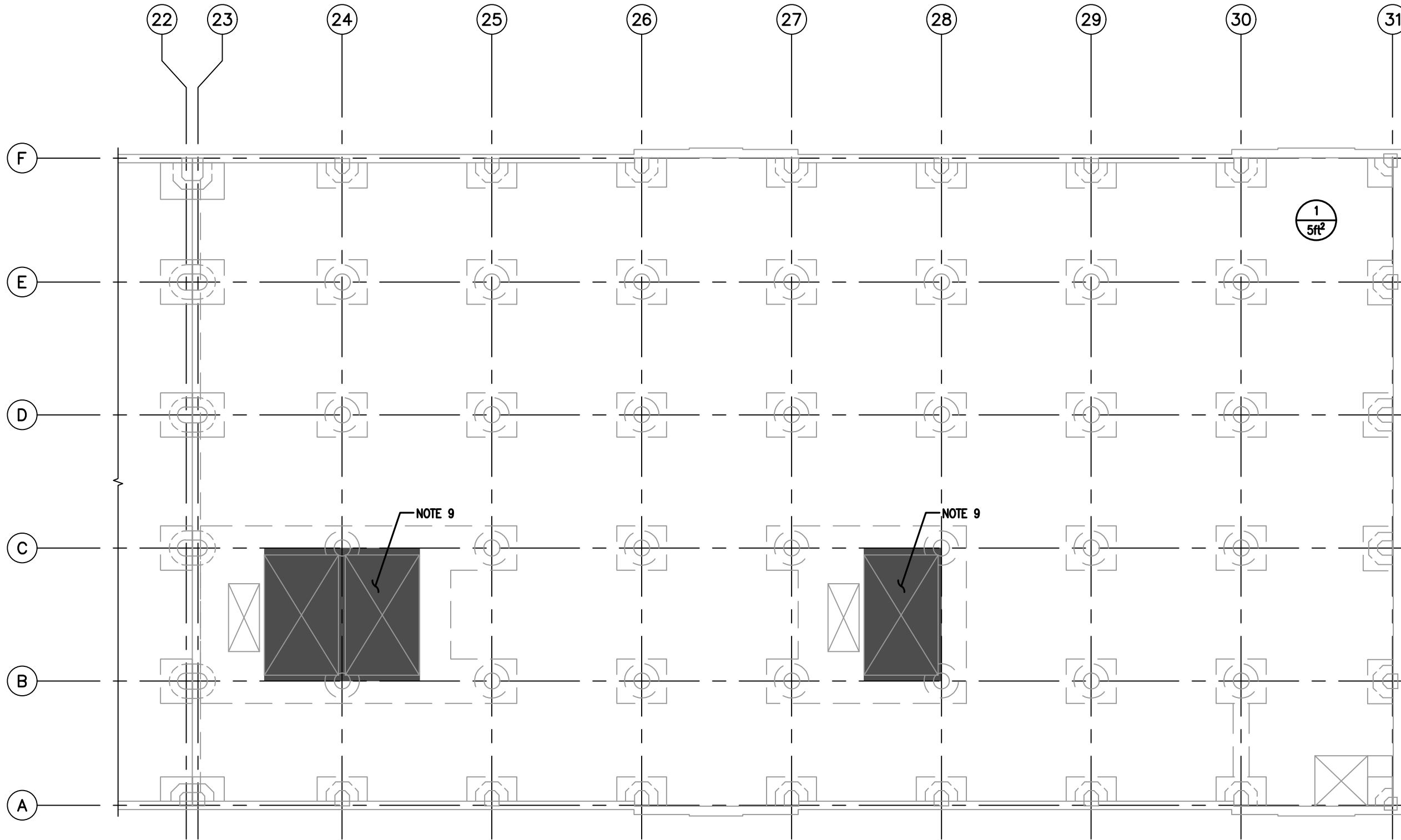
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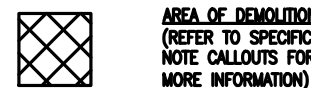
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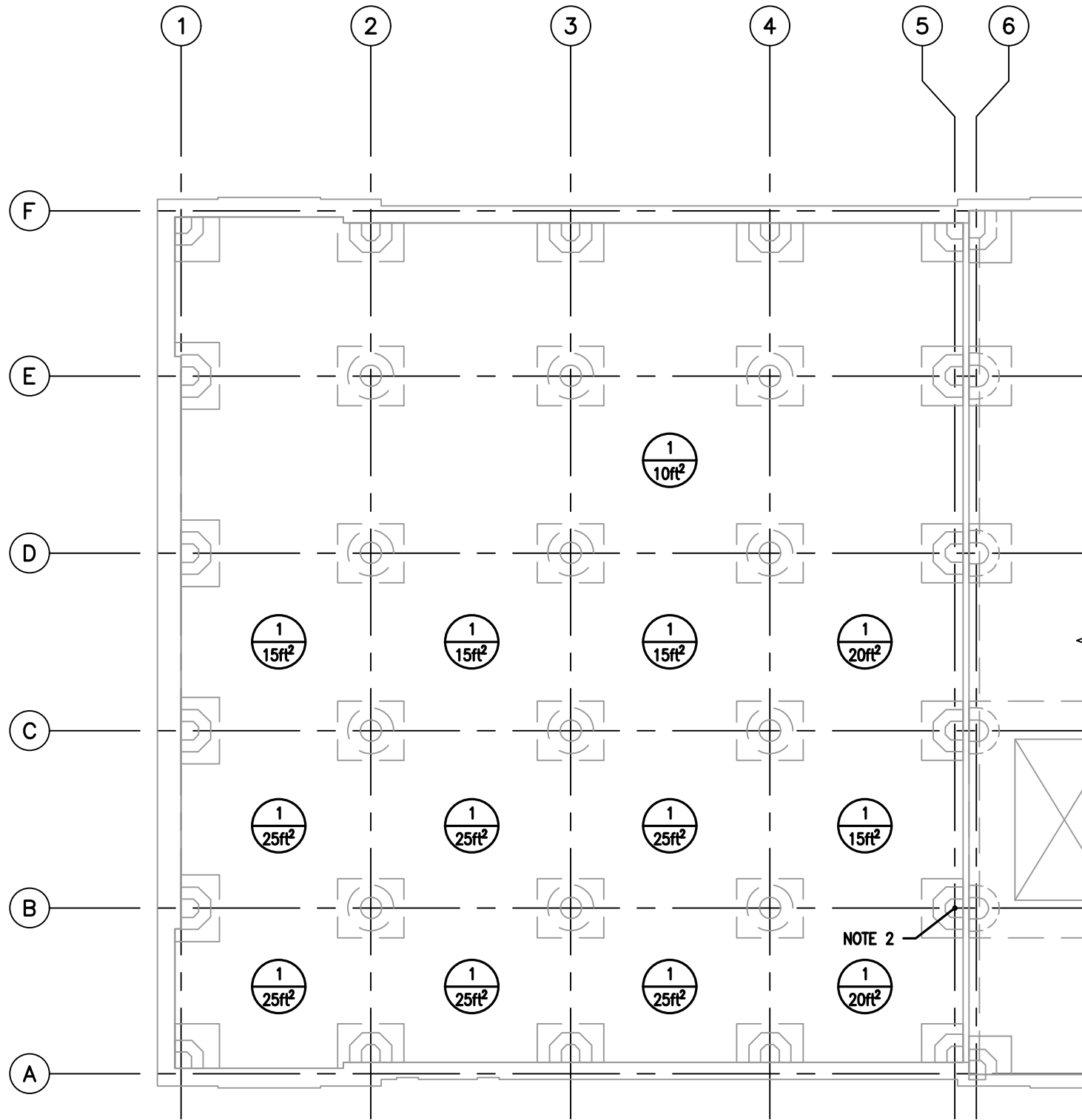
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NOTE CALLOUT

APPROXIMATE AREA
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NOTE CALLOUT

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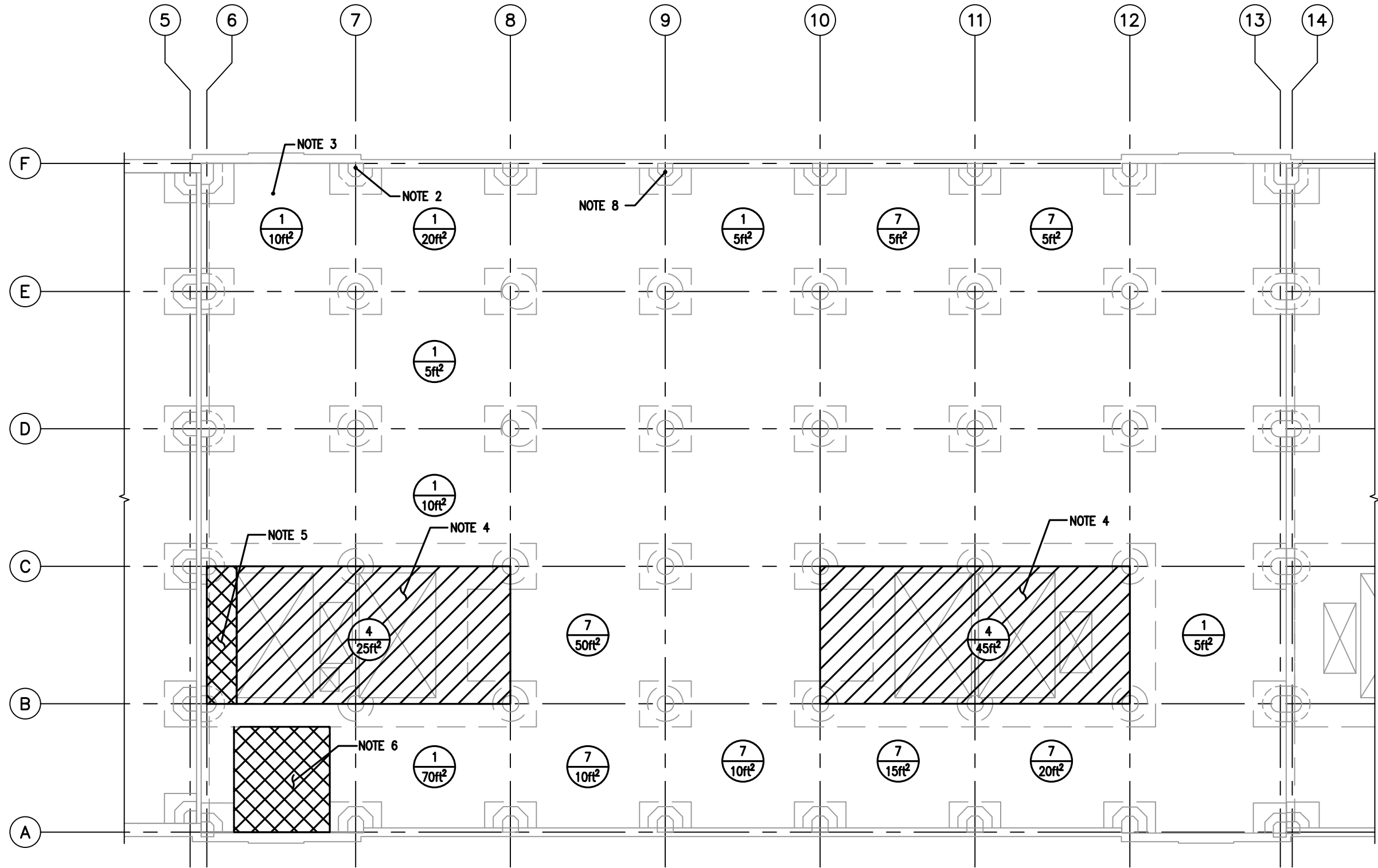
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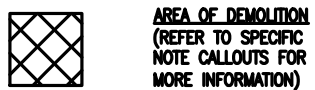
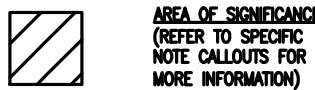
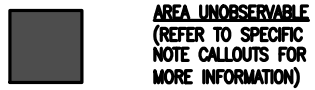
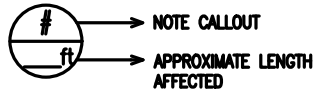
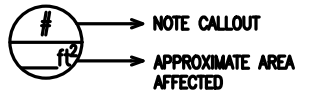
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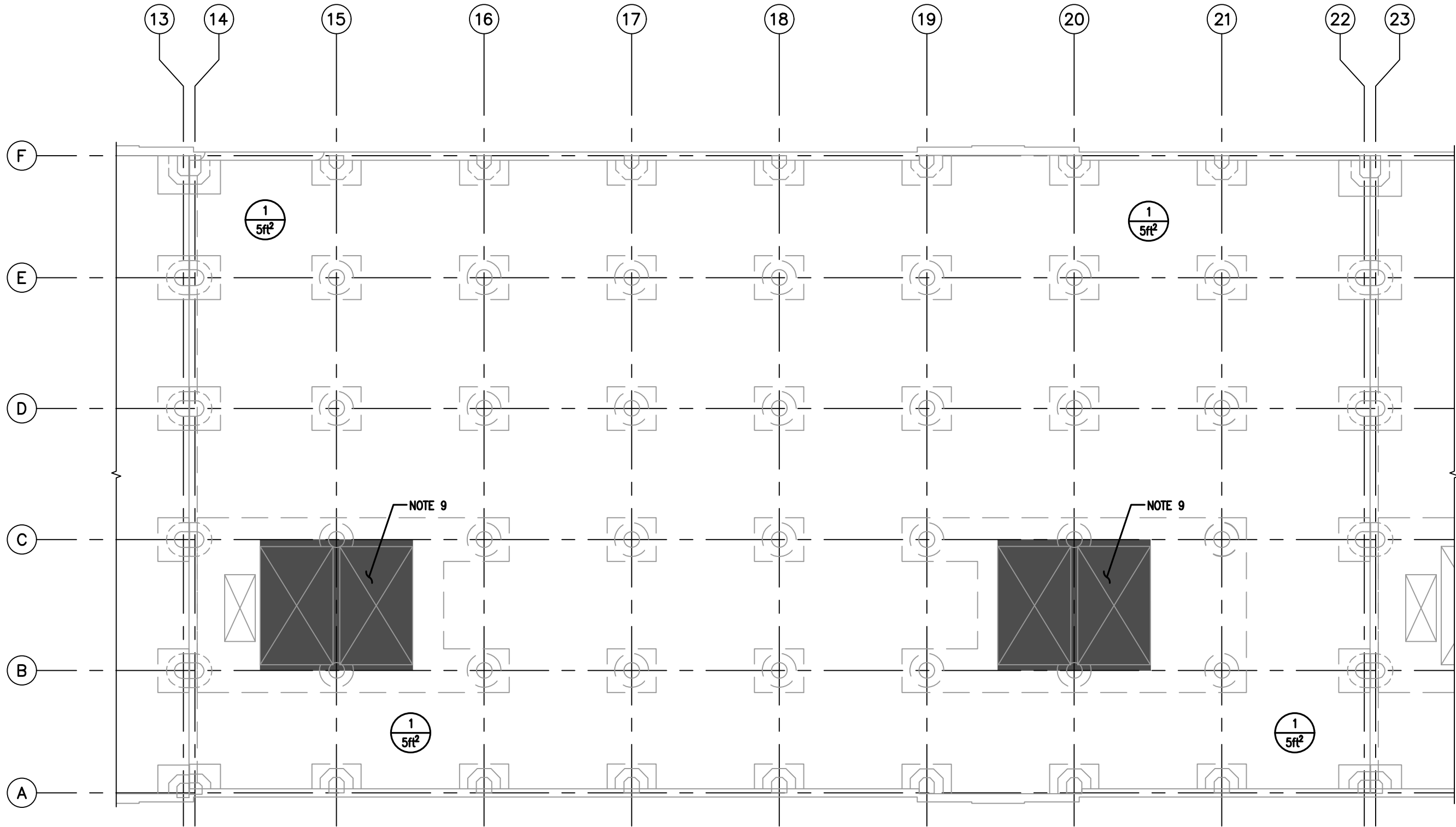
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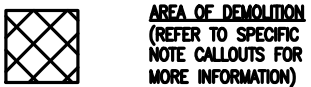
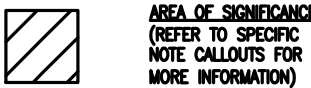
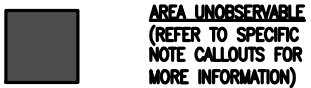
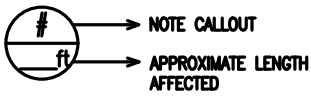
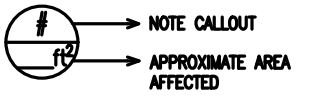
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FWNA PROJECT # 222.333

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May 31, 2023 - 10:11am



LEGEND



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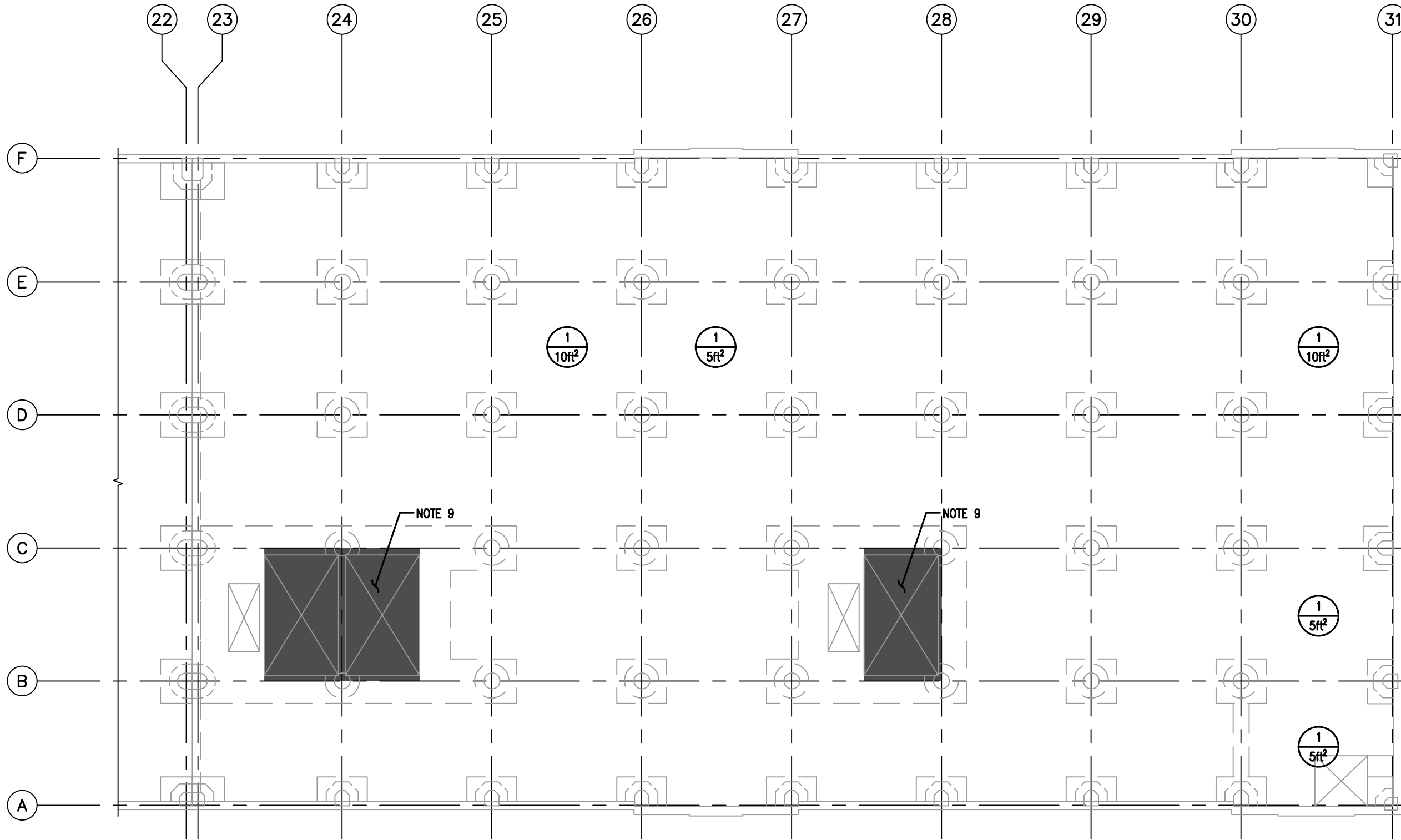
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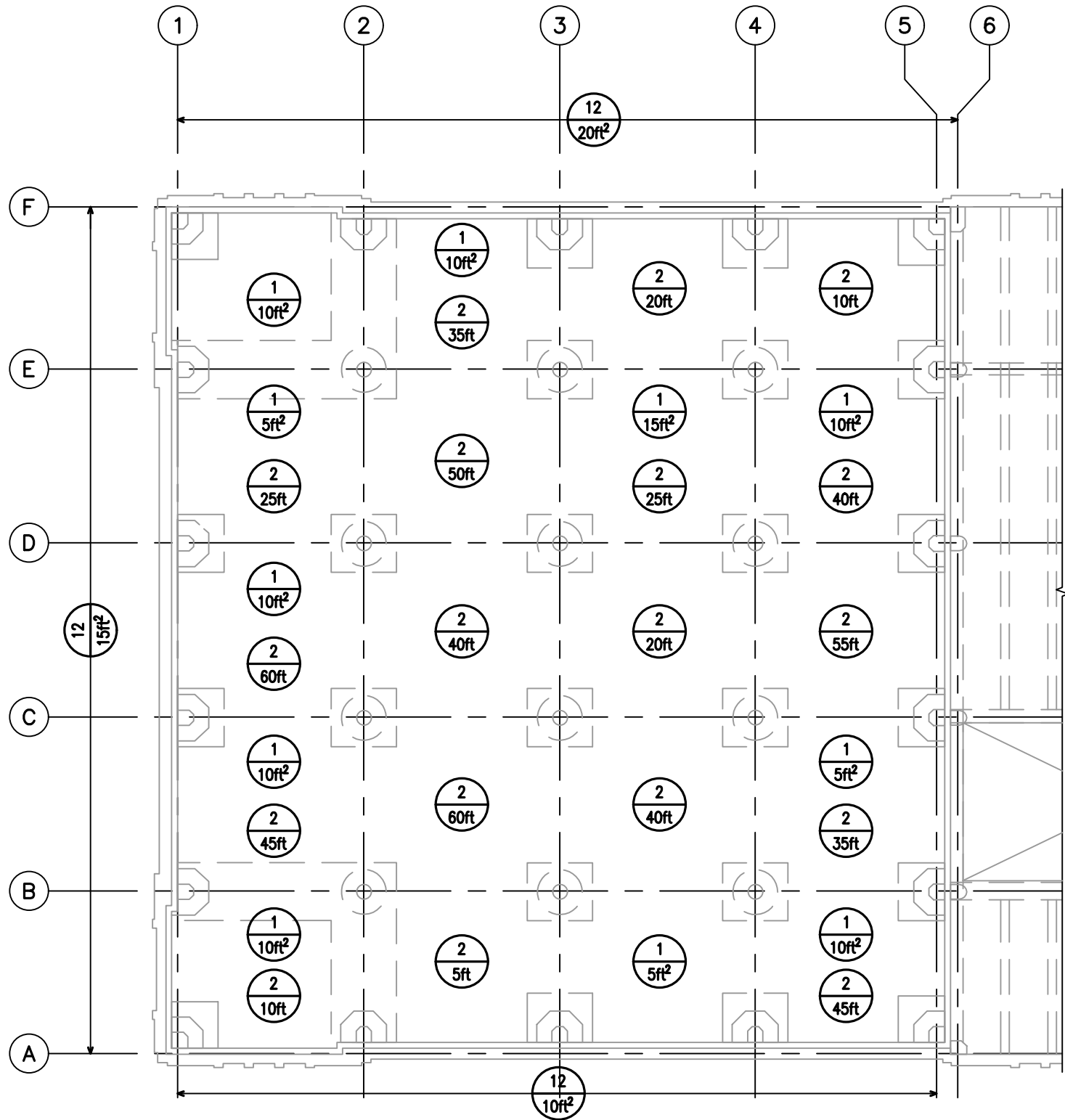
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May 31, 2023 - 10:16am



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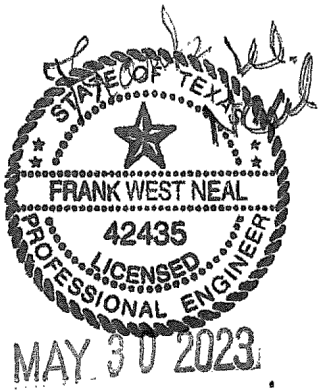
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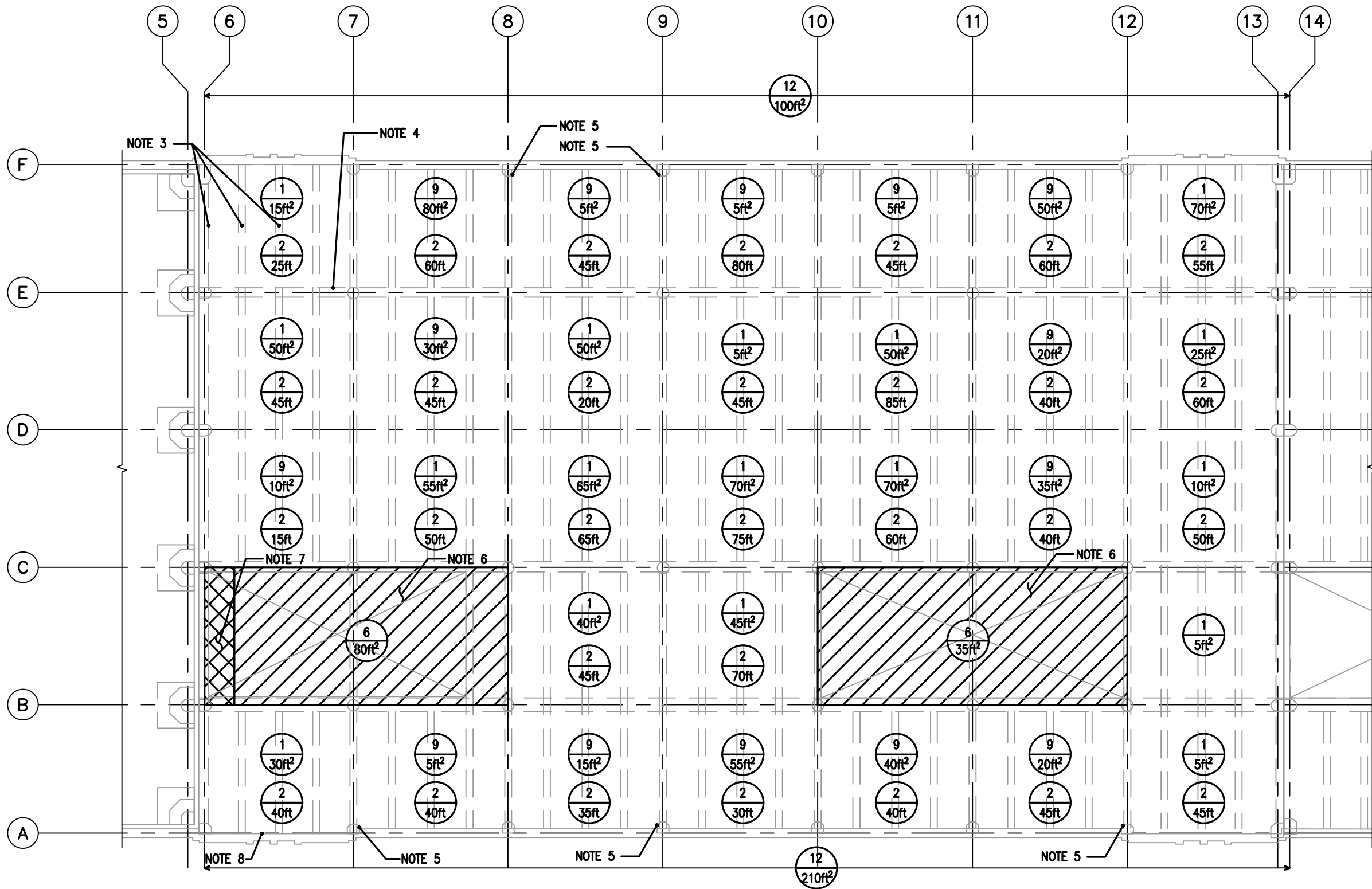
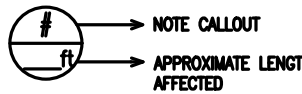
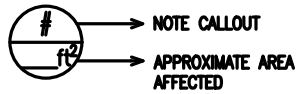
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REVISIONS	DATE: 05-30-2023
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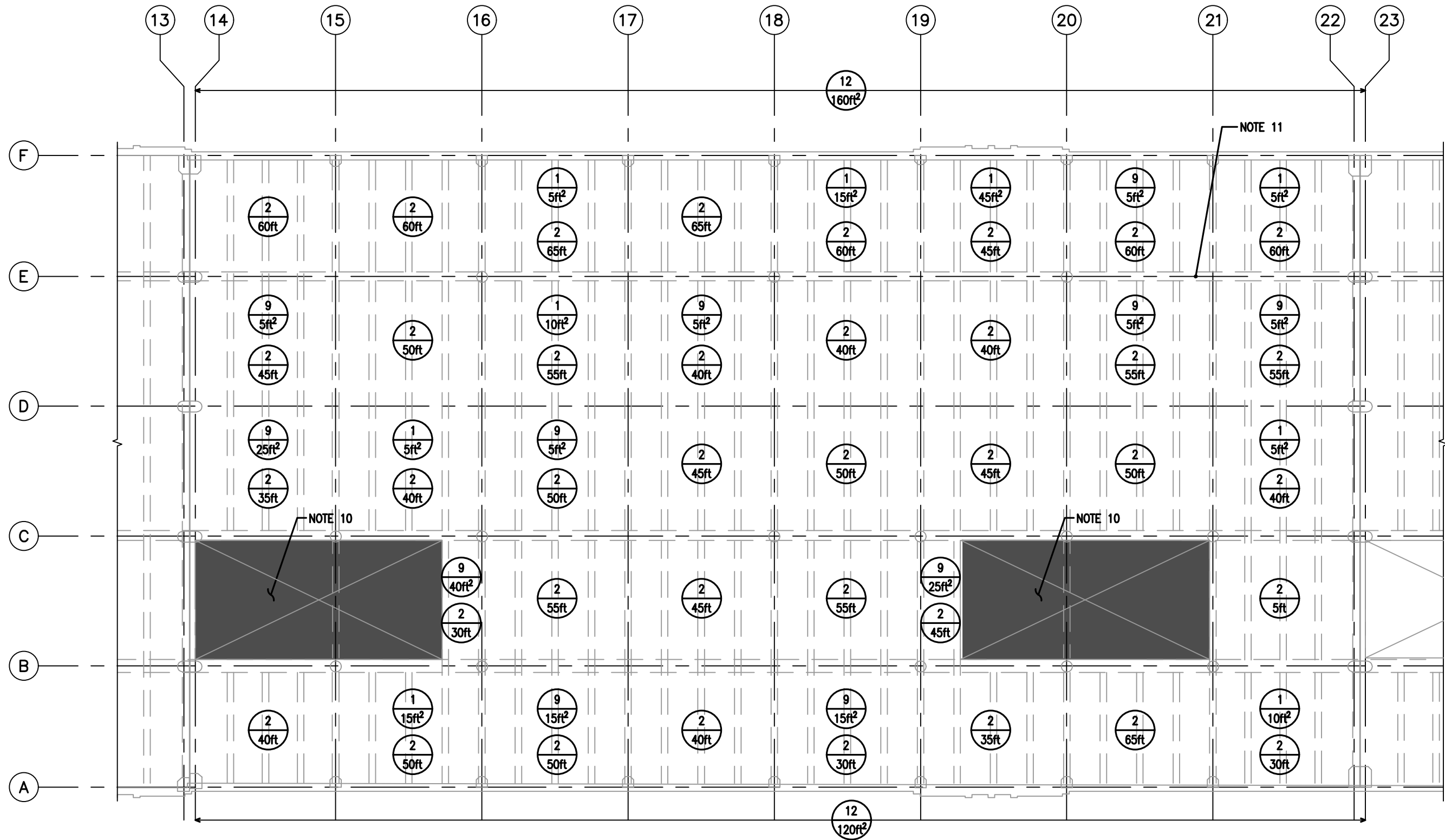
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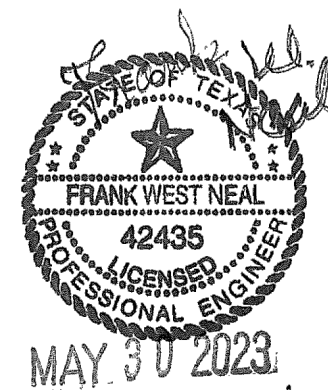
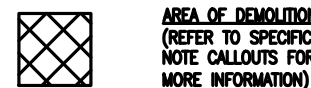
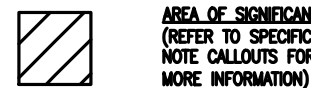
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DATE:
05-30-2023

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SK-R.3

FWNA PROJECT # 222.333

July 13, 2022

Ms. Ola Assem
Cleopatra Investments, LLC



RE: 401 W Lancaster Avenue (T&P Warehouse)

Ms. Assem:

The purpose and intent of the City of Fort Worth Historic Preservation Ordinance, as a matter of public policy, is to identify, protect, enhance, and perpetuate landmarks and districts of historical, cultural, architectural, or archeological significance. The City Council has found that such actions are necessary to safeguard and promote the economic, cultural, educational, and general welfare of the public. It is recognized that Fort Worth represents the unique confluence of time and place that has shaped the identity of generations of citizens, collectively and individually, and has produced significant historical, cultural, architectural, and archeological resources that exist as visual and tangible evidence of cultural identity. The City's Historic Preservation Ordinance acts to protect, preserve, and perpetuate the cultural heritage of Fort Worth, including its landmarks and districts of historical, cultural, architectural, or archeological importance.

The Texas and Pacific Railroad played a central role in Fort Worth's development from the establishment of the city's first rail line in 1876 to the peak years of train service during World War II. During the early 1930s, three important Fort Worth landmarks were constructed on Lancaster Avenue; the U.S. Post Office, Texas and Pacific Passenger Terminal, and Texas and Pacific Warehouse. Designed by local architect Wyatt C. Hedrick, these buildings represent the significance the railroad played in sustaining the growth of livestock, oil, and other goods in the American Southwest. Within the past 15 years, the Texas and Pacific Terminal has been adaptively reused as residential condos, and the U.S. Post Office was extensively rehabilitated for continued use as a U.S. Post Office. Sadly, however, the Texas and Pacific Warehouse has fallen into a state of disrepair due to long-term neglect, despite the allocation of Federal and State historic tax credits from 2009 to the present that were intended to help facilitate adaptive reuse.

As a testament to the significance of these buildings lining the south side of Lancaster Avenue, in 1978, the Texas and Pacific Terminal complex, which includes the T&P warehouse, was placed on the National Park Service's National Register of Historic Places, which is administered by the Department of the Interior. In 1980, the State of Texas listed the building as a Recorded Texas Historic Landmark. In 1995, the structure was locally designated by the City of Fort Worth as a Highly Significant and Endangered Landmark. The intent of these designations, in part, was to make a rehabilitation project for the property eligible for financial incentives which would ultimately protect the building in perpetuity. However, despite these designations and due to a lack of adequate maintenance of the building over the last three decades, the signs of demolition by neglect are indisputable. The decline has become so obvious that Texas and Pacific Warehouse has been listed as one of the most endangered places in Texas by Preservation Texas and Historic Fort Worth, Inc. Because the Texas and Pacific Warehouse is recognized for its historical significance on the national, state, and local level, the City of Fort Worth began minimal building standards enforcement measures in 2002. The goal was to work with you to ensure that the building did not fall into a state of disrepair.

The City of Fort Worth defines *DEMOLITION BY NEGLIGENCE* as the consistent failure to maintain a structure that causes, or is a substantial contributing factor to, the deterioration of building materials to such an extent that the structure is no longer safe or its rehabilitation is no longer feasible, ultimately leading to its demolition. Enforcement procedures and penalties for demolition by neglect are many and varied and may be administered concurrently.

Despite twenty years of efforts by the City of Fort Worth to work with you and your agents to ensure that the building is rehabilitated and demolition by neglect is reversed, the building has continued to fall into a state of disrepair. Since 2002, the city has issued numerous citations and notices of violation with the goal of actively enforcing minimum building standards enacted to prevent this type of neglect. Although attempts have been made to address the concerns raised, they have not been adequate enough to address demolition by neglect.

Due to missing window covers, open windows allowing free access to the building, and graffiti, City staff coordinated with you and your agents to inspect the exterior and interior of the building. The exterior inspection occurred on May 18th, 2022. Because access was not available to the interior and you were not able to coordinate access in a timely fashion, the City of Fort Worth obtained a warrant and entered the structure on June 24, 2022. Based on those inspections and a third inspection on June 29, 2022, the City of Fort Worth has hired a structural engineer with experience evaluating the condition of historic structures to perform an assessment of the building due to the extremely concerning building conditions identified on the interior and exterior. The assessment will incorporate guidance from the United States Department of the Interior's Preservation Brief Number 43 – The Preparation and Use of a Historic Structure Report.

The City of Fort Worth is requesting access to the T&P Warehouse so that a structural engineer can undertake a comprehensive assessment and evaluation of the building's condition. We would appreciate your cooperation with this effort. However, if a site visit cannot be scheduled in a timely manner, the City will obtain a warrant to enter the property to undertake the building assessment. The City intends to undertake the assessment in the 3rd week of August. Please let us know what days and times work best for you.

Sincerely,

Justin Newhart
Historic Preservation Officer

Attachments:

- Attachment A – National Register Statement of Significance
- Attachment B – Enforcement timeline
- Attachment C – Applicable Minimum Building Standards
- Attachment D – Brief Historic of Historical Significance



November 28, 2022

Ms. Ola Assem
Cleopatra Investments, LLC
[REDACTED]

RE: 401 W Lancaster Avenue (T&P Warehouse)

Ms. Assem:

The purpose and intent of the City of Fort Worth Historic Preservation Ordinance, as a matter of public policy, is to identify, protect, enhance, and perpetuate landmarks and districts of historical, cultural, architectural, or archeological significance. The City Council has found that such actions are necessary to safeguard and promote the economic, cultural, educational, and general welfare of the public. It is recognized that Fort Worth represents the unique confluence of time and place that has shaped the identity of generations of citizens, collectively and individually, and has produced significant historical, cultural, architectural, and archeological resources that exist as visual and tangible evidence of cultural identity.

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As a testament to the significance of these buildings lining the south side of Lancaster Avenue, in 1978, the Texas and Pacific Terminal complex, which includes the T&P warehouse, was placed on the National Park Service's National Register of Historic Places, which is administered by the Department of the Interior. In 1980, the State of Texas listed the building as a Recorded Texas Historic Landmark. In 1995, the structure was locally designated by the City of Fort Worth as a Highly Significant and Endangered Landmark. The intent of these designations, in part, was to make a rehabilitation project for the property eligible for financial incentives which would ultimately protect the building in perpetuity. However, despite these designations and due to a lack of adequate maintenance of the building over the last three decades, the signs of demolition by neglect are indisputable. The decline has become so obvious that the Texas and Pacific Warehouse has been listed as one of the most endangered places in Texas by Preservation Texas and Historic Fort Worth, Inc. Because the Texas and Pacific Warehouse is recognized for its historical significance on the national, state, and local level, the City of Fort Worth began Minimum Building Standards enforcement measures in 2002. Due to missing window covers, open windows allowing free access to the building, and graffiti, City staff coordinated with you and your agents to inspect the exterior and interior of the building. The exterior inspection occurred on May 18th, 2022. Because access was not available to the interior and you were not able to coordinate access in a timely fashion, the City of Fort Worth obtained a warrant and entered the structure on June 24, 2022. Based on those inspections and a third inspection on June 29, 2022, the City of

DEVELOPMENT SERVICES

CITY OF FORT WORTH * 200 TEXAS STREET * FORT WORTH, TEXAS 76102-6311
CUSTOMER SERVICE 817-392-8000 * FAX 817-392-8016



Fort Worth has hired a licensed structural engineer with experience evaluating the condition of historic structures to perform an assessment of the building due to the extremely concerning building conditions identified on the interior and exterior. The assessment will incorporate guidance from the United States Department of the Interior's Preservation Brief Number 43 – The Preparation and Use of a Historic Structure Report.

The City of Fort Worth is requesting access to the T&P Warehouse so that a structural engineer can undertake a comprehensive assessment and evaluation of the building's condition. We would appreciate your cooperation with this effort. However, if a site visit cannot be scheduled in a timely manner, the City will obtain a warrant to enter the property to undertake the building assessment. The City intends to undertake the structural assessment during the December 12th, 2022 to January 13th, 2023.

Sincerely,

Justin Newhart
Historic Preservation Officer

Attachments:

- Attachment A – National Register Listing & Statement of Significance
- Attachment B – Enforcement timeline
- Attachment C – Applicable Minimum Building Standards

DEVELOPMENT SERVICES

CITY OF FORT WORTH ★ 200 TEXAS STREET ★ FORT WORTH, TEXAS 76102-6311
CUSTOMER SERVICE 817-392-8000 ★ FAX 817-392-8016



July 21, 2023

Ms. Ola Assem
Cleopatra Investments, LLC



RE: 401 W Lancaster Avenue (T&P Warehouse) Notice of Non-Compliance and Associated Code Violations

Ms. Assem:

As noted in the July 13, 2022 Notice of Non-Compliance letter that was sent to you, the purpose and intent of the City of Fort Worth Historic Preservation Ordinance, as a matter of public policy, is to identify, protect, enhance, and perpetuate landmarks and districts of historical, cultural, architectural, or archeological significance. The City Council has found that such actions are necessary to safeguard and promote the economic, cultural, educational, and general welfare of the public. It is recognized that Fort Worth represents the unique confluence of time and place that has shaped the identity of generations of citizens, collectively and individually, and has produced significant historical, cultural, architectural, and archeological resources that exist as visual and tangible evidence of cultural identity.

The Notice of Non-Compliance from July 13, 2022 requested access to the T&P Warehouse to undertake a structural assessment after observing numerous issues during an exterior inspection on May 18, 2022 and June 24, 2022. The City of Fort Worth engaged with a structural engineer and coordinated with your team to conduct multiple onsite inspections of the property (March 7 and March 22, 2023) to evaluate conditions and to determine the presence, extent, and severity of any issues that might compromise the structural integrity of the property. The City of Fort Worth received the final report on May 30, 2023. On June 23, 2023 City staff discussed the findings in the report with you and your team.

The City of Fort Worth defines *DEMOLITION BY NEGLIGENCE* as the consistent failure to maintain a structure that causes, or is a substantial contributing factor to, the deterioration of building materials to such an extent that the structure is no longer safe or its rehabilitation is no longer feasible, ultimately leading to its demolition. Enforcement procedures and penalties for demolition by neglect are many and varied and may be administered concurrently.

The City of Fort Worth has reviewed the information contained within the structural assessment and is extremely concerned about the deteriorating building conditions identified in the report. Many of the issues identified are not only structural issues that violate the City's Minimum Building Standards ordinance, but also pose serious life/safety issues. Many of these issues have been present and associated with past Code Compliance cases. As such, immediate intervention is necessary to address the issues identified in the structural assessment as well as their causes.

The City of Fort Worth is requesting that you provide a timeline to address the issues identified in the report and their causes. The City also requests that you provide a detailed scope of work that outlines how you intend to address the structural issues and their causes. The City's Historic Preservation Ordinance requires the Historic & Cultural Landmarks Commission and the Historic Preservation Officer to review any proposed work to ensure that the scope is consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and adequately addresses each identified issue and its root cause.



We would appreciate your cooperation with this effort. However, if a timeline and scope of work is not received by August 10, 2023, the City will explore enforcement options to bring the property into compliance.

Lastly, given the nature of the issues identified in the structural assessment, it is incumbent upon the City of Fort Worth to seek the advice of the Historic & Cultural Landmarks Commission as to whether the T&P Warehouse can be reasonably rehabilitated to remain as a property contributing to the City of Fort Worth's historic heritage. The City has scheduled this case to go before the Historic & Cultural Landmarks Commission on August 14, 2023.

In closing, I have provided a list of applicable minimum building standards. I have included this list because there may be other violations of minimum building standards. Please contact me if you would like further direction regarding the violations of the Minimum Building Standards ordinance and the above information at (817) 392-8015.

Sincerely,

Lorelei Willett
Historic Preservation Officer

Attachments:

- Structural Assessment
- Applicable Minimum Building Standards
- Notice of Non-Compliance – July 13, 2022
- List of past Code Compliance cases associated with T&P Warehouse

Applicable Minimum Building Standards

Interior Walls and Ceilings

- All interior walls and ceilings and portions thereof shall be maintained in good condition,
- All interior walls and ceilings and portions thereof shall be free of holes, breaches, significant cracks, dampness, water damage, significant smoke damage, fire damage, and mildew.

Construction Materials

- All construction materials, including but not limited to wood, gypsum products, glass, fiberglass, paper, canvas, fabric, plastic, vinyl, masonry, ceramic, plaster, brick, rock, stucco, slate, concrete, asphalt, tin, copper, steel, iron, and aluminum, that is attached to or forms any part of a building or structure, shall be maintained in good condition

Roofs

- The roofs of all buildings and structures shall be maintained in good condition and shall be maintained to withstand the loads and forces for which they were required to be designed and constructed pursuant to the code in effect at the time of construction. All structural elements shall be proportioned and securely fastened to eliminate collapse hazards.
- Roofs shall be repaired when leaks, sags, or holes occur, or when there are missing, charred, or deteriorated shingles, or rotten wood.
- Proper roof drainage shall be designed and constructed following the code in effect at the time of construction, but as a minimum, shall be maintained so as not to overload the structural design.

Floors

- All floors shall be maintained in good condition. All structural elements shall be proportioned, securely fastened, and free of holes or decay to eliminate collapse or trip hazards.

Balconies, Landings, Porches, Decks, and Walkways

- All balconies, landings, porches, decks, and walkways shall be maintained in good condition

Handrails and Railings

- Handrails shall be provided as required by the building code. All handrails and railings shall be maintained in good condition. All components shall be proportioned and securely fastened.

Steps and Stairways

- Steps and stairways shall be maintained in good condition. All components shall be proportioned and securely fastened to eliminate trip or collapse hazards.

Plumbing Fixtures

- All plumbing fixtures shall be maintained in a safe and sanitary condition, and so as to function in the manner for which they were designed. Such plumbing fixtures shall be maintained free of cross-connections and conditions that permit backflow into the potable water supply, as required by Article V, Division 3 of the Fort Worth Environment Code. All plumbing fixtures shall be installed and maintained in safe and sanitary conditions. The flow of sewage or water from openings or breaches in water supply lines or sewage disposal lines shall be stopped, and repair performed as necessary to eliminate sanitary hazards. All sewer clean-out openings shall be capped with tight-fitting plugs except when the sewer lines are being serviced.

Water heating equipment

- All water heating appliances, equipment, or boilers shall be maintained in safe operating conditions in compliance with the building code, plumbing code, and all other applicable laws. All water heating appliances shall be provided with a temperature and pressure relief valve with an appropriate drain line to the outside necessary for the diversion of hot water under pressure or steam to a safe location as required by the plumbing code.

Electrical standards

- All electrical wiring, switches, switching devices, fixtures, appliances, outlets, lighting outlets, junction boxes, circuits, conduit, panels, panel covers, and panelboards shall be of an approved type and shall be installed and maintained in a safe manner in accordance with the Electrical Code of the City of Fort Worth.

Fire protection standards

- All buildings, structures, or portions thereof shall be provided with the degree of fire-resistive construction as required by the building code for the appropriate occupancy, type of construction, and location on the property. They shall be provided with the appropriate fire-extinguishing systems or equipment required by the building code and fire code. All required fire protection and fire alarm systems shall be inspected as required by the fire code.

***Public Areas**

- The premises of any building or structure shall be maintained free of weeds or grass in excess of twelve (12) inches and accumulations of solid waste.

***Special Hazards**

- When any building or structure is significantly damaged by fire, flood, wind, or other natural or man-made calamity, the owner or landlord shall remove from the premises all refuse, debris, and charred and partially burned lumber and other material.

Date	Type of Notice	City Staff	Mail Type	Mailed To	Case No/Citation	Brief Description
12/10/2002	Notice of Violation	Paul McAllister	Certified		SST0210-0460	Removal of trash, securing the building, open elevator shafts, removal and proper disposal of stagnant water, removing glass and closing window openings to eliminate infestation and dampness, securing the service box at the west end lot.
1/15/2003	Citations		Certified	Ola Labib Assem	G137420	Failure to close a vacant building - no match
1/15/2003	Citations		Certified	Ola Labib Assem	G137421	Maintain a substandard structure
4/14/2003	Notice of Violation	Gail Tidwell	Regular		follow-up 4/11/2003	Accumulation of combustible material, accumulation of fowl/bird waste, accessible to the public, elevator shafts top to bottom being open and accessible, multiple feet of stagnant water, shards of broken glass hanging from window frames, unsecured service box, high grass and weeds, trash and debris, graffiti, pipes protruding from the west wall - incomplete
4/22/2003	Trespass Warning	Garwacki 3292				
4/25/2003	Correspondence		Mail and fax	Cleopatra, Inc.		Response from notice dated 4/11/2003 and 4/14/2003; Ola Assem President
			Mail and fax		Eliminate by 5/9/2003	Remove razor wire in exit stairwells and canopies over loading docks to prevent injury, close and secure doors providing access to the building, secure the service box for the sump pump at the west end, remove multiple feet of stagnant water, provide appropriate security to prevent entry, cut high grass and weeds and remove trash and debris
4/28/2003	Notice of Violation	Gail Tidwell			Eliminate by 5/16/2003	Remove accumulation, remove trash and debris from elevator shafts, remove broken glass hanging from windows, limit access to elevator shafts from top floor to basement that are open, remove graffiti, remove PVC drain pipes protruding from the ceiling, remove or repair broken fence and gate.
5/5/2003	Correspondence	Mail and fax		Cleopatra, Inc.	response	Request more time - 5/9/2003 razor wire removal, close and secure opening, a lock on the service box, 5/23/2003 removing water from the basement and service box;
5/5/2003	Correspondence			Cleopatra, Inc.	Stagnant water	5/19/2003 high grass and weeds; 5/16/2003 require 90 to 120 days to complete there is no functional elevator, removing shards, open areas have been secured. Ola Assem Phoenix 1 Resotrationa nd Construction LTD the water has been removed, Phoenix is in the process of evaluating ruff repairs to stop leaks.
5/6/2003	Notice	Gail Tidwell	Mail and fax		eliminate	Razor wire, high grass and weeds, trash and debris 5/9/2003; remove storm water 5/16/2003; lock on (service box completed); open doors or windows 5/9/2003; shards removal 6/2/2003; windows on the east and west end 6/16/2003; windows on the south 6/30/2003; repaired fence and gate
12/4/2003				Ola Assem	G137706	Failure to close a vacant building - admin closed
2/14/2004	Notice	Ernie Dollar	Mailed		Ola Labib Assem	Violations still present
3/30/2004	Correspondence			LZA Technology	Condition Survey	8 floors plus a basement and penthouses on the portions of the roof, partially licensed for incidental use haunted house and paint ball facility, it has not been regularly used for about 27 years, reinforced concrete flat plate floor, reinforced concrete columns, roof reinforced concrete beam and slab frame, penthouse constructed of reinforced concrete, most of the structure is exposed, observations spalling and crackling related to corrosion of reinforcing steel, and previous fires.
3/30/2004	Correspondence	Carl Smart		Daedalus Development Corp	Historic Renovation	Meeting held 3/15/2004
4/2/2004	Citation			Ola Assem	Adaptive/use	
4/7/2004	Correspondence			Cleopatra, Inc.	follow-up	Water pool - unwholesome basement full of stagnant water - Admin closed
4/23/2004	Status Report					Meeting held 2/12/2004 violations still present, 3/30/2004 report from LZA Technology, 3/29/2004
9/29/2004	Estimate	USFilter		Cleopatra, Inc.		Details observations
9/30/2004	Water Incursion	City Staff		Daedalus		176,000-gallon water and oil sheen removal and pressure wash \$85,065
12/21/2004	Response	Daedalus Development Corp			Procedure for clean-up	Water observation 4 to 5 days to complete
1/28/2005	Response	Risk Management		Cleopatra, Inc		Notice of claim
2/4/2005	Response	Construction Corp City of Fort Worth		Cleopatra, Inc		Request formal demand to commence work and pay owners expenses

3/27/2007	Notice of Violation Warrant, HCLC Hearing, BSC Notice	G Guerin, K Young, B Barron, T Chakrathouk, B Sanchez, E Pena, M Mims, A Martinez, C Bell, T Taylor, R Avitia	Regular, Certified, Post and email	Cleopatra Investments LTD	SST0210-0460 07-38490	No water in the basement, secured Ace Environmental Services conducted the cleanup, Plans submitted to the city, 2/15/2011 contractor pumping water from the basement, open and vacant, broken glass, graffiti (property mowed by city), <i>Asbestos abatement, roof repair and securing, window work , removal of mechanical in basement request for determination HCLC Feb 2018 RFD18-002 COA18-017, water leaks throughout, damaged floors, walls, ceiling, fall/trip hazards, protruding pipes, holes in canopy, high grass and weeds case closed 3-12-2020</i>
11/4/2009	Notice of Violation	G Dissinger				Camper on property (call from mayors office)
11/5/2013	No Notice	B Sanchez			C469353/closed	Flooded with stagnant water at the loading dock bay was open and unsecured
11/14/2013	No Notice	E Pena			C470844/closed	High grass and weeds over 13"
6/26/2014	No Notice	E Pena			C502845/closed	High grass and weeds over 13"
6/26/2014	Notice of Violation	E Pena	Certified	Cleopatra Investments LTD	14-346047	High grass and weeds mowed by city
4/16/2015	Notice of Violation			Cleopatra, Inc		Failure to complete work BSC letter
4/16/2015	Notice of Violation	City Staff		Owners		Water in the basement
10/15/2015	Notice of Violation	City Staff		Owners		Open and vacant
11/6/2015	Notice of Violation	City Staff		Owners		Open and vacant boarded
2/3/2016	Notice of Violation	City Staff		Owners		Open and vacant (secured by owner)
8/24/2016	No Notice	R Spindle			C630160/closed	High grass and weeds, storing a trailer
8/25/2016	Notice of Violation	M Powell, C Bell, A Martinez	Post and mailed sent email to Nadeem Shoukry	Cleopatra Investments LTD	16-420529	High grass and weeds, gated entrance on SW corner of building open, storing a trailer behind building, standing water present, open windows (secured by city 10/3/2016)
8/30/2016	No Notice	M Powell			C631138/closed	Trailer stored behind building
10/28/2016	Notice of Violation	City Staff		Owners		Present violations attached to building survey
12/20/2016	Warrant	City Staff				
8/26/2021	Notice of Violation, Warrant	T Taylor, J Newhart, M Ramirez, A Alexander, J Pittman	Regular, email	Cleopatra Investments LTD	21-601957	Standing water, missing windows, unsecured gate, graffiti, high grass and weeds, some repairs completed, meet at the site 2-2-22 with staff and owner, meeting held city conference room with owners and staff, exterior inspection performed 2-18-22 expansion joint concrete is damaged and/or missing, damaged bricks and concrete, window not secure, exposed rebar, damaged docking doors, drain pipes not connecting, missing fire caps, exposed wires, unsecure man hole cover, property maintenance
5/19/2022		T Taylor	Regular	Cleopatra Investments LTD	C982530	
7/13/2022	Notice of Non- Compliance	J Newhart	Regular	Cleopatra Investments LTD		Structural issues identified in site visits in May and June 2022

Email dates from April 2022 to Sept 2023 to Landmark Commission of 9.11.23 hearing {O}

In response to the Commission request of providing activities by owner since 8/14.23 hearing, below are dates to some of exchanged emails between owner and 3rd parties in relation to the T&P Project starting, not only from 8/14/23, but from April of 2022:

In the latest effort to re-mobilize and re-assemble a development team experienced in adaptive re-use and historic preservation of historic properties, owner started the search and verbal communication around Feb of 2022, then adding written communication in April of 2022 which, along with personal meetings, continued until today.

Due to confidentiality and parties' privacy, we only listed some dates below [there are additional hundreds of emails]. Parties included Developers, Architects & Engineers, Tax Credit Syndicators, Consultants, Contractors, Financial Institutions, some City officials & Staff, and others. Messages between late April and early May of 2022 included communication between owner and 2 individuals from an out-of-state development firm regarding arrangements to fly to TX to meet the owner and tour the property. They arrived early morning of 5/3/22, spent most of the day with owner, touring the building and discussing the project. They were very impressed by the project and loved the opportunity to participate in its development. They have been continuing the dialogue until present time, however expressing concerns regarding the recent economic condition including the increase in construction cost and rise of interest rate. As of today, owner is continuing its intense effort in the course of the timely re-development of the property, such effort included the call for the city support and participation.

[apology for not having the dates in certain order-time didn't allow].

Sent: Monday, June 19, 2023 1:38 PM

On Monday, July 10, 2023 at 03:33:15 PM CDT,

Sent: Monday, July 10, 2023 5:48 PM

Sent: Friday, July 14, 2023 12:13 PM

Fri, Jul 28 at 2:12 PM

Mon, Jul 31 at 1:37 PM

Mon, Jul 31 at 12:54 PM

Fri, Jul 21 at 4:24 PM

Fri, May 19 at 2:59 PM

Invitation: Ft. Worth Discussion @ Thu May 18, 2023 12:30pm - 1:30pm (CDT)

Tue, May 16 at 5:25 PM

When

Thursday May 18, 2023 · 12:30pm – 1:30pm (Central Time)

Tue, May 16 at 4:26 PM

Mon, May 1 at 8:52 PM

On May 1, 2023, at 8:50 PM,

Tue, Nov 8, 2022 at 10:25 AM

Mon, Sep 12, 2022 at 12:41 PM

Thu, Jun 30, 2022 at 7:04 PM

Fri, Jun 3, 2022 at 11:30 AM

Fri, Apr 29, 2022 at 1:49 PM

Fri, Apr 29, 2022 at 1:31 PM

Mon, Apr 25, 2022 at 8:32 PM

Fri, Apr 22, 2022 at 2:25 PM

Fri, Apr 22, 2022 at 2:17 PM

On Apr 22, 2022, at 12:25 PM,

Sent: Fri, Apr 22, 2022 10:58 am

Fri, Apr 22, 2022 at 10:58 AM

Wed, Apr 20, 2022 at 7:26 PM

On Apr 20, 2022, at 6:55 PM,

Wed, Apr 20, 2022 at 4:18 PM

Wed, Apr 20, 2022 at 1:49 PM

Wed, Apr 20, 2022 at 12:04 PM

Wed, Apr 20, 2022 at 11:11 AM

Sun, Apr 17, 2022 at 6:03 PM

On Apr 17, 2022, at 5:46 PM,

Wed, Apr 20, 2022 at 10:25 AM

Mon, Jul 31 at 1:37 PM

On Jul 31, 2023, at 1:19 PM,

On Monday, July 31, 2023 at 12:54:38 PM CDT,

On Jul 21, 2023, at 4:24 PM,

Mon, Jul 3 at 10:24 AM

Mon, Aug 7 at 2:08 PM

Sent: Monday, August 07, 2023 1:41 PM

Sent: Monday, August 7, 2023 12:48 PM

On Friday, August 4, 2023 at 06:43:21 AM CDT,

Sent: Thursday, August 3, 2023 8:03 PM

Sent: Thursday, August 3, 2023 at 03:10:27 PM CDT

Wed, Aug 30 at 5:13 PM

Sent: Wednesday, August 30, 2023 5:07 PM

On Tuesday, August 29, 2023 at 03:07:38 PM CDT,

Sent: Tuesday, August 29, 2023 2:27 PM

Sent: Thursday, August 24, 2023 11:28 PM

Sent: Wednesday, August 23, 2023 9:55 AM

Tuesday, August 22, 2023 5:26 PM

Sent: Friday, August 18, 2023 10:47 AM

Sent: Friday, August 18, 2023 9:09 AM

Sent: Friday, August 18, 2023 8:52 AM

Fri, Sep 1 at 1:36 PM

Mon, Aug 28 at 12:35 PM

Sent: Thursday, August 17, 2023 5:45 PM

On Thursday, August 17, 2023 at 03:12:04 PM CDT,

Fri, Aug 25 at 10:57 AM EDT

On Aug 25, 2023, at 11:51 AM,

On Friday, August 25, 2023 at 09:59:48 AM CDT,

Fri, Aug 25 at 9:12 AM

On Aug 25, 2023, at 10:11 AM,

On Friday, August 25, 2023 at 08:23:54 AM CDT,

On Aug 24, 2023, at 7:30 PM,

On Aug 24, 2023, at 5:29 PM,

On Thursday, August 24, 2023 at 04:07:00 PM CDT,

Fri, Aug 18 at 4:36 PM

Tue, Sep 5 at 8:43 AM

Saturday, September 2, 2023 10:47 PM

On **Thursday, August 31, 2023 at 10:59:36 AM CDT,**

Sent: **Wednesday, August 30, 2023 5:00 PM**

On **Wednesday, August 30, 2023 at 02:43:45 PM CDT,**

Sent: **Tuesday, August 29, 2023 4:46 PM**

Mon, Aug 28 at 9:19 AM

Sent: **Thursday, August 24, 2023 11:38 AM**

On **Wednesday, August 23, 2023 at 04:51:54 PM CDT,**

Sent: **Wednesday, August 23, 2023 at 10:42:02 AM CDT**

Thu, Aug 3 at 1:11 PM

Fri, Sep 23, 2022 at 6:13 PM



TEXAS DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

www.tdhca.state.tx.us

Rick Perry
GOVERNOR

BOARD MEMBERS

J. Paul Oxer, *Chair*
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T. Tolbert Chisum
Tom H. Gann
J.B. Goodwin

January 9, 2015

Writer's direct phone # 512-475-3344
Email: teresa.morales@tdhca.state.tx.us

Artist Lofts at FWTS, Ltd.
ATTN: Ola Assem
P.O. Box 191103
Dallas, TX 75219
(214) 521-3216

Dear Ms. Assem,

The Texas Department of Housing and Community Affairs (the "Department") received a multifamily bond pre-application for the Artist Lofts at Fort Worth Town Square on October 9, 2014. Upon staff review of the pre-application the Department's Governing Board approved Inducement Resolution No. 15-005 at its meeting on November 13, 2014. Following the approval of the resolution, the Department submitted a request on your behalf for Traditional Carryforward associated with the Artist Lofts at Fort Worth Town Square proposed development to the Office of the Governor on November 14, 2014. Texas Government Code, §1372.070(2) requires the application to be signed by a member or officer of the issuer and signed by the Governor, if the issuer was created to act on behalf of this state. Texas Government Code, §1372.065 refers to the Priority 3 Classification which applies to (1) a state agency, other than an issuer of a state-voted issue and (2) a political subdivision whose Board of Directors holds office under §30a, Article XVI, Texas Constitution. A Traditional Carryforward designation is any state ceiling that is available on or after December 15th. The signed Traditional Carryforward package must be submitted to the Texas Bond Review Board (the "BRB") for a Carryforward Designation no later than December 31, 2014. This letter is to inform you that the Department did not obtain the Governor's signature; therefore, the application for Traditional Carryforward was not be submitted to the BRB by the required deadline.

The Inducement Resolution, which is required before a Certificate of Reservation for volume cap can be issued by the BRB, is still considered to be effective based on the representations made in the multifamily bond pre-application. The Resolution is valid for one year, unless the representations by which the Department's Governing Board based its approval change.

Should you still desire to move forward with the proposed development, the next opportunity to do so would be on or after August 15, 2015, which is the date on which the sub-ceilings associated with the private activity bond volume cap collapse and the Department, as a bond issuer, can exceed its \$20 million limitation per development. The Certificate of Reservation that would be issued after this date would be subject to a closing deadline on the bond financing of 150 days.

Please let me know if you have any questions.

Sincerely,

Teresa Morales
Manager, Multifamily Finance



Date: 8/15/2023

To the Honorable Mayor Matti Parker and Honorable City Council Members:

We recently learned about the call for the renovation of the existing **Art Center of FW**.

We are here today to ask for the City Council support to consider having the Art Center at the to-be-renovated Texas & Pacific Warehouse building “T&P” or within the potential ground-up structure on site designed to reflect the new use and spirit.

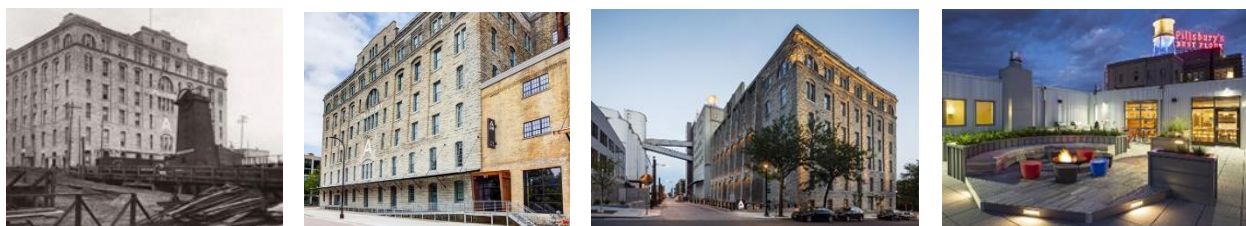
The art and live/work artists community has always been in our thoughts which we attempted to execute about 9 years ago after we thoroughly studied and investigated successful similar projects nationwide, especially those of Minneapolis and St Paul, MN developed in historic buildings [their links below]:

[Schmidt Artist Lofts:](#)

[Schmidt Artist Lofts | Lofts in St. Paul, MN](#)



[A-Mill Artist Lofts](https://www.a-millartistlofts.com) <https://www.a-millartistlofts.com>



In 2014, we applied for the (4%) Housing Tax Credit program [“LIHTC”] coupled with the Multifamily Bond Program [tax-exempt bond financing] for **live/work artists community**. [highest level of lower income]. <https://www.tdhca.state.tx.us/multifamily/housing-tax-credits-4pct/index.htm>

We were awarded \$50m State Bond Inducement by resolution No 15005 on 11/13/2014 [state letter of 1/9/2015 attached]. Transaction was not consummated at that time, not due to owner who, the State qualified for the execution of the project as mentioned in the resolution, rather, for its then relevant intended purpose despite of all efforts made by owner through end of year to save it. Today, we hope it can still be a viable current option and we seek the Council support for that. Our proposed project was to provide, not only an Art Facility, but also to provide in same location housing and amenities for artists at a rental rate they can afford.

Attaching is our Power Point Presentation, a segment of which is still showing part of the project being dedicated to Artist, their living spaces, common areas, workshops, galleries to exhibit their work and products and other amenities.

We believe Phase-II ground-up [slides #24 & 25 of PP] can be a good alternative structure should that be preferred by the City. If so, part of the 1st floor of the Historic T&P can be used for some galleries, studios, theater, and similar uses.

A justifiable question: One would wonder about the delays of redevelopment of the T&P!

Press:

Almost all of you are newly elected, and perhaps the only source of information about the T&P development delays is what was reported in the press.

To leave it to your judgment, **attached** are some pages summarizing some [not all] dates and pictures of Lancaster Corridor and the surrounding areas since earlier than 2000 when **demolition of the elevated I-30** started, then followed by the **re-development of Lancaster Corridor**. And, briefly, you will find that **Hemphill-Lamar Connector “H-L”** was completed in 2020 after at least 20 years of delays and extended construction schedules. You will notice that our application to the State in 2014 was planned in a careful coordination of T&P construction timeline with the scheduled completion date of H-L project. It was the ideal timeline after we were forced to wait until such date despite of some attempts to start earlier. Additionally, we have made 4 other attempts to remobilize and develop the T&P since 2014. The latest attempt started around Feb of 2022 and continued daily until today despite of all the added recent challenges.

Thank you and appreciate your consideration.

Respectfully,

Ola Assem

President
Cleopatra Inc.

Enclosures:

- Sate letter dated 1/9 /2015
- Power Point Presentation
- History of T&P in pictures and dates from prior to 2000 to 2020

Hemphill-Lamar Ground Breaking 4.8.15

[Downtown Fort Worth](#) / [What We Offer](#) / [Events](#) / [Special Events](#) / Hemphill-Lamar Groundbreaking

Hemphill-Lamar Groundbreaking



Apr082015

10:00 AM - 11:00 AM @ Intersection of Hemphill St. & W Vickery Blvd.

fortworthtexas.gov

This connection links downtown and the near southside and **has been in the works for 30 years!!** The groundbreaking will be a true celebration and we hope to have a big crowd there to help us mark this important day! Join us for the official groundbreaking ceremony. Please RSVP to Trikinia Johnson at trikinya.johnson@fortworthtexas.gov

XX

City of Fort Worth @cityoffortworth Apr 1

New date for Hemphill-Lamar Connector **groundbreaking: April 8** <http://ow.ly/L2dmR>

0 retweets 0 favorites

Reply

Retweet Retweeted

Favorite Favorited

More

- Copy link to Tweet
- Embed Tweet

6:50 AM - 1 Apr 2015

XX

<http://www.star-telegram.com/news/local/community/fort-worth/article17898095.html>

Hemphill-Lamar connector will be a new link between downtown, south side

BY CATY HIRST

04/08/2015 6:44 PM

04/08/2015 6:51 PM







> <

City officials and other civic leaders gather for the groundbreaking for the Hemphill-Lamar connector Wednesday at the site along Vickery Boulevard where the near south side will get a new connection to Fort Worth's downtown. Paul Moseley Star-Telegram

- [Story](#)
- [Comments](#)

FORT WORTH

Connecting Fort Worth's thriving downtown to its trendy near south side has been in the making for years — even before downtown and the south side were cool places to be.

And Wednesday's groundbreaking for **the \$28 million Hemphill-Lamar** Street connector under Interstate 30 — a four-lane street and a pedestrian tunnel that includes sidewalks, bike lanes and public art — will be an important link between two of the city's greatest economic drivers, said Paul Paine, president of Fort Worth South Inc.

"Key to that development, the private sector coming in and saying, 'We believe in growing this,' is the infrastructure, our street grid," Paine said, adding that the area has **benefited from \$2.3 billion in public and private investment** in 20 years.

"Today we are looking at a part of that street grid and infrastructure growth that gives us connectivity to our wonderful downtown."

Related

----- the connector has been decades in the making.

Opponents of expanding the overhead came to number in the thousands under the name I-CARE, or I-30 Citizen Advocates for Responsible Expansion. Their goal was to bring down the overhead, not expand it.

In 1983, I-CARE sued in federal court, accusing federal and state transportation officials of ignoring the environmental and historical impact of expanding the interstate and failing to hold public hearings. They lost in U.S. district court but won in 1985 in the 5th U.S. Circuit Court of Appeals, and, in 2002, workers began dismantling the overhead.

That vision from 30 years ago – to bring downtown and the south side together – is now coming to fruition, community leaders said at Wednesday's event.

Jack Clark, chairman of the board of [Downtown Fort Worth Inc](#), pointed to the [Pinnacle Bank Place development](#), a mixed-use project that will include midrise buildings, street-level [shops and restaurants](#), and lofts; and the [Cadillac Lofts](#) planned for the former Frank Kent Cadillac site as examples of revitalization in the area.

The connector project also includes a new rail bridge to support four existing Union Pacific Railroad tracks, and the four-lane major arterial will have 12-foot lanes, retaining walls, streetlights and traffic signals. The project will extend from Hemphill Street beyond Vickery Boulevard.

"It is the legacy of I-CARE and bringing people together to say what they want that I particularly love," Mayor Betsy Price said.

The project should be completed in the summer of 2017, said [Douglas Wiersig, city director of transportation and public works](#).

"The more we can hear from our citizens steering us, advising us and keeping projects on track – even if it is strung out over 50 or 30 years – really makes it easier."

THIS REPORT INCLUDES MATERIAL FROM STAR-TELEGRAM ARCHIVES.

Caty Hirst, 817-390-7984

Twitter: [@catyhirst](#)

Read more here: <http://www.star-telegram.com/news/local/community/fort-worth/article17898095.html#storylink=cpy>

XX

<https://www.youtube.com/watch?v=ESSqQvHlRG8>

XX

<http://snewsi.com/id/15212483801/Groundbreaking-For-New-Lamar-Hemphill-Connector>



Choose Your News

Groundbreaking For New Lamar-Hemphill Connector



2:28 PM Fort Worth Star-Telegram

Ground was broken Wednesday for the new Lamar-Hemphill Connector. Access between the near Southside and downtown Fort Worth will improve with the street construction that will connect Lamar Street with Hemphill, carrying pedestrian, bicycle and auto traffic under I-30. [Fort Worth Star-Telegram video by Paul Moseley...](#)

XX

<http://www.nbcdfw.com/news/local/Fort-Worth-Breaks-Ground-on-Major-Economic-Road-Connector-299112081.html>

NEWS > LOCAL

Fort Worth Breaks Ground on Major Economic Road Connector

Tunnel under I-30 and railroad will be finished in two years

By Chris Van Horne

On Wednesday morning, the project officially got underway to bring traffic under Interstate 30 and four Union Pacific Railroad tracks. (Published Wednesday, Apr 8, 2015)

Updated 3 hours ago

For the last 30 years, it's [a project local leaders in Fort Worth have waited to see, another way to connect downtown and the Near Southside.](#)

On Wednesday morning, the project officially got underway to bring traffic under Interstate 30 and four Union Pacific Railroad tracks.

XX

http://article.wn.com/view/2015/04/09/HemphillLamar_connector_will_be_a_new_link_between_downtown/

Hemphill-Lamar connector will be a new link between downtown, south side

Posted, 2015-04-09

Star Telegram



Wednesday's groundbreaking of the \$28 million Hemphill-Lamar streets connector under Interstate 30 — a four-lane street and a pedestrian tunnel that will include sidewalks, bike lanes and public art — will be a new link between downtown Fort Worth and the near south side.

Star Telegram **2015-04-09** [Read full article](#)

XX

T&P Pictures during the construction of various public projects 2000-2020

[TexasFreeway > Dallas/Fort Worth > Photo Gallery > Interstate 30 Lancaster Street Elevated](#)





Original I-30 overpass in downtown Fort Worth before demolition.







TexasFreeway > Dallas/Fort Worth > Photo Gallery > Interstate 30 Lancaster Street Elevated

**Interstate 30 Lancaster Street Elevated, Downtown Fort Worth
1958-2001**

Last updated 6-December-2001, created August 29, 2001



Photo Gallery

August 19, 2001, the eve of the start of demolition

September 16, 2001, a small amount of progress has been made.

October 14, 2001, demolition is about halfway complete.

December 5, 2001, demolition is nearing completion.

News article about the start of demolition, 16-August-2001.

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Click

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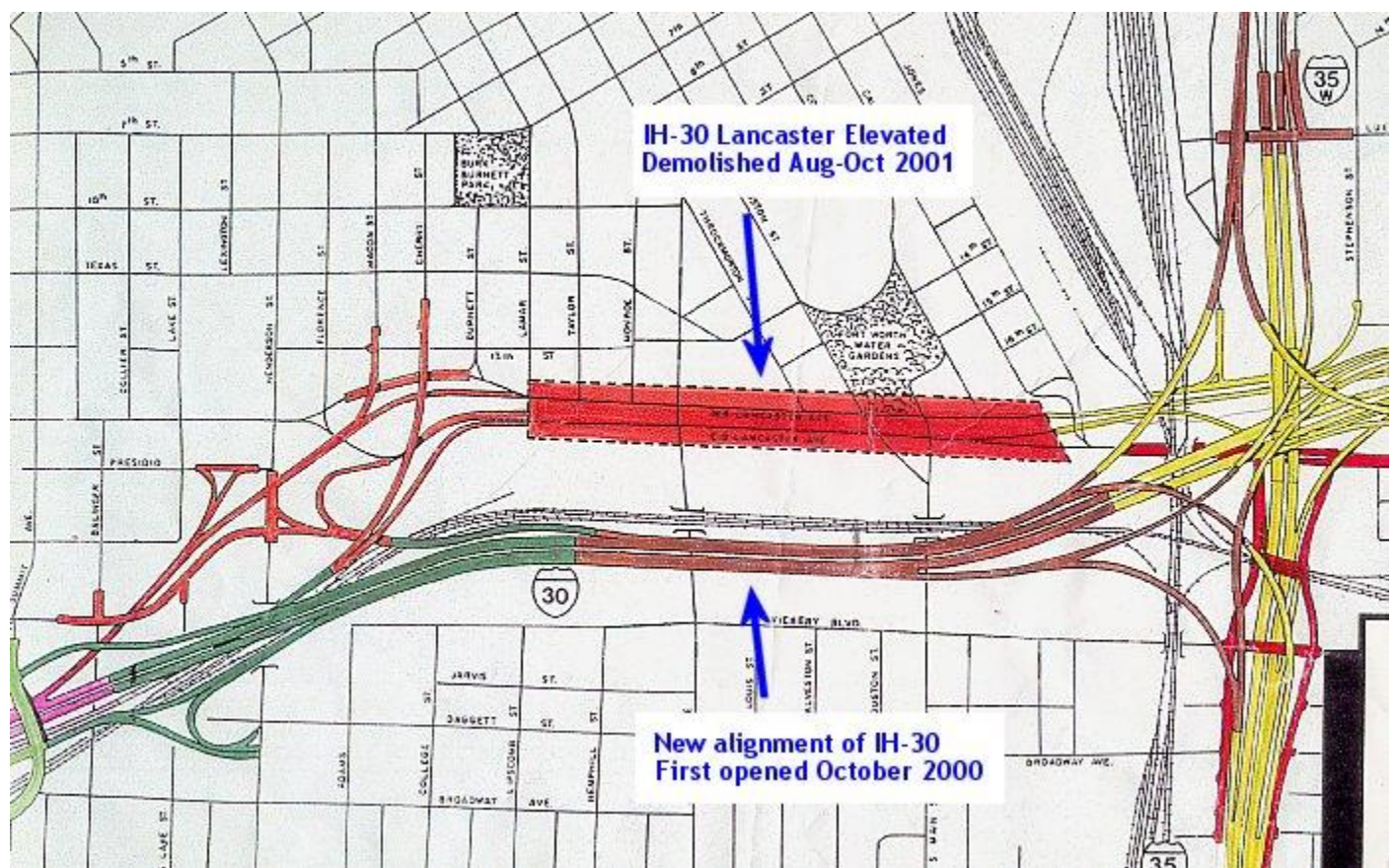
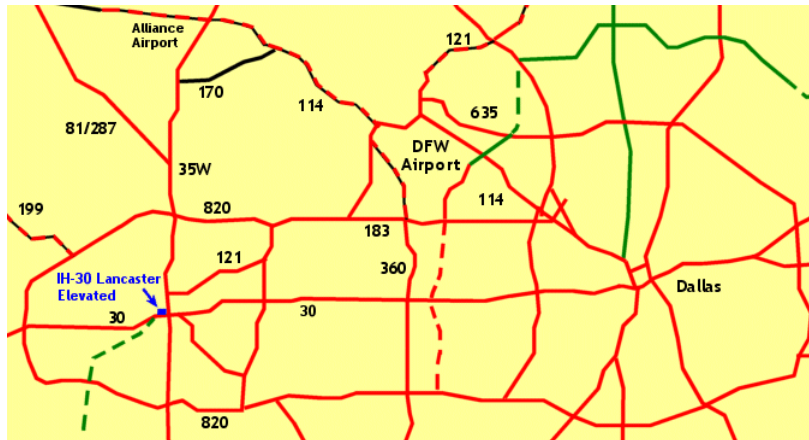
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Al

The IH-30 elevated structure has loomed over Lancaster Street in downtown Fort Worth for over 40 years. By the end of 2001, it
page will be gone. Normally the death of a freeway is a bad thing, but not in this case. The antiquated elevated freeway has been replaced

by a modern new freeway a few hundred meters to the south, and downtown Fort Worth will be a much better place without the Lancaster elevated.

TxDOT originally planned to reconstruct and widen the existing elevated structure on Lancaster Street. There was strong opposition to this plan, and the public input process resulted in the relocation of the freeway and the new interchange at Interstate 35W. This is definitely a case where freeway opposition ultimately resulted in a much better result for everyone. Of course, the final design probably increased the cost, but it was definitely worth the extra money. Overall, the project will cost around \$175 million, not too bad for removing the elevated structure and getting a new freeway. In Boston, Massachusetts, they're paying \$14.4 billion to get rid of their elevated freeway. OK, that project is a little bit more complicated (and unfortunately heavily subsidized by US taxpayers), but there's nothing like good Texas value!



Interstate 30 Lancaster Street Elevated, Downtown Fort Worth
5-December-2001

Created and last updated 6-December-2001

[Return to IH-30/Lancaster main page](#)

On December 5, 2001, all that remained were about 10 piers at the eastern end of the structure. A jackhammer was busy breaking up one of the piers when I visited to take photographs.

All photos taken 5-December-2001





This view looks east along Lancaster and shows the remaining piers to be demolished.





This view looks west along the corridor.



This view looks west over the cleared corridor



Looking west along the corridor



Looking west along the corridor.

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TexasFreeway.com is not associated with TxDOT or any other government agency.

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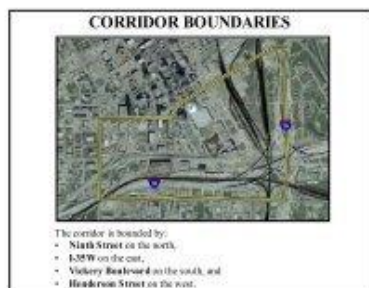
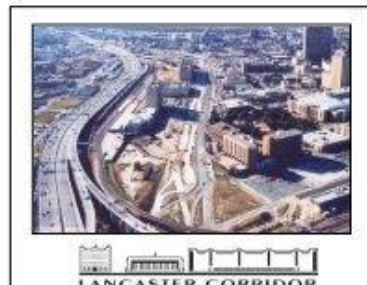
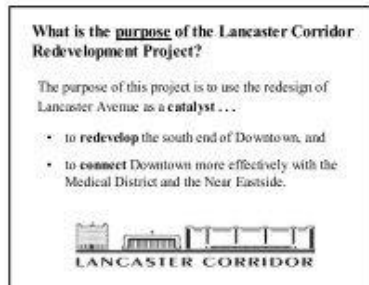
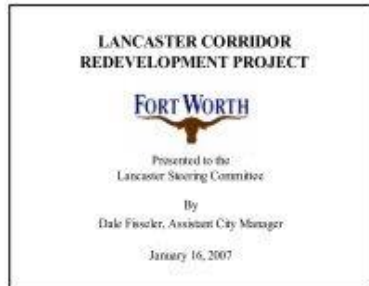


Pre-2000 photo



Lancaster Corridor Redevelopment Project - City of Fort Worth

Plans Images dated Jan 16, 2007



Years of Easements were taken on the T&P property for Lancaster Redevelopment. During which, the City utilities contractor seriously flooded the basement of T&P, to which he paid some amounts toward mitigation, but not to cover resulting damage and consequential needed repairs.

Also, storm drainage was constructed in front of the building. Owner participated and paid for the related MEP Design; it created a curb, while nice, eliminated the parking contiguous to the North Elevation.

The Hemphill-Lamar connector project followed (but was extended many times) until it was completed April-May of 2020.

////////////////////////////////////

Our application to the State in 2014 and plans to have Debt & Equity in place and start the construction of the T&P was to be completed by the time H-L is completed. The timeline was carefully analyzed and coordinated with the H-L timeline.

////////////////////////////////////

T&P Pictures during the construction of various public projects 2000-2020 - continue



T&P Pictures during the construction of various public projects 2000-2020 – Part-2

Photos: 2/18/2015 to 5/21/2015



Mountains of Dirt























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Fort Worth gears up to complete stalled downtown connector project | Fort Worth Star-Telegram



140 x 641

////////////////////////////////////



HEMPHILL/LAMAR CONNECTOR

Completed April 2020





H-L connector – construction work



[A project imagined nearly 20 years ago finally opens, connecting downtown Fort Worth with the south side | wfaa.com](#)



[wfaa.com](#)

<https://www.wfaa.com/article/news/local/hemphill...>

A project imagined nearly 20 years ago finally opens, ...

Web May 21, 2020 · A project imagined nearly 20 years ago finally opens, connecting downtown Fort Worth with the south side. The Hemphill-Lamar Connector has been in planning ...

LOCAL NEWS

A project imagined nearly 20 years ago finally opens, connecting downtown Fort Worth with the south side

The Hemphill-Lamar Connector has been in planning since the early 2000s. Now, the pedestrian and bike-friendly underpass is open

Author: Lauren Zakalik

Published: 5:31 PM CDT May 20, 2020

Updated: 5:31 PM CDT May 20, 2020

FORT WORTH, Texas — Many might not have even noticed, having been cooped up in the house for the past two months, but a major Fort Worth project quietly opened in April, without the fanfare expected for something nearly two decades in the making.

There were no ribbon-cutting ceremonies, but the excitement was still there for the grand opening of the Hemphill-Lamar Connector, said Fort Worth City Councilwoman Ann Zadeh.

“This one is a big deal because **it’s been in the works for such a long time,**” she said Wednesday.

At its core, it’s an underpass, connecting downtown with the Near Southside. It runs underneath the railroad, connecting Hemphill and Lamar streets between Vickery Boulevard and Lancaster Avenue.

But Zadeh says it’s so much more than that.

“This is a complete street,” she said. “There is an extra wide path that’s fully protected and separated from traffic that’s for bikes and pedestrians.”

The hope is that people will use the connector, whether by car, foot or bike, and downtown and its southern neighborhoods will bleed into one another. People will be able to easily walk or bike to restaurants on either side of the area.

Its inviting, wide, well-lit paths are a far cry from darker, **dingier tunnels** nearby that people avoid. The “green” walls have rosemary sprouting on them, Zadeh points out; a nice fragrance for passersby.

It may be a short stretch of street, but it's been a long road getting here.

WFAA previously reported that in 2015, the cost for the connector nearly doubled, from \$26.6 million to close to \$45 million.

In the end, the project cost about \$41 million and was finished months before its eventual estimated Fall 2020 completion date.

Zadeh said she tried it out as soon as it opened, making sure to walk it rather than drive.

The public art is still being installed. And the other nearby tunnels will see improvements, too

[illegible]

Fort Worth's \$53M Hemphill Street Connector Project Provides Long-Needed, Multi-Modal Tunnel Under I-30

McCarthy Building Companies creates the Hemphill Street Connector, a long-awaited tunnel under I-30 in Fort Worth. For several decades, planners in the City of Fort Worth, Texas, dreamed of building a connection -----

Fwd: T&P Warehouse - A Plea to save the Bond Carry Forward Reservation with TDHCA due 12/31/14

From: Ola Assem (olaassem@aol.com)

To: District2@fortworthgov.org; lourdes.arroyo@fortworthtexas.gov; district3@fortworthtexas.gov; sandi.breaux@fortworthtexas.gov; District4@fortworthgov.org; jeanine.ricks@fortworthtexas.gov; district5@fortworthtexas.gov; Gyna.Bivens@fortworthtexas.gov; cynthia.triche@fortworthtexas.gov; district8@fortworthtexas.gov; maribeth.ashley@fortworthtexas.gov; district6@fortworthtexas.gov; jamie.wilson@fortworthtexas.gov; district7@fortworthtexas.gov; sami.roop@fortworthtexas.gov; Ann.Zadeh@fortworthtexas.gov; Katherine.Smith@fortworthtexas.gov; rachel.horton@fortworthtexas.gov; tenisha.brewer@fortworthtexas.gov

Cc: cbast@lockelord.com; bnewby@newbydavislaw.com; nadeem.shoukry@gmail.com

Date: Wednesday, December 31, 2014 at 01:25 PM CST

FYI, further clarifications of my "ask", and if you can assist in any way since time is of the essence and I have not been able to speak with the Mayor today after contacting her office.

Ola Assem
(214)521-3216

-----Original Message-----

From: Ola Assem <olaassem@aol.com>

To: rachel.horton <rachel.horton@fortworthtexas.gov>

Cc: District6 <District6@fortworthgov.org>; jamie.wilson <jamie.wilson@fortworthtexas.gov>; cbast <cbast@lockelord.com>; bnewby <bnewby@newbydavislaw.com>; nadeem.shoukry <nadeem.shoukry@gmail.com>

Sent: Wed, Dec 31, 2014 10:48 am

Subject: T&P Warehouse - A Plea to save the Bond Carry Forward Reservation with TDHCA due 12/31/14

12/31/2014

To : The Honorable Fort Worth City Mayor Betsy Price

From: Ola Assem c/o the Texas & Pacific Warehouse

Dear Mayor Price:

I am pleading with you to reconsider your position for the action taken regarding the financing process of the T&P Warehouse Project.

Today is the last day to save the carry forward bond reservation in the amount of \$50 m should speedy actions taken by parties involved.

As explained in Ms. Bast's memo, carry forward is not only about allowing more than 150 days to close, but also about the higher amount of bond allocation capped at \$50 m. On 1/1/15 this amount will be dropped to and capped at only \$20 m until 8/15/15. In addition, the law requires that the bond amount must be at least 50% of the development eligible cost (most of it) - that is the "50% test rule". The T&P Warehouse Project does not fall under \$40 m budget and \$20 m bond.

With the exception of two City Councilmembers who serve on the Lancaster TIF, we did not ask City's public officials for support until you told us on 12/29/14 that you informed the Governor that the City does not support the project which stopped his signature on our project. The Governor's signature is required in order to get the bond reservation on 12/31/14. We did not ask for support, but we did not expect the financing to be blocked on the eve of the bond reservation either ---- never occurred to us or to our team members.

Notifications letters of the project stating its scope and nature were sent out on 10/7/14 and we did not receive one objection or any comments from any City public officials or staff members. The development team expected to go through the same due process (as stated in the memo attached and my letter sent earlier) which all other affordable housing projects/bond issuance have gone through in the past and that the City's officials and staff are very familiar with (presentations, public hearings, converse with community ...etc.), which upon its conclusion, the City would or would not issue the **"no objection resolution"**. A resolution that we have not requested yet.

We, along with a very experienced development team members, including one of the best affordable housing attorneys, worked tirelessly on the Pre-Application days, evenings, nights and weekends to meet its deadline. Meeting that deadline was crucial in order to coordinate our development time-line with the L-H construction schedule, to meet our TIF commitments and our financial obligations for the development.

If the carry forward designation needs any further clarifications, please feel free to call or have your staff contact Ms. Cynthia Bast at (512)305-4707, she will be happy to answer any questions, and by copying her on this email, I am authorizing her to respond to these questions. Of course, City's attorneys and staff should be very capable to do the same and to also direct questions to TDHCA about the program as needed.

I am also copying here Mr. Jungus Jordan as a City Councilmember and Chair of Lancaster TIF, asking that he appraises you on the correlations between the T&P Project, L-H Project, and their necessary coordination as well as on the TIF Financing Plan.

Again, I appeal to you to revisit the position taken and see if this transaction be saved. There will be ample time in the future to pose objections or no objections. The only ask for now, is a "no position" or "neutral" until due process takes place.

I do appreciate your understanding and your prompt action to save this transaction today. I will make myself available all day for any questions or clarifications that may be needed.

Happy New Year.

Respectfully,

Ola Assem
(214)521-3216

-----Original Message-----

From: Ola Assem <olaassem@aol.com>

To: rachel.horton <rachel.horton@fortworthtexas.gov>

Cc: cbast <cbast@lockelord.com>; bnewby <bnewby@newbydavislaw.com>; nadeem.shoukry <nadeem.shoukry@gmail.com>

Sent: Tue, Dec 30, 2014 9:20 am

Subject: T&P Warehouse - Request for support by 12/30/14 for Bond Carry Forward with TDHCA

Dear Mayor Price:

We would appreciate timely response.

Allocation of bond reservation by 12/31/14 is pending City's support.

Sincerely,

Ola Assem
(214)521-3216

Note: 3rd attachment will be sent separately due to file size.



Mayor_Price-Cleo_Letter_to_FW_Mayor_ef._Bond_Fin_-_12.29.14_-_O.pdf
6.2MB

CLEOPATRA, INC.

P.O. Box 191103

Dallas, TX 75219

Ph: (214)521-3216

Fax: (214)521-3939

Date: 12/29/14

The Honorable Fort Worth City Mayor Betsy Price

Fort Worth City Hall, District 6 Office

1000 Throckmorton Street,

Fort Worth, TX 76102

Via email: rachel.horton@fortworthtexas.gov and Fax: 817-392-6187

**Ref: The Artist Lofts at Fort Worth Town Square in Fort Worth, Texas
(the "Proposed Development") – TDHCA # 14607 "Project".
[The adaptive reuse of the Historic Texas & Pacific Warehouse]**

Dear Mayor Price:

I am writing you today to update you on the status of the T&P Warehouse project, the point of the Project in its financing cycle through TDHCA bond financing program, and respectfully ask for your support of the multifamily pre-application for bond and tax credit with TDHCA (the "Pre-Application") for the above Project. As the City Mayor, your support is important as you are familiar with the T&P Warehouse project, its development time-line in connection and coordination with Lamar-Hemphill connector project ("L-H"), the recent history and detail of both projects, and also the development's potential to achieve most of the City's objectives and goals as well as the successful implementation of Lancaster TIF's financial plan.

It is our intent to comply with the terms of the TIF Agreement as we continue the coordination with the L-H's schedule, and, to this end, it is important to receive the necessary City's support at this initial stage of the process. As part of the TDHCA Pre-Application process, Cleopatra, prudently, sought a Bond Carry Forward designation which provides for the maximum allowable flexibility for the Project considering its numerous moving parts and variables. The importance and details of this Bond Carry Forward designation is set forth in the attached memorandum by our legal counsel, Cynthia Bast of Locke Lord LLP, who assisted in the Pre-Application [attachment #1]. As you will see from the memorandum, this designation is most suitable for the Project and for the required coordination of the timeline between the Project and the L-H schedule, since L-H construction has yet to begin.

The Bond Traditional Carry Forward would provide up to 36 months to close on the transaction instead of the conventional 150-day period, but it does not necessitate that the applicant utilize the entire allowable period. In fact, Cleopatra does not plan to use any more of the period than necessitated by the accommodation of the L-H construction schedule and by the coordination process while simultaneously meeting the terms of the TIF agreement. Under the Bond Traditional Carry Forward, the Project will receive up to \$50 million of bond allocation, instead of a typical bond reservation, where the bond allocation will be \$20 million. Below, is a brief quote from our legal counsel's statement that is included in our Pre-Application:

"For a transaction as complex as the one proposed, bond carry forward is desirable in that it lifts the 150-day closing deadline and allows a developer (and TDHCA) sufficient time to fully analyze and structure the project."

As noted in our Pre-Application, the *Artist Lofts at Fort Worth Town Square* (“*The Artist Lofts*”), does not take the entire T&P building nor the site. As also noted in the Pre-Application, there are potential plans for other uses to be refined and finalized at a future date as quoted below from the Pre-Application:

“The renovation of this historic building includes plans for commercial and other uses, in addition to the affordable housing units contemplated in this Application.” —

“Owner anticipates redeveloping the Building to include affordable housing, along with other potential uses, including commercial space and a potential boutique hotel that would extend to adjacent land that is not included in the Proposed Development. Accordingly, it is likely that the Building and the land upon which it is situated may be split into various real estate ownership pieces, through a condominium structure, master lease, or other mechanism. Ultimately, Artist Lofts at FWTs, Ltd. (the “Applicant”) will own the portion of the Building necessary for the Proposed Development of affordable housing. The Applicant is an Affiliate of Owner).”

Since TDHCA is in the affordable housing industry, our Pre-Application with it focused on this particular segment of the development while other uses (disclosed in the application) to be dealt with outside of TDHCA. Considering the bond allocation cap and presenting a viable development and operating budgets, it was prudent for Cleopatra to apply for the largest estimated number of affordable units in the Pre-Application. Then, as in all developments, Cleopatra will proceed with more-in-depth feasibilities and analysis, work with the City and hear the community’s inputs during public hearing in order to finalize the proposed Project plan, with potential market rate units and other uses in the development. Meanwhile the required notification letters of the proposed development were sent out on 10/7/14 and the Lancaster TIF board members (three City Councilmembers included) were appraised of our plans and status of the T&P on 12/3/14, but we did not receive comments from any public officials except who provided support letters.

The Proposed Development of *The Artist Lofts* is not a mere affordable housing project for workforce residents whose income do not exceed 60% of the Area Median Income (MAI). {not very low income such as 50% or 30% of MAI as in most competitive 9% tax credit}. The development (including, as budget allows, special amenities for most art disciplines such as workshops, galleries, performance/rehearsal center, dance studio, paint, photography/dark room, music practice, multimedia, craft and others) is designed to provide occupancy preference to Artists (“who are involved in artistic or literary activities”) as provided by federal law. Many cities have taken advantage of this form of development and celebrated the outcome. On that note, I would invite you to review the relevant quotes attached and view the videos of similar projects in Saint Paul and Michigan City in [\[Attachment #2\]](#). We believe, the time is right for Fort Worth, who is known for its love, appreciation and support for the art, to welcome and support this opportunity.

We intend to market *the Artist Lofts* to residents in FW, Tarrant County and DFW at large. Due to its size, profile and artistic architectural design, the building will attract residents from the DFW Metroplex and other areas allowing them to use the commuter train, busses, bikes and trolleys, which makes it an ideal Transit Oriented Development (TOD). To date we have received support from about 200 individuals excited about the opportunity to relocate to this artist community to live, work, play, practice, produce and display. It will contribute to and enhance the necessary cultural infrastructure through the direct assistance of artists (the most valuable cultural resource) by providing the necessary environment and stability artists need to fully immerse themselves in their art, and contribute to the rich heritage of Fort Worth. The Project will, assist in achieving goals set forth in the City’s past Master Plan and Arts & Cultural plan, which have recommended affordable artists’ live-work housing.

We believe that upon further presentation, explanations, and the completion of this due process, the City and community will welcome *The Artist Lofts* as a part of the redevelopment of the historic site. We trust that the City officials will find that the adaptive reuse of the T&P Warehouse is being developed in concert with the City’s visions, goals, objectives, policies, strategies, and programs.

The Artist Lofts, intends to advance and implement most of the City's policies and strategies to achieve many of the goals and objectives set in the City plans such as: (1)Historic Preservation, (2)Adaptive Reuse/Infill of vacant buildings - "*Reuse of significant targeted vacant-building*", (3)Transit Oriented Development (TOD), (4) Sustainable Dev., (5)Hi Density/Maximize land Use, (6)Env. Mitigation & air quality, (7)Quality Job Creation, (8)Art & Support of Artists, (9)Increase tourism and hotel occupancy, (10)"*Capture millennial generation and creative class*", (11) "*Encourage private funding for the arts*", (12)Urban Design & Open Space, (13) Provide Housing in Downtown "*Attract an additional 7,500 units of housing in greater Downtown area, 2,500 units in Downtown*", (14) Work Force affordable Housing (especially in downtown) - "*Encourage the development of affordable workforce housing units in Downtown*", (15)Safety, (16)Develop Expansion Zone #1 (Lancaster Av.), (17)"*Bike Fort Worth*", (18)Catalytic Development to spur Economic Development, (19)Revitalization of core city and surrounding neighborhood & (20) "*Strengthen the economic base*" & Increase the Tax Base --- etc.

In addition, most City's plans call for **working with developers, owners, stakeholders**, support and encourage M/WBE participation in the economic development process (Cleopatra is a certified WBE) and to provide necessary support for this type of development. Downtown Strategic Action Plan (PLAN 2023), specifically calls for **the support of the T&P Warehouse (P12), the T&P Historic Preservation (P19)** and to work with owners of properties such as the T&P to develop strategies for key sites close to the core and explore underperforming land use reuse/repositioning (P34). The Project also implements the City's Priorities of safety, air quality, creating a clean attractive city. See few pages of PLAN2023 [attachment #3]

The Artist Lofts will support our creative class while simultaneously meeting the City's goals and objectives enabling it to accomplish its mission.

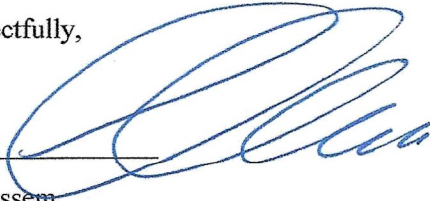
While the Pre-Application is pending, it is critical to obtain the timely support of local elected officials for the **Pre-Application by 12/30/2014** in order to ensure the adoption of the Bond Carry Forward by end of 2014. It is also critical for the Project's timely coordination with L-H, not only for the developer, the City and TIF, but also for all the stakeholders of the T&P development and their guarantees' requirements. (See Locke Lord memo).

Because some members are new to City Council and Lancaster TIF, a brief historical background of the T&P Warehouse may be viewed in the following link:
<http://www.prweb.com/releases/2014/09/prweb12143151.htm#.VCXM6wg52aU.mailto>

Hope to receive a letter of support from you by 12/30/14 in order to proceed and stay on the right track of the development.

I would be happy to answer any questions you may have and also request from Ms. Bast, our affordable housing counsel, to provide you with any further clarifications on the carry forward process as needed.

Respectfully,

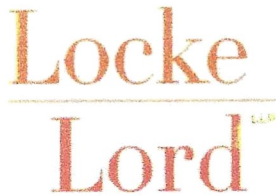


Ola Assem
President

Cc: Cynthia Bast Esq. - email: cbast@lockelord.com
Brian Newby Esq. - email: bnewby@newbydavislaw.com

Enclosures:

- 1- Locke Lord - Counsel's memo reg. Traditional Carry Forward
- 2- Quotes ref. Artist affordable housing in cities around the nation.
- 3- Few pages of PLAN2023



Attorneys & Counselors

600 CONGRESS AVENUE
SUITE 2200
AUSTIN, TEXAS 78701

512-305-4700
512-305-4800
FAX 512-305-4700
<http://www.lockelord.com>

MEMORANDUM

TO: Artist Lofts at Fort Worth Town Square

FROM: Cynthia Bast

DATE: December 23, 2014

RE: Proposed Housing Development

You propose to renovate the vacant and historic Texas & Pacific Warehouse in Fort Worth (the "**Building**") into a multi-use facility with affordable housing (including artist lofts) and commercial space (the "**Development**"). Given the historic nature of the Building, the redevelopment process is quite complex. It must be coordinated with the construction schedule of the City's Lamar-Hemphill Project. Moreover, limited sources of financing are available for the affordable housing portion of the Development (the "**Affordable Housing**"). In fact, the only truly viable source for financing the Affordable Housing timely is to utilize tax-exempt bonds ("**Bonds**") issued by the Texas Department of Housing and Community Affairs (the "**Agency**"), and equity generated from low-income housing tax credits ("**Credits**") issued by the Agency.

On November 13, 2014, the Agency's board approved an inducement resolution for the issuance of Bonds for the Affordable Housing. An inducement is *only a first step* in the process for financing any development. It is required by law and sets off a whole series of other procedural steps before the Bonds can be issued and the transaction can be closed and funded. Additional steps in the process include:

- Under federal law, the Agency must hold a public hearing, in a location near the Development, to take input from the community on the proposed Affordable Housing.
- The developer must file an application for the Credits, which is publicly available for inspection. This application will contain additional detail about plans for the Development.
- The application for Credits requires numerous notifications to public officials, including state and local elected officials.
- Under state law, the Agency may not issue Credits unless and until the Fort Worth City Council has conducted a public hearing on the proposed Affordable Housing, given the public

and opportunity for comment, and issued a resolution that the City Council does not object to an award of Credits by the Agency. If this resolution is not received, the Development cannot proceed with financing utilizing Bonds and Credits.

- The Agency's board must approve the issuance of the Bonds and the Credits at a public meeting at which comment can be received and considered.
- The Bond Review Board must approve the issuance of the Bonds at a public meeting at which comment can be received and considered.

In short, the Affordable Housing cannot and will not proceed to financing without a considerable number of public meetings at which the developer and the community can converse about plans for the Development. It is not unusual that this process elicits recommended changes to a project that a developer is willing to implement. I know you have committed to sincere community dialogue to make sure this Development is a viable and appropriate long-term asset for Fort Worth.

Your particular Development is unique in its financing complexity. In addition to the Bonds and the Credits, the Building will qualify for federal and state historic tax credits, due to its historic designation. This will include oversight and approvals from the National Park Service. Local financing from a TIF may also be available. Combining Bonds, Credits, federal historic tax credits, state historic tax credits, and local sources is no easy task and can take quite some time. This timing factor can be challenging in a Bond context, as described below.

Federal law provides that each state must have a defined method for awarding its annual allocation of bonds to qualified projects. The Texas Bond Review Board ("**BRB**") oversees this process with a detailed system of layered priorities. This system includes two important characteristics: (1) until August 15 of each year, a multifamily housing development can only receive a Bond allocation of \$20 million and (2) with a typical bond reservation, the developer must close on the Bonds within 150 days of the reservation.

The development budget for the proposed Affordable Housing requires \$50 million of Bonds. Therefore, you can only receive a Bond reservation between August 15 and December 31 of any given year. If you do not receive your Bond reservation by December 31, 2014, you will be required to wait until August 2015 to pursue a Bond reservation. Further, imposing a 150-day deadline on closing a Bond reservation for a Development of this complexity is particularly difficult. With the multiple sources of financing involved, the need to coordinate with the City's Lamar-Hemphill construction schedule, time for additional design approvals, permitting, and third party reports, and the need for community input, it would be virtually impossible to close the financing within the next 150 days, even if a traditional Bond reservation were received this month. Fortunately, federal law allows for a concept known as **bond carryforward**. Essentially, when the State has bond allocation remaining at the end of the year, it can reserve that bond allocation for certain projects, and the recipients then have a three-year period over which to close. A bond carryforward in the amount of \$50 million would give The Artist Lofts at Fort Worth Town Square the time it needs to properly engage the community, receive input, manage all the financing sources, and close the transaction responsibly only if and when all appropriate local and state approvals are received. Certainly, you

would not need to wait the entire three-year period to close. You would simply use the additional time needed, beyond the 150 days, to give flexibility and accommodate the coordination with the Lamar-Hemphill Project while meeting the targeted milestones required for the TIF financing. **The bond carryforward must be issued in the month of December, so time is of the essence.**

The bond carryforward process is perfect for those affordable housing developments that are particularly complex and require more than 150 days to work through the process. It has been used by various issuers in the past few years, including:

- Austin Affordable PFC, which is an affiliate of the Austin Housing Authority, received a 2012 bond carryforward for The Villages at Ben White and The Pointe at Ben White, a 433-unit neighborhood, with The Villages focusing on veterans and seniors and The Pointe accommodating families.
- The San Antonio Housing Trust Housing Finance Corporation received a 2013 bond carryforward for Masters Ranch, a 252-unit development targeting people with disabilities, which will be part of a greater planned development including a 9-hole golf course tailored for wounded warriors and others with disabilities and a multi-sports arena. Masters Ranch is expected to close in February 2015.

In total, approximately 10 different multifamily housing projects with different issuers received bond carryforward in 2013. So while TDHCA has not received bond carryforward for any of its issuances in recent years, other issuers have been using this tool productively.

I hope this memorandum is helpful and am happy to answer any further questions you may have.

Cynthia Bast Immediate Release by Locke Lord 812014

-----Original Message-----

From: Locke Lord <lockelord@lockelord.com>

To: Locke Lord <lockelord@lockelord.com>

Sent: Fri, Aug 1, 2014 12:58 pm

Subject: News Release: Locke Lord's Cynthia Bast Wins Prestigious Jean W. MacDonald Lifetime Achievement Award



Michael Cinelli
Director of Communications
T: 713-226-1278
mcinelli@lockelord.com
www.lockelord.com

For Immediate Release

Locke Lord's Cynthia Bast Wins Prestigious Jean W. MacDonald Lifetime Achievement Award

(AUSTIN) **August 1, 2014** – Locke Lord Partner Cynthia Bast has been recognized by the Texas Affiliation of Affordable Housing Providers (TAAHP) with the Jean W. MacDonald Lifetime Achievement Award. The award is given to an individual who exemplifies leadership in the affordable housing industry and embodies the philosophy of providing quality affordable housing to all Texans. The award was presented at the Texas Housing Conference this week.

Bast, who Chairs Locke Lord's firm-wide Affordable Housing Practice and who is Co-Chair of the Firm's Board of Directors, assists clients with complex affordable housing and community development transactions using a variety of financing tools, including housing tax credits, tax-exempt bonds, HUD programs, and other federal, state, and local resources.

In addition to her transactional work, Bast represents clients before relevant governmental authorities and advocates for affordable housing issues with the Texas Department of Housing and Community Affairs and Texas Legislature. More recently, she has been working with clients to preserve affordable housing properties that are nearing the ends of their regulatory compliance periods or in need of financial restructuring. Cynthia was ranked in *Chambers USA* for 2014 for Real Estate Law

and has frequently been named a Super Lawyer by *Texas Monthly*.

“We couldn’t be more proud of Cynthia,” said Locke Lord Chair [Jerry Clements](#). “For more than 20 years, Cynthia has worked with clients providing legal and legislative assistance on affordable housing programs. She has been on the forefront of this growing industry, building Locke Lord’s affordable housing practice, and is recognized as a leader in the field. Cynthia is also a dedicated public servant, devoting countless hours to advocating for affordable housing issues and educating through speaking engagements across the country.”

Locke Lord consistently ranks among *American Lawyer’s* top 100 U.S. law firms. The firm’s full range of practice and industry areas serve national and international clients from offices in Atlanta, Austin, Chicago, Dallas, Hong Kong, Houston, London, Los Angeles, New Orleans, New York, Sacramento, San Francisco and Washington, D.C. It has an excellent reputation in complex litigation, regulatory and transactional work, with its 650-plus lawyers building collaborative relationships and crafting creative solutions – all designed and executed to meet clients’ long term strategic goals.

###

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Fw: Monday, Dec 29th - Ref.: Texas & Pacific Warehouse - The Artist Lofts at Fort Worth Town Square in Fort Worth, Texas

From: Ola Assem (olaassem@aol.com)

To: olaassem@aol.com

Date: Sunday, September 3, 2023 at 12:58 PM CDT

----- Forwarded message -----

From: <olaassem@aol.com>

Date: Fri, Dec 26, 2014, 6:41 PM

Subject: Re: Monday, Dec 29th - Ref.: Texas & Pacific Warehouse - The Artist Lofts at Fort Worth Town Square in Fort Worth, Texas

To: <Katherine.Smith@fortworthtexas.gov>, <bnewby@newbydavis.com>

Cc: <Ann.Zadeh@fortworthtexas.gov>, <District9@fortworthtexas.gov>, <nadeem.shoukry@gmail.com>

12/26/14

Dear Councilwoman Zedeh:

In anticipation of our meeting on Monday 12/29/14, and in the essence of time, I would like to invite you to review the memo attached (written by our counsel Cynthia Bast - brief release on her is also enclosed) and, if your time allows, view the quotes and videos regarding some developments of artist affordable housing around the nation that I was inspired by.

Our affordable housing team also includes Coats Rose law firm (a top affordable housing law firm), whose legal opinion of **the Bond Carry Forward process** is no different from Ms. Bast's.

Looking forward to meeting you soon.

Ola Assem
(214)521-3216

-----Original Message-----

From: Smith, Katherine B <Katherine.Smith@fortworthtexas.gov>

To: olaassem <olaassem@aol.com>; bnewby <bnewby@newbydavis.com>

Cc: Zadeh, Ann <Ann.Zadeh@fortworthtexas.gov>

Sent: Tue, Dec 23, 2014 4:32 pm

Subject: RE: Monday, Dec 29th

Good afternoon,

I will get this on her calendar for Monday Dec 29th at 9:30am to meet here at City Hall (1000 Throckmorton, 3rd floor, North End of the building). I appreciate it.

Thank you,
Katherine Smith
Council Aide
District 9 Council Member Ann Zadeh
Fort Worth City Council
817.392.8809 Office
817.392.6187 Fax
Katherine.Smith@fortworthtexas.gov

From: olaassem@aol.com [<mailto:olaassem@aol.com>]
Sent: Tuesday, December 23, 2014 4:28 PM
To: Smith, Katherine B; bnewby@newbydavis.com
Cc: Zadeh, Ann
Subject: Re: Monday, Dec 29th

Ms. Smith,

Please reserve 9:30 AM as it is more convenient for Mr. Newby's schedule. If it is too late to re-schedule, please advise.

Thanks for the prompt follow up and have a Merry Christmas

Ola Assem
(214)521-3216

-----Original Message-----

From: Smith, Katherine B <Katherine.Smith@fortworthtexas.gov>
To: Brian Newby <bnewby@newbydavis.com>; OLAASSEM <OLAASSEM@aol.com>
Cc: Zadeh, Ann <Ann.Zadeh@fortworthtexas.gov>
Sent: Tue, Dec 23, 2014 4:15 pm
Subject: Monday, Dec 29th

Good afternoon,

I wanted to follow up via email regarding the requested meeting for next week regarding the T&P Warehouse project. I have blocked 1-3pm on Monday, Dec 29th for a possible meeting with Councilwoman Zadeh. I am about to leave the office for the Holiday, I just wanted to make sure we are all on the same page. I appreciate it.

Thank you,
Katherine Smith
Council Aide
District 9 Council Member Ann Zadeh
Fort Worth City Council
817.392.8809 Office
817.392.6187 Fax
Katherine.Smith@fortworthtexas.gov



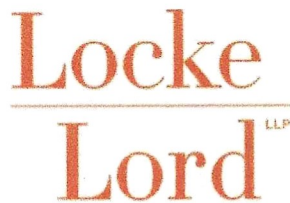
Locke_Lord-Cynthia's_Meom_Ref._Traditional__Carry_Forward_-12.24.14-pdf.pdf
298.8kB



Cynthia_Bast_-_Immediate_Release_by_Locke_Lord_8.1.2014.pdf
291.4kB



Quotes_Ref._Artist_Affordable_Housing_(11.07.14)-Nationwide_&_Link_toSchmedit_&_A-Mill_Lofts.docx
52.8kB



Attorneys & Counselors

600 Congress, Suite 2200
Austin, TX 78701
Telephone: 512-305-4700
Fax: 512-305-4800
www.lockelord.com

Cynthia L. Bast
Direct Telephone: 512-305-4707
Direct Fax: 512-391-4707
cbast@lockelord.com

January 14, 2015

The Honorable Betsy Price
Mayor of Fort Worth
Fort Worth City Hall, District 6 Office
1000 Throckmorton Street
Fort Worth, Texas 76102

*via email to rachel.horton@fortworthtexas.gov
and United States Mail*

Re: The Artist Lofts at Fort Worth Town Square (the "Development")

Dear Mayor Price:

We represent Cleopatra Investments, Ltd. ("Owner"), the owner of the Texas & Pacific Warehouse. Our role is to assist the Owner with assembling the financing for this redevelopment project. As I believe you know, the financing plan includes the issuance of tax-exempt bonds ("Bonds"), in combination with equity generated by the allocation of low-income housing tax credits and historic tax credits. As Head of my Firm's Affordable Housing Section, I regularly assist clients with complex financing transactions such as the proposed Development.

Combining the required financing sources for the Development requires a very precise timeline. In addition, the redevelopment is dependent upon and must coordinate with the City's Lamar-Hemphill construction project. The Development faces two main challenges with regard to its financing timeline and limitations on Bond amounts:

(1) Under state law, a multifamily residential development cannot receive more than \$20 million of Bonds, except between August 15 and December 31 of each year. Thus, Developments requiring more than \$20 million of Bonds have a shorter window in which to obtain Bond financing. The Artist Lofts is such a development. It requires a Bond reservation exceeding \$20 million.

(2) Under state law, once a Bond reservation is received, the developer must close the transaction within 150 days. For most simple transactions, this deadline is achievable. However, some transactions may require additional time because they are dependent upon agencies and factors outside of the developer's control. For instance, when a developer is using HUD financing, the process to obtain HUD approval can take a while and may require more than 150 days. Similarly, the Owner will be utilizing historic tax credits, requiring interaction with the state historical agency and National Park Service (which must approve any updates or amendments to the plans). Moreover, the Owner must coordinate its timeline for closing and construction with the construction schedule of the City's Lamar-Hemphill Project. Fortunately, Texas law also has a special provision called "carryforward" by which a Bond reservation that would usually expire in 150 days can be extended to last for three years. A Bond carryforward can only be received between December 15 and 31 of each year.¹

Given the circumstances of the Development, and the fact that the Lamar-Hemphill Project construction has yet to start, it was my recommendation to Owner that they seek a carryforward, in order to access the Bond amount required for the project and to have the flexibility in the schedule needed to address the factors described above, while still meeting the Owner's obligations under its TIF Agreement with the Lancaster TIF.

Upon choosing the Texas Department of Housing & Community Affairs ("TDHCA") as the Bond issuer, the Owner's first step was to submit a multifamily bond pre-application. TDHCA requested that this pre-application be submitted in October. The pre-application required public notifications, which were sent out around October 7 to various local officials and organizations, approximately 21 in all. TDHCA's Governing Board voted to induce the Bonds on November 13. The next step was for TDHCA to submit the application for Traditional Bond Carryforward to the Texas Bond Review Board ("BRB") by December 31, 2014. Since a Bond carryforward was desired, Texas law requires that TDHCA obtain approval from the Governor before proceeding. A package was submitted to the Governor for consideration. Ultimately, the Governor's office decided not to approve the application for Bond carryforward, citing objections raised by the City.

We are not aware of any official action taken by the City in a public hearing or meeting in recent months with regard to the Development. Moreover, since the required notifications were distributed in October, the Owner has not received any objections or comments from any local elected public officials or City staff. Therefore, news of an objection by the City came as a surprise to the Owner, as the Owner is proceeding in good faith in accordance with the process for tax credit and Bond financing outlined in State law and TDHCA's rules. The Owner was preparing its materials and presentation for upcoming meetings with City officials and staff and the community, as mandated by that legal process.

¹ The Texas Bond Review Board's website shows that 18 multifamily housing projects applied for and received Bond carryforward in December 2014.

The Owner first heard about the City's concerns by way of an inquiry from the Fort Worth Business Press and a brief statement from you to the Owner in a personal conversation on December 29. The Owner tried very hard to address the issues that were raised in order to save the 2014 Bond carryforward opportunity. Unfortunately, the year-end deadline for the Bond carryforward reservation, combined with the holidays, may have made the timing for these matters difficult for the parties.

The purpose of this letter is to help clear up any misconceptions and to make sure that the Owner and the City are on the same page going forward. We believe some of these misconceptions were addressed in my memorandum dated December 23, 2014, which, among other things, explained the Bond carryforward process in detail. I know the Owner provided you with a copy, but I have attached it here for reference. To reiterate, the two main concerns we have heard are as follows:

The Owner is going to construct 500 affordable units. It is correct that the notifications that were sent to public officials indicated the Development would have approximately 500 affordable housing units. This does not mean that the ultimate Development will have 500 affordable housing units. In filing the Bond pre-application with TDHCA, the Owner listed the maximum number of units the Development might have but did not commit to any particular unit configuration. In fact, the Owner will not commit to a particular number of units or configuration of those units until a tax credit application is filed, as described below. Moreover the Owner specifically noted in the Bond pre-application that it does not plan to devote the entire Development site to affordable housing:

"The renovation of this historic building includes plans for commercial and other uses, in addition to the affordable housing units contemplated in this Application."

"Owner anticipates redeveloping the Building to include affordable housing, along with other potential uses, including commercial space . . ."

Clearly, the details with respect to the Development remain a work in progress.

By pursuing a Bond carryforward, the Owner is seeking to have 36 months to close. At the risk of being redundant, the Owner has no such intent. The purpose of seeking a Bond carryforward was simply to allow the Owner some flexibility to coordinate its plans and timing with the City' Lamar-Hemphill Project and the various state and federal agencies that have jurisdiction over its financing.


The loss of the ability to receive the 2014 Bond carryforward is a serious impediment to the Owner's financing plan for the Development. Nonetheless, the Owner is determined to proceed and produce the quality redevelopment that the Owner always determined to produce. As the Owner proceeds to secure its financing in accordance with the procedure outlined in State law and TDHCA rules, it is important that the Owner be allowed to present its proposed Development to the City and to understand any concerns that the City officials might have so

The Honorable Betsy Price
January 14, 2015
Page 4

that the concerns can be addressed and the parties can mutually agree upon a redevelopment plan that serves the community while being feasible from an economic and construction standpoint. We are prepared to meet with you or whomever you designate to address any issues or concerns. We ask for your response and direction by January 20 so the Owner may proceed in a timely manner.

Thank you.

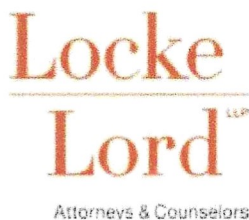
Sincerely,

A handwritten signature in cursive script that reads "Cynthia L. Bast".

Cynthia L. Bast

Attachment

cc: Ola Assem
via e-mail: olaassem@aol.com



600 CONGRESS AVENUE
SUITE 2200
AUSTIN, TEXAS 78701

512-305-4700
512-305-4800
FAX 512-305-4700
<http://www.lockelord.com>

MEMORANDUM

TO: Artist Lofts at Fort Worth Town Square
FROM: Cynthia Bast
DATE: December 23, 2014
RE: Proposed Housing Development

You propose to renovate the vacant and historic Texas & Pacific Warehouse in Fort Worth (the "**Building**") into a multi-use facility with affordable housing (including artist lofts) and commercial space (the "**Development**"). Given the historic nature of the Building, the redevelopment process is quite complex. It must be coordinated with the construction schedule of the City's Lamar-Hemphill Project. Moreover, limited sources of financing are available for the affordable housing portion of the Development (the "**Affordable Housing**"). In fact, the only truly viable source for financing the Affordable Housing is to utilize tax-exempt bonds ("**Bonds**") issued by the Texas Department of Housing and Community Affairs (the "**Agency**"), and equity generated from low-income housing tax credits ("**Credits**") issued by the Agency.

On November 13, 2014, the Agency's board approved an inducement resolution for the issuance of Bonds for the Affordable Housing. An inducement is *only a first step* in the process for financing any development. It is required by law and sets off a whole series of other procedural steps before the Bonds can be issued and the transaction can be closed and funded. Additional steps in the process include:

- Under federal law, the Agency must hold a public hearing, in a location near the Development, to take input from the community on the proposed Affordable Housing.
- The developer must file an application for the Credits, which is publicly available for inspection. This application will contain additional detail about plans for the Development.
- The application for Credits requires numerous notifications to public officials, including state and local elected officials.
- Under state law, the Agency may not issue Credits unless and until the Fort Worth City Council has conducted a public hearing on the proposed Affordable Housing, given the public

and opportunity for comment, and issued a resolution that the City Council does not object to an award of Credits by the Agency. If this resolution is not received, the Development cannot proceed with financing utilizing Bonds and Credits.

- The Agency's board must approve the issuance of the Bonds and the Credits at a public meeting at which comment can be received and considered.
- The Bond Review Board must approve the issuance of the Bonds at a public meeting at which comment can be received and considered.

In short, the Affordable Housing cannot and will not proceed to financing without a considerable number of public meetings at which the developer and the community can converse about plans for the Development. It is not unusual that this process elicits recommended changes to a project that a developer is willing to implement. I know you have committed to sincere community dialogue to make sure this Development is a viable and appropriate long-term asset for Fort Worth.

Your particular Development is unique in its financing complexity. In addition to the Bonds and the Credits, the Building will qualify for federal and state historic tax credits, due to its historic designation. This will include oversight and approvals from the National Park Service. Local financing from a TIF may also be available. Combining Bonds, Credits, federal historic tax credits, state historic tax credits, and local sources is no easy task and can take quite some time. This timing factor can be challenging in a Bond context, as described below.

Federal law provides that each state must have a defined method for awarding its annual allocation of bonds to qualified projects. The Texas Bond Review Board ("BRB") oversees this process with a detailed system of layered priorities. This system includes two important characteristics: (1) until August 15 of each year, a multifamily housing development can only receive a Bond allocation of \$20 million and (2) with a typical bond reservation, the developer must close on the Bonds within 150 days of the reservation.

The development budget for the proposed Affordable Housing requires \$50 million of Bonds. Therefore, you can only receive a Bond reservation between August 15 and December 31 of any given year. If you do not receive your Bond reservation by December 31, 2014, you will be required to wait until August 2015 to pursue a Bond reservation. Further, imposing a 150-day deadline on closing a Bond reservation for a Development of this complexity is particularly difficult. With the multiple sources of financing involved, the need to coordinate with the City's Lamar-Hemphill construction schedule, time for additional design approvals, permitting, and third party reports, and the need for community input, it would be virtually impossible to close the financing within the next 150 days, even if a traditional Bond reservation were received this month. Fortunately, federal law allows for a concept known as **bond carryforward**. Essentially, when the State has bond allocation remaining at the end of the year, it can reserve that bond allocation for certain projects, and the recipients then have a three-year period over which to close. A bond carryforward in the amount of \$50 million would give Fort Worth Town Square the time it needs to properly engage the community, receive input, manage all the financing sources, and close the transaction responsibly only if and when all appropriate local and state approvals are received. Certainly, you would not

need to wait the entire three-year period to close. You would simply use the additional time needed, beyond the 150 days, to give flexibility and accommodate the coordination with the Lamar-Hemphill Project while meeting the targeted milestones required for the TIF financing. **The bond carryforward must be issued in the month of December, so time is of the essence.**

The bond carryforward process is perfect for those affordable housing developments that are particularly complex and require more than 150 days to work through the process. It has been used by various issuers in the past few years, including:

- Austin Affordable PFC, which is an affiliate of the Austin Housing Authority, received a 2012 bond carryforward for The Villages at Ben White and The Pointe at Ben White, a 433-unit neighborhood, with The Villages focusing on veterans and seniors and The Pointe accommodating families.
- The San Antonio Housing Trust Housing Finance Corporation received a 2013 bond carryforward for Masters Ranch, a 252-unit development targeting people with disabilities, which will be part of a greater planned development including a 9-hole golf course tailored for wounded warriors and others with disabilities and a multi-sports arena. Masters Ranch is expected to close in February 2015.

In total, approximately 10 different multifamily housing projects with different issuers received bond carryforward in 2013. So while TDHCA has not received bond carryforward for any of its issuances in recent years, other issuers have been using this tool productively.

I hope this memorandum is helpful and am happy to answer any further questions you may have.



TEXAS DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

www.tdhca.state.tx.us

Rick Perry
GOVERNOR

BOARD MEMBERS

J. Paul Oxer, *Chair*
Juan S. Muñoz, PhD, *Vice Chair*
Leslie Bingham-Escareño
T. Tolbert Chisum
Torn H. Gann
J.B. Goodwin

January 9, 2015

Writer's direct phone # 512-475-3344
Email: teresa.morales@tdhca.state.tx.us

Artist Lofts at FWTS, Ltd.
ATTN: Ola Assem
P.O. Box 191103
Dallas, TX 75219
(214) 521-3216

Dear Ms. Assem,

The Texas Department of Housing and Community Affairs (the "Department") received a multifamily bond pre-application for the Artist Lofts at Fort Worth Town Square on October 9, 2014. Upon staff review of the pre-application the Department's Governing Board approved Inducement Resolution No. 15-005 at its meeting on November 13, 2014. Following the approval of the resolution, the Department submitted a request on your behalf for Traditional Carryforward associated with the Artist Lofts at Fort Worth Town Square proposed development to the Office of the Governor on November 14, 2014. Texas Government Code, §1372.070(2) requires the application to be signed by a member or officer of the issuer and signed by the Governor, if the issuer was created to act on behalf of this state. Texas Government Code, §1372.065 refers to the Priority 3 Classification which applies to (1) a state agency, other than an issuer of a state-voted issue and (2) a political subdivision whose Board of Directors holds office under §30a, Article XVI, Texas Constitution. A Traditional Carryforward designation is any state ceiling that is available on or after December 15th. The signed Traditional Carryforward package must be submitted to the Texas Bond Review Board (the "BRB") for a Carryforward Designation no later than December 31, 2014. This letter is to inform you that the Department did not obtain the Governor's signature; therefore, the application for Traditional Carryforward was not be submitted to the BRB by the required deadline.

The Inducement Resolution, which is required before a Certificate of Reservation for volume cap can be issued by the BRB, is still considered to be effective based on the representations made in the multifamily bond pre-application. The Resolution is valid for one year, unless the representations by which the Department's Governing Board based its approval change.

Should you still desire to move forward with the proposed development, the next opportunity to do so would be on or after August 15, 2015, which is the date on which the sub-ceilings associated with the private activity bond volume cap collapse and the Department, as a bond issuer, can exceed its \$20 million limitation per development. The Certificate of Reservation that would be issued after this date would be subject to a closing deadline on the bond financing of 150 days.

Please let me know if you have any questions.

Sincerely,

Teresa Morales
Manager, Multifamily Finance



FW: T&P/ Letters; FedEx - all Delivered!

From: Liz Wong (lwong@apcommunities.com)
To: olaassem@aol.com; nadeem.shoukry@gmail.com
Cc: dwilson@apcommunities.com; lfrancis@apcommunities.com
Date: Wednesday, October 8, 2014 at 01:26 PM CDT

FYI – Please see attached.

From: Marlene Sanchez
Sent: Wednesday, October 08, 2014 2:04 PM
To: Liz Wong; Latora Francis
Subject: T&P/ Letters; FedEx

All letters have been delivered.

MARLENE SANCHEZ
Executive Assistant

msanchez@apcommunities.com
2950 S.W. 27th Avenue, Suite 200 | Miami, FL 33133
Office: (305) 357.4700 Ext. 4701 | Fax: (305) 476.1557
E-Mail | V-Card | Website | Facebook | Twitter | LinkedIn



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FedEx Delivery confirmation.xlsx
12.6kB

Decature-Angle Apartments 302U - #13608 - closed 1.23.2014

I read most of the application of the Decature Apt. Project recently closed by JV between City (FW Housing Corp) and NRP developer.

13608		Closed	1/23/2014	Decatur-Angle Apartments
-------	--	--------	-----------	-----------------------------

It is 302 U's, 100% affordable including some units very low income (under 50%). They obtained \$23 m of bond finance which exceeds the cap of \$20 m. Most of dates in application show after 8/15, which means after the cap is lifted. It also shows the transaction took over a year (but not sure if the year from reservation date or not, meaning whether it was carry forward or not). In summary, lifting the cap is not new to City and its staff since all city council and Mayor are listed in the application, Jay Chapa and Cynthia Garcia (LIHTC attorney at city) signed on some docs.

TEXAS & PACIFIC WAREHOUSE

FORT WORTH, TX

ADAPTIVE REUSE & HISTORIC PRESERVATION

“THE DEVELOPMENT”



by



1940 thru today



T & P Warehouse Tomorrow



Project Concept at Fort Worth Town Square



“Lofts” at Fort Worth Town Square Curb Appeal



“Lofts” at Fort Worth Town Square Streetscape



“Lofts” at Fort Worth Town Square Motor & Pedestrian Entry



Roof Amenities



ROOFTOP VIEW FROM NOIRTH



TYPICAL PENTHOUSE UNITS



SECTION AT LOUNGE AND SKYBAR

*The Artist Lofts
&
The Merchant Lofts
at Fort Worth Town Square*

Multi-Family

Conceptual Units



Conceptual Units - continued



Multi-Family Amenities



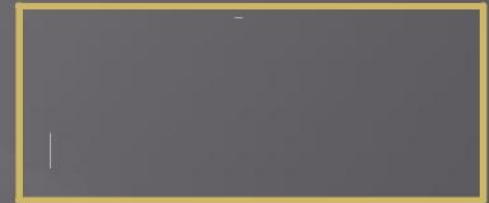
Artist Live-Work Space Concepts



Artists Common Amenities



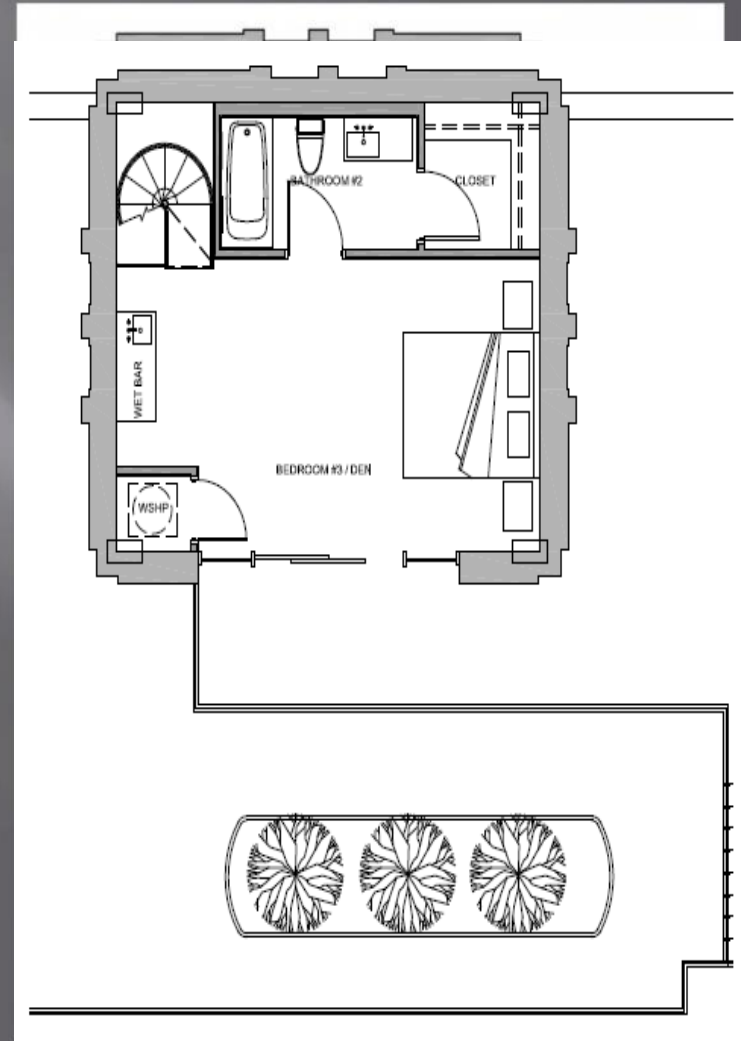
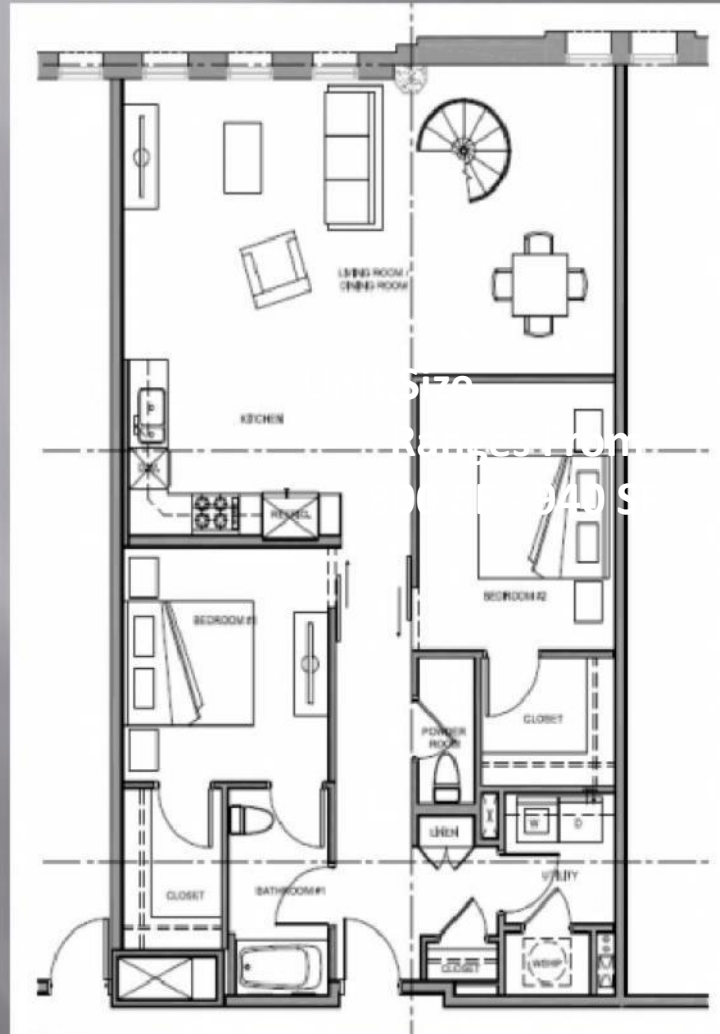
1 - Bedroom Floor plan



2 - Bedroom Floor plan



3 - Bedroom Penthouse Floor plan



The White Lotus Hotel
at Fort Worth Town Square
Hotel

T & P Hotel Streetscape & Entry





Hotel Lobby & Amenity Concepts



Meeting and Conference Rooms



Hotel Additional Amenities



Hotel Room Concepts



Phase II Mixed-Use New Construction



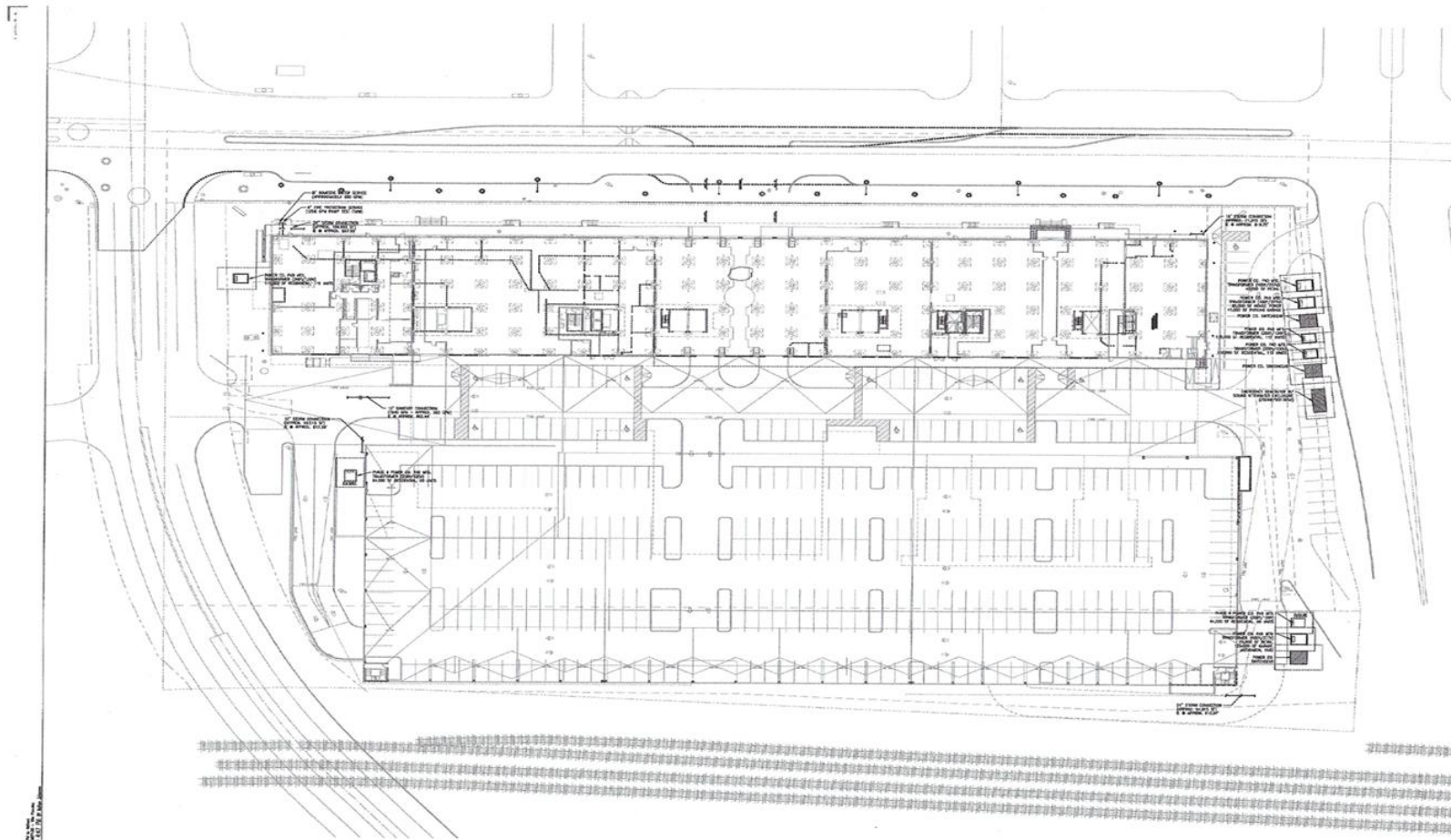
Total Site Development Concept



© 2006 Blackwell Publishing Ltd, *Journal of Internal Medicine* 260: 493–500

A05.102

Total Site Plan for Phase I (T&P) – Elevated Parking Deck & 1st Floor



Architecture
Planning
Design

GDA
Geometric Design & Associates

TEXAS & PACIFIC
WAREHOUSE
ADAPTIVE REUSE
AND HISTORIC
PRESERVATION
FORT WORTH, TEXAS

CLEOPATRA
INVESTMENTS,
LTD

ARCHITECT

THE DOCUMENT IS THE PROPERTY
OF GDA & ASSOCIATES AND IS NOT
TO BE REPRODUCED OR COPIED

Project Name

Project No.

Client

Site Address

City

State

Zip

Project Description

Project Status

Project Manager

Project Engineer

Project Architect

Project Designer

Project Draftsman

Project Checker

Project Approver

Project Date

Project Scale

Project Notes

Project Revision

Project Sheet

Project Total

Project Price

Project Fee

Project Cost

Project Profit

Project Net

Project Gross

Project Total

Project Sheet

Project Total

1 MEP SITE PLAN

Scale: 1"=20'

TEXAS REGISTERED ARCHITECT
GDA CONSULTING ENGINEERS, P.C.
5000 W. 10TH ST., SUITE 200
FORT WORTH, TEXAS 76102
TEL: 817.335.1111
FAX: 817.335.1112
WWW.GDA-ARCHITECTS.COM

MEP1.00

not issued on 8/7/2009 2:43 PM by NCPD
It is noted as "in process" / A - R
Kalamazoo Department of Public Safety
The following information was obtained from the Kalamazoo County Sheriff's Office records database.
This document contains confidential information. It is intended for your eyes only.

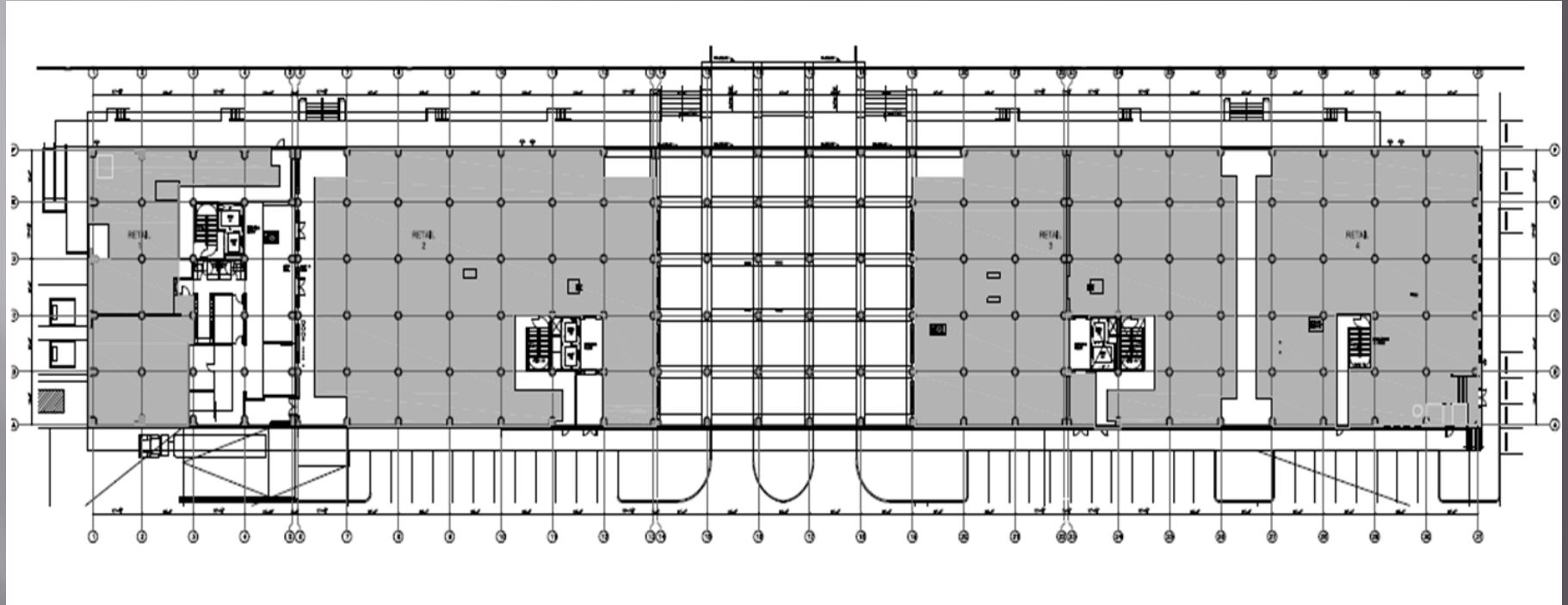


SCALE: 1" = 30'-0"



-Total = 568 Spaces

1st Floor & Retail, Lobby, Leasing Office, Plaza & Common Areas



Panoramic View of T&P
Photo from Omni Convention Hotel



Mission, Objectives & Implementation

The Warehouse Redevelopment Project intends to advance and implement many of the City's stated Policies, Strategies, and Plans which include the following:

- (1) Historic Preservation
- (2) Adaptive Reuse/Infill of vacant buildings -“Reuse of significant targeted vacant buildings”
- (3) Transit Oriented Development (TOD) Sustainable Development & “Bike Fort Worth”
- (4) Hi Density/Maximize Land Use
- (5) Environmental Mitigation & Air Quality
- (6) Job Creation (especially quality jobs)
- (7) Urban Design & Open Space
- (8) Provide Housing in Downtown
- (9) Density and Mixed-Use Development. Active Street level by providing retail on 1st floor
- (10) Safety
- (11) Increase Tourism.
- (12) Develop Expansion Zone #1 (Lancaster Avenue)
- (13) Catalytic development to spur economic development Revitalization of core city area and surrounding neighborhood “Strengthen the economic base” & increase the City's tax base.

TEXAS & PACIFIC WAREHOUSE

FORT WORTH, TX

ADAPTIVE REUSE & HISTORIC PRESERVATION

“THE DEVELOPMENT”

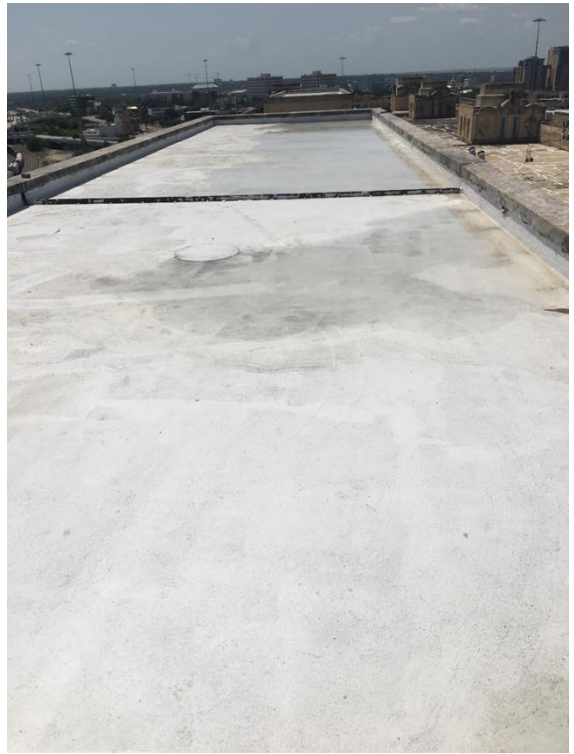
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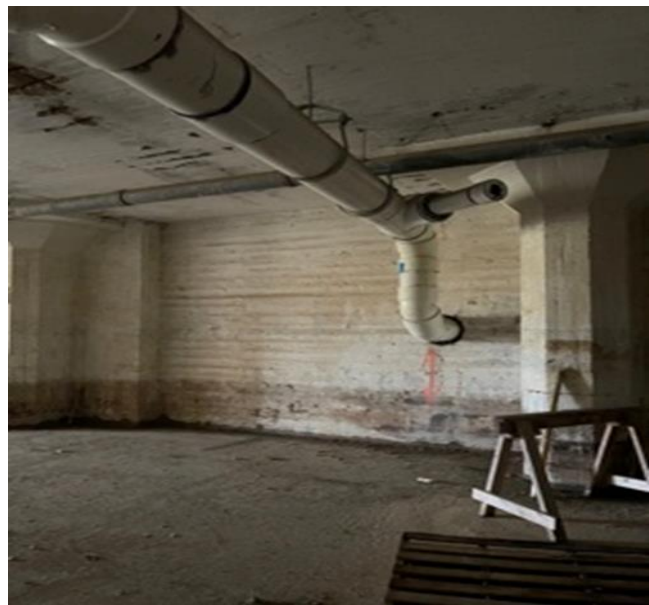








Roof Drainage to Basement:



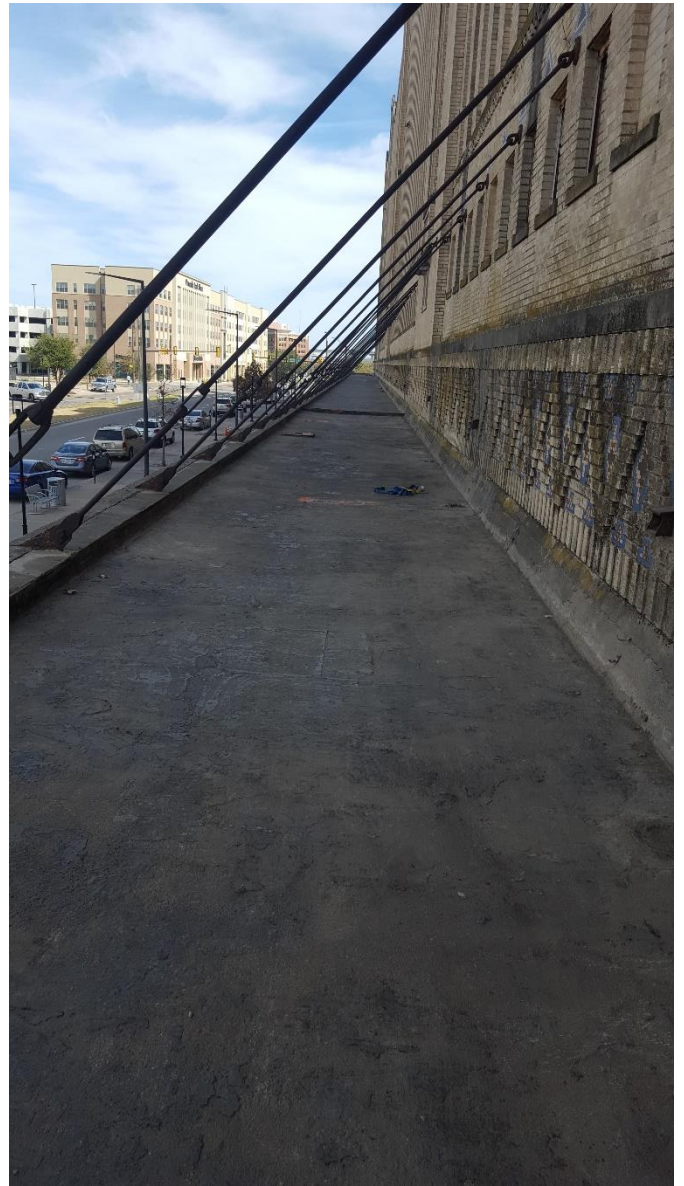
Abatement







canopy abatement



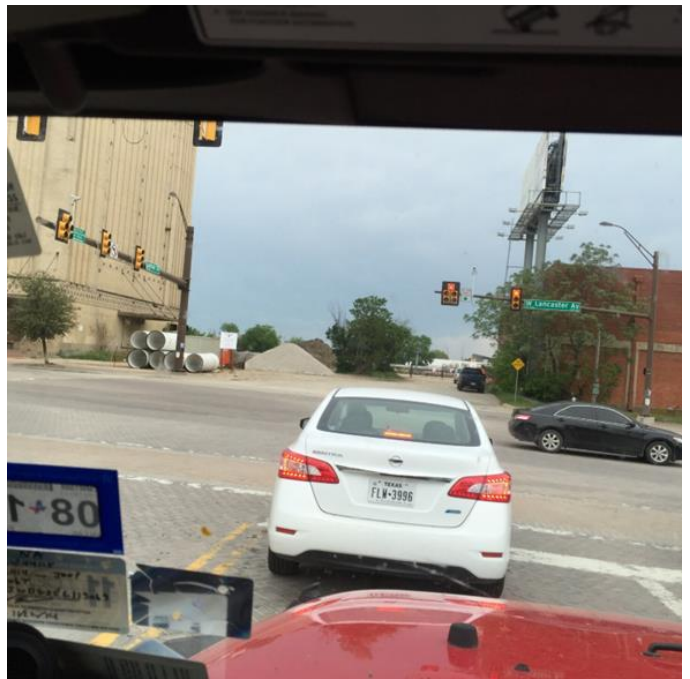
canopy after abatement



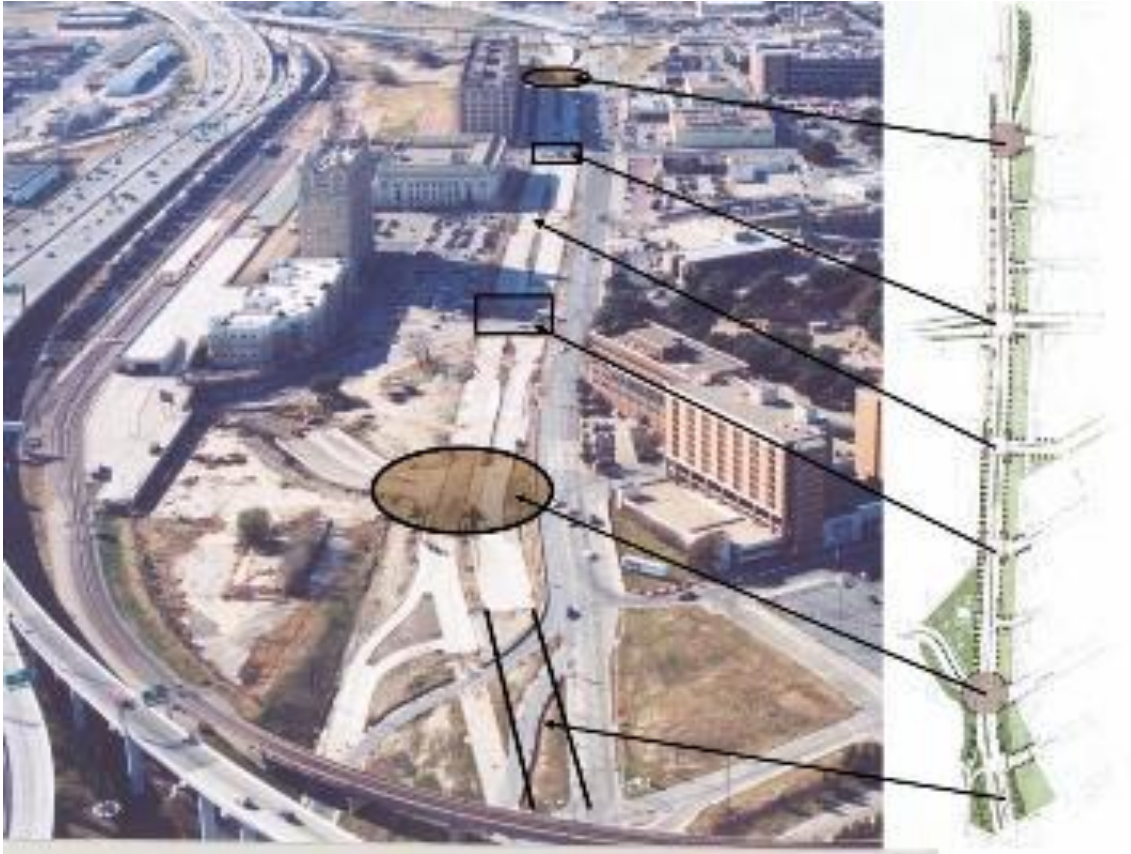
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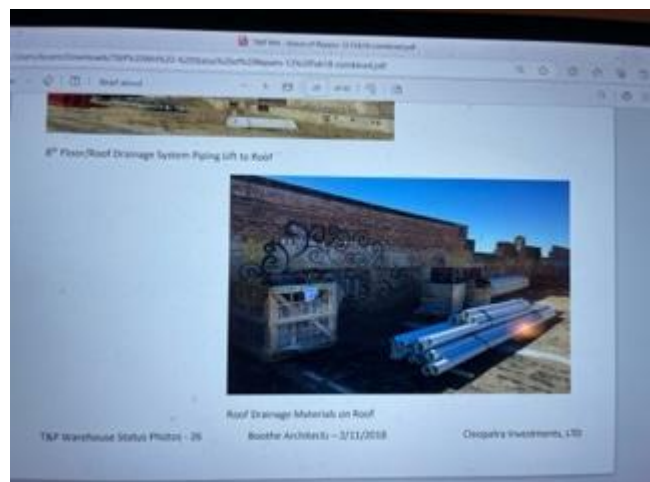
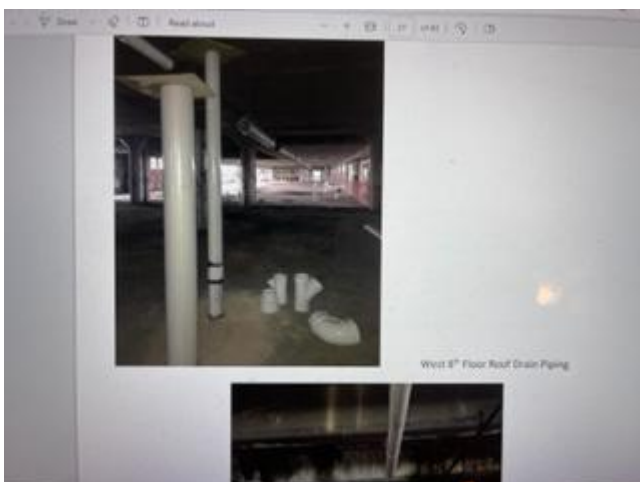
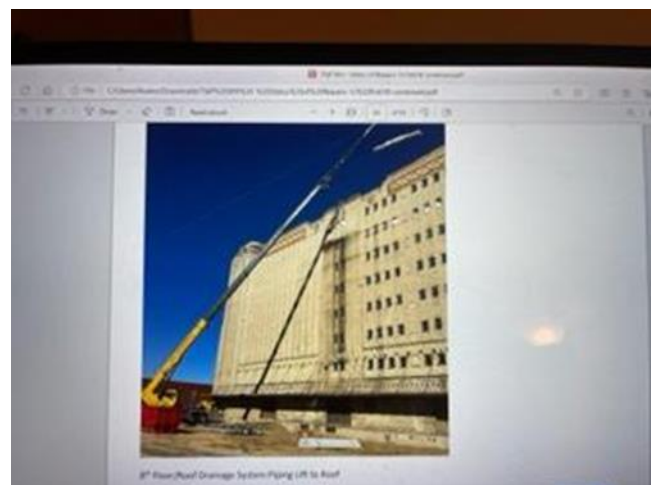
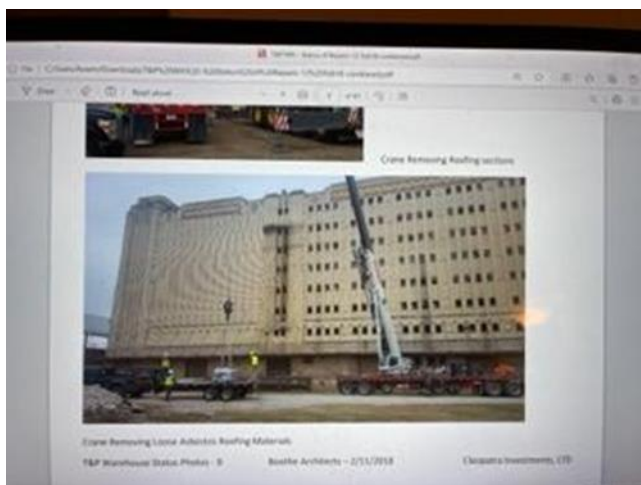
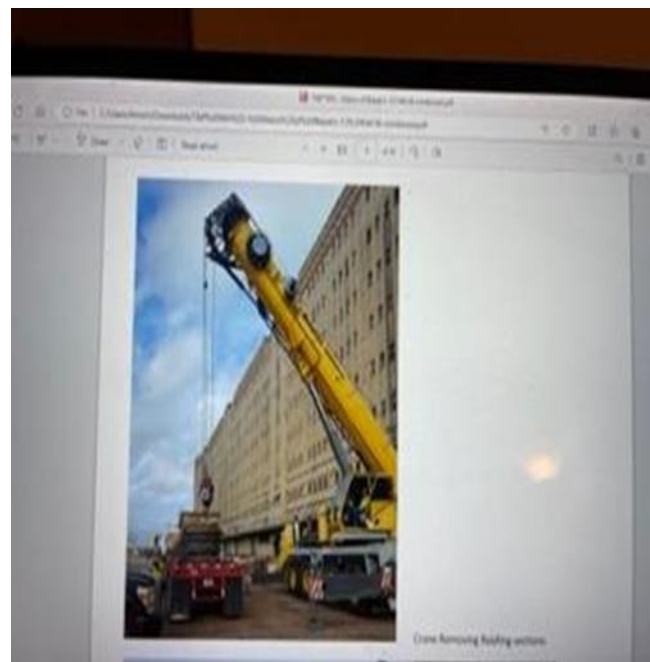
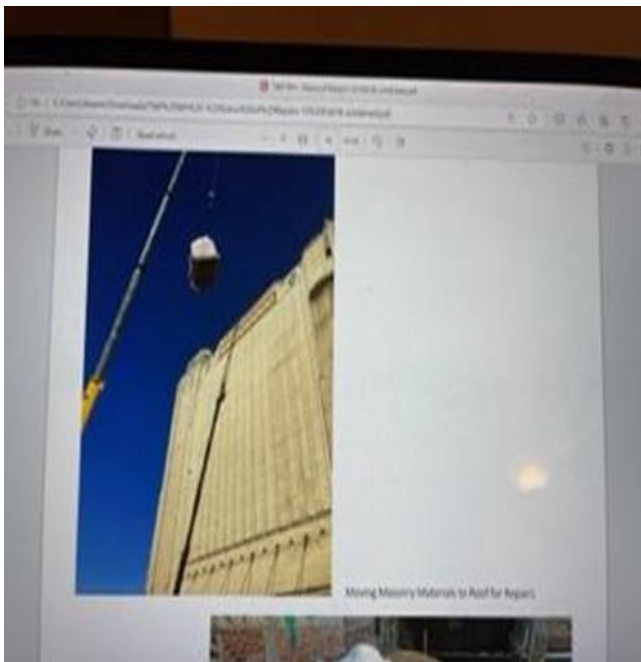


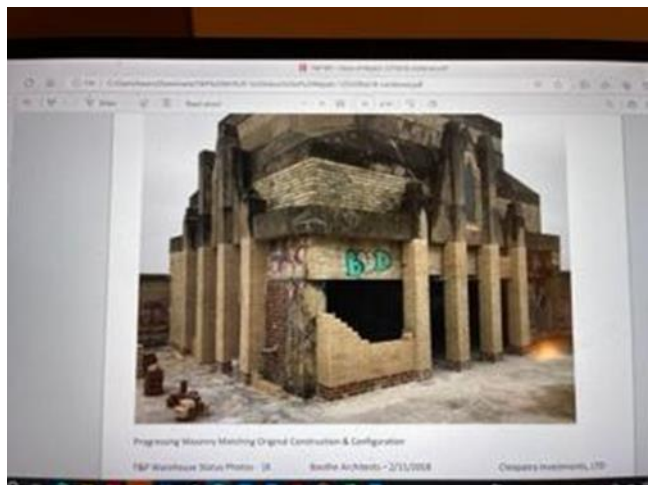
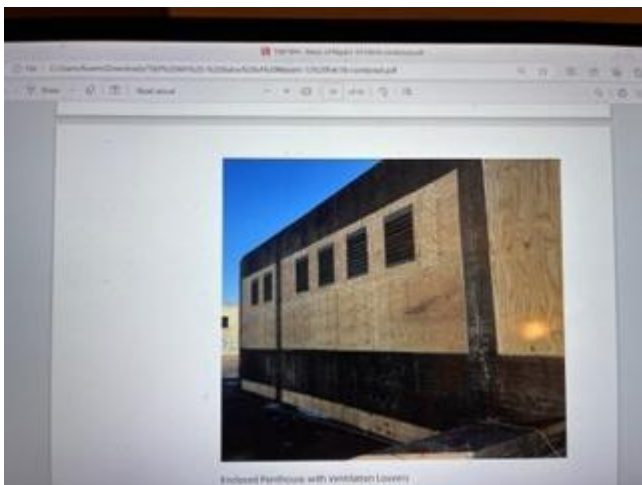
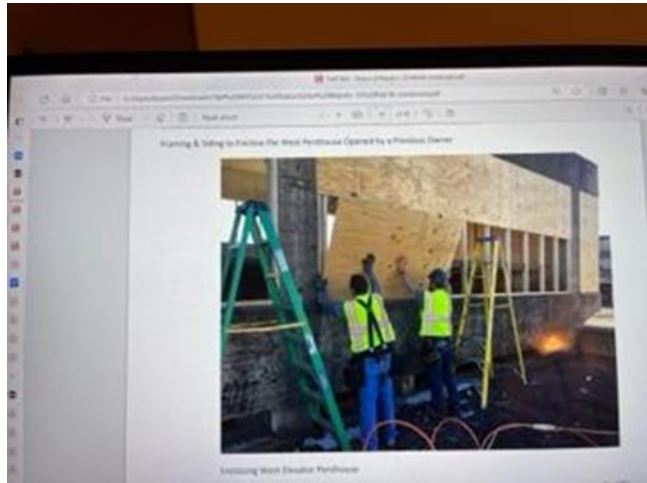
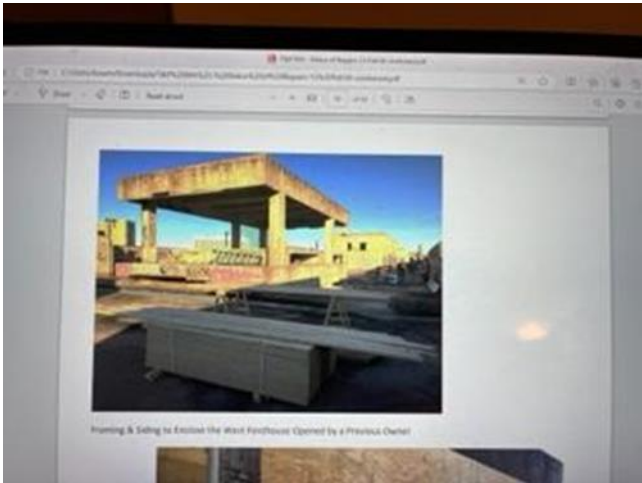
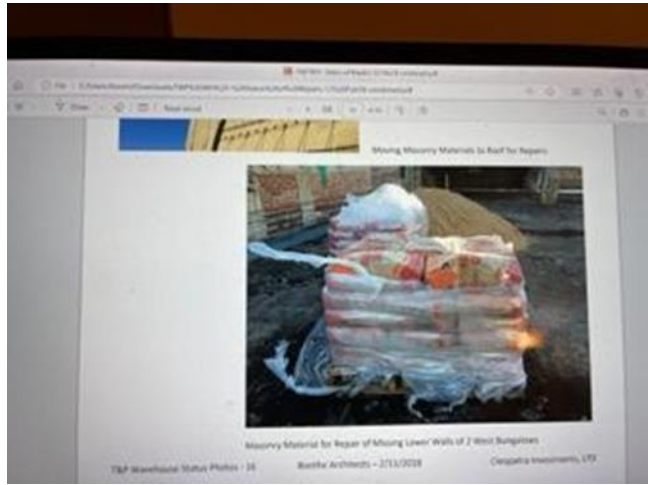


Lancaster Corridor Redevelopment

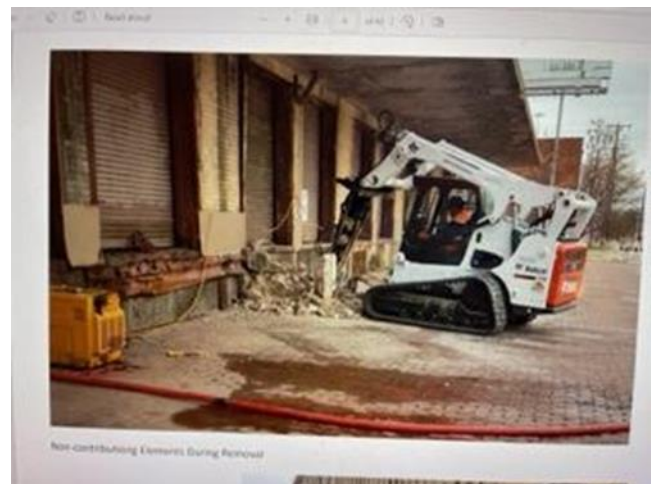
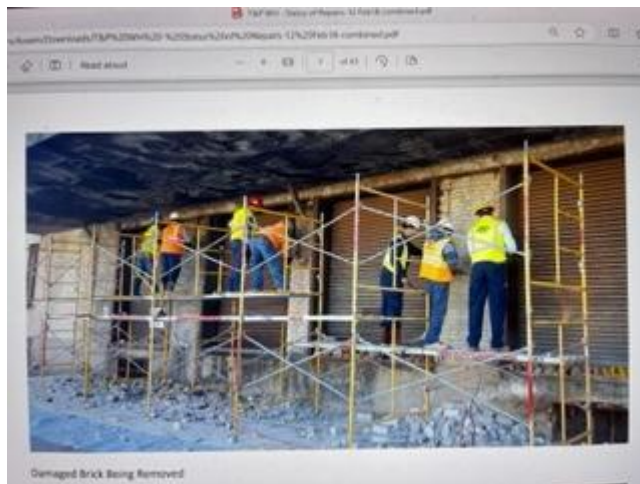
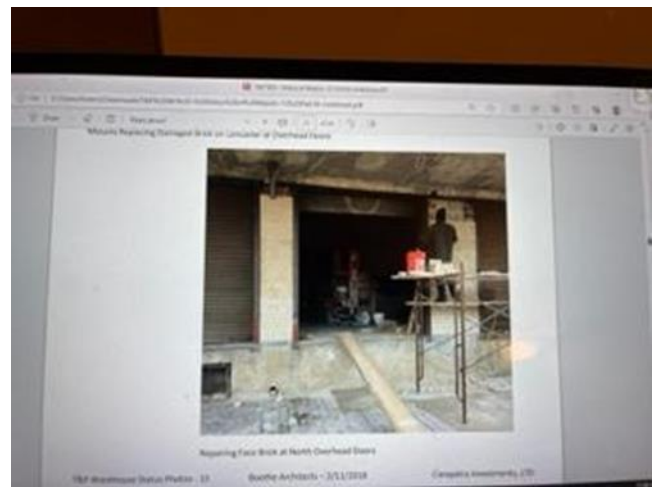
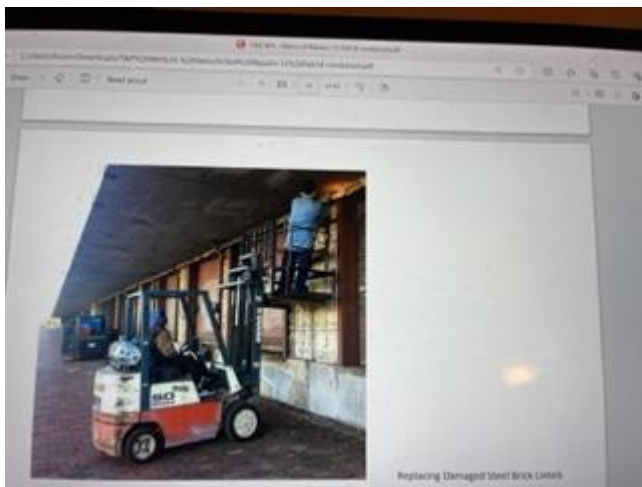
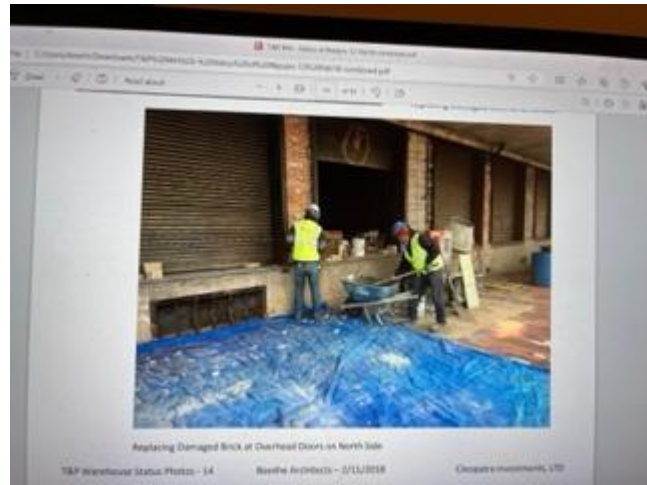
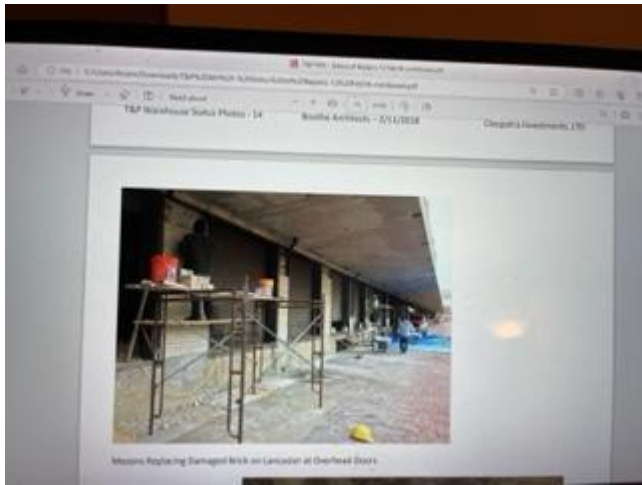


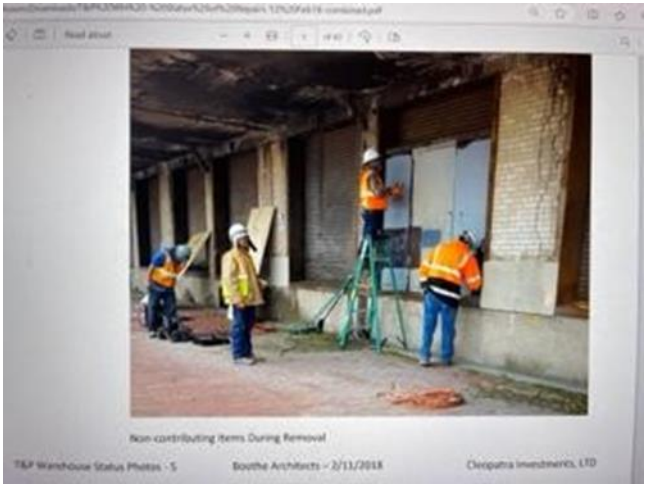
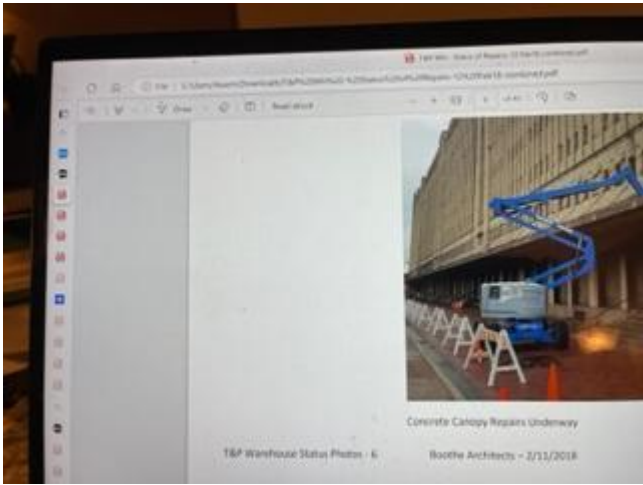
Stabilization Pics – File#2



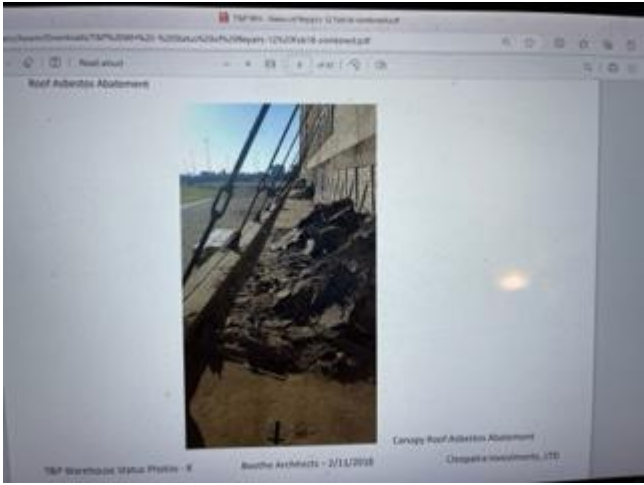
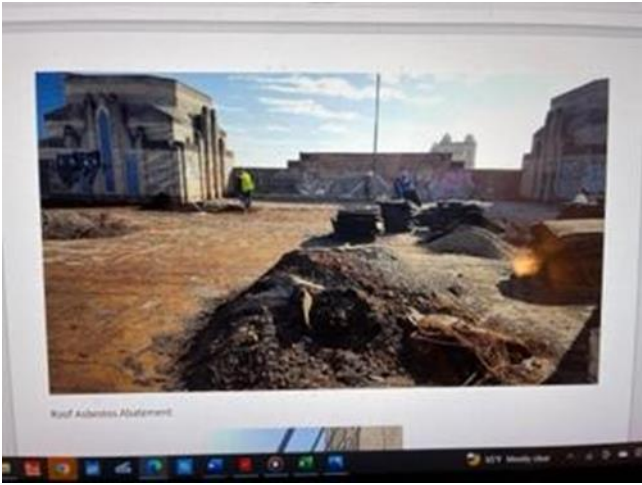
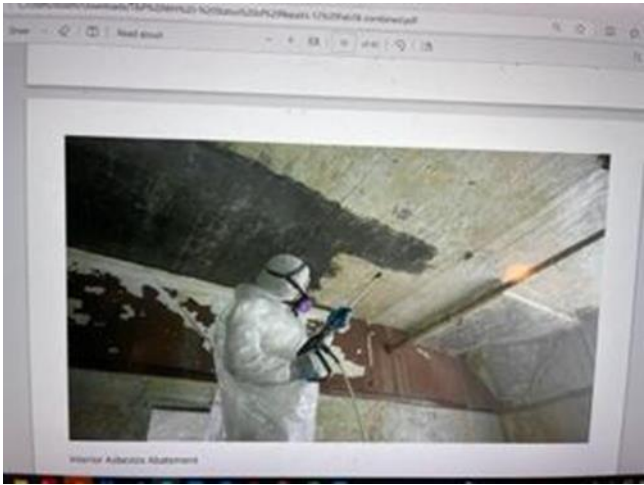
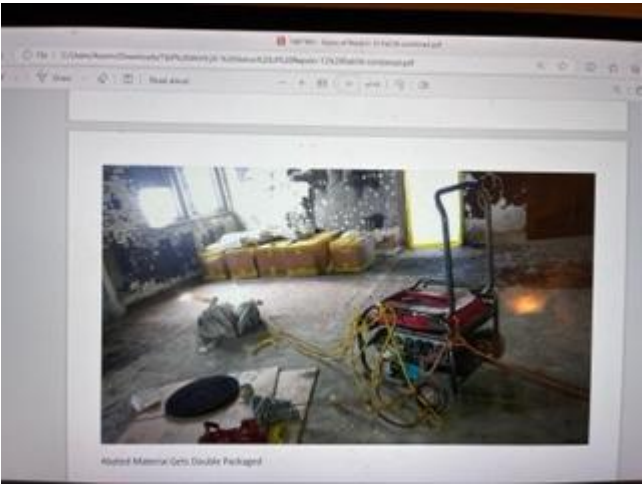


NORTH

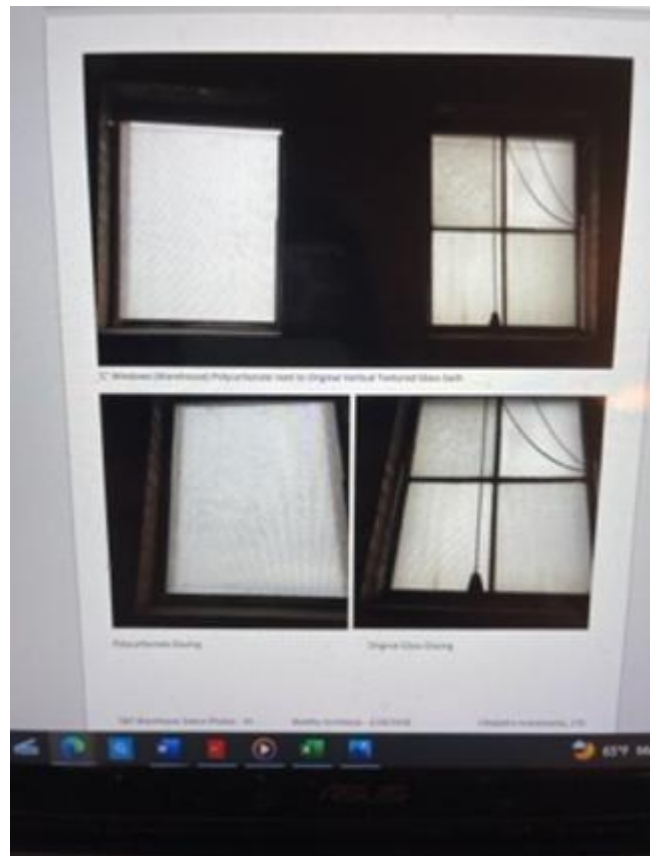
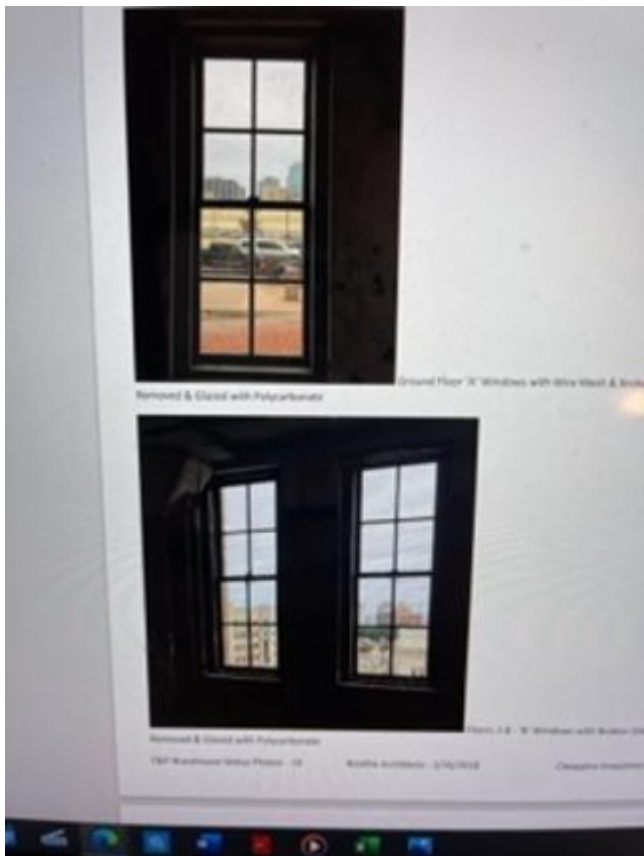
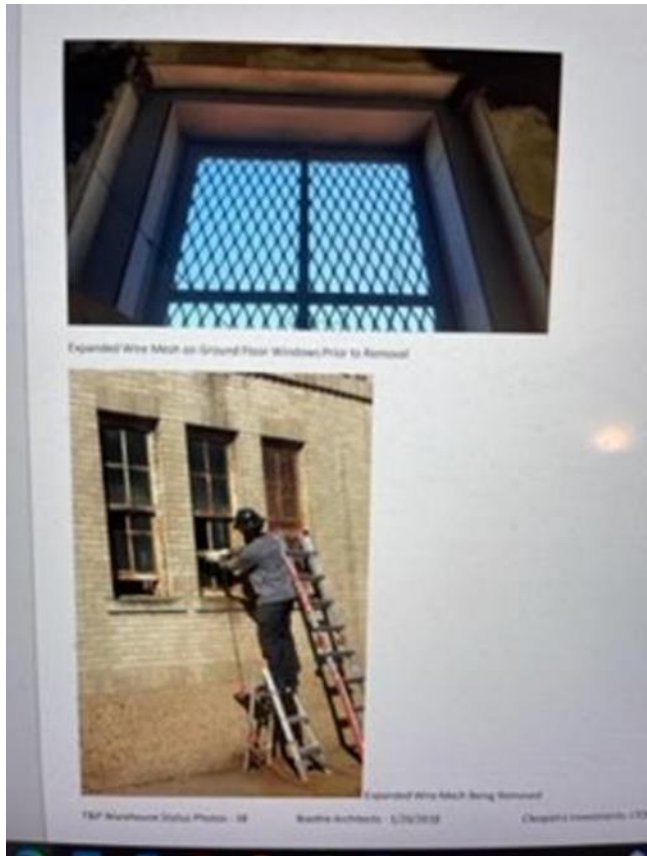
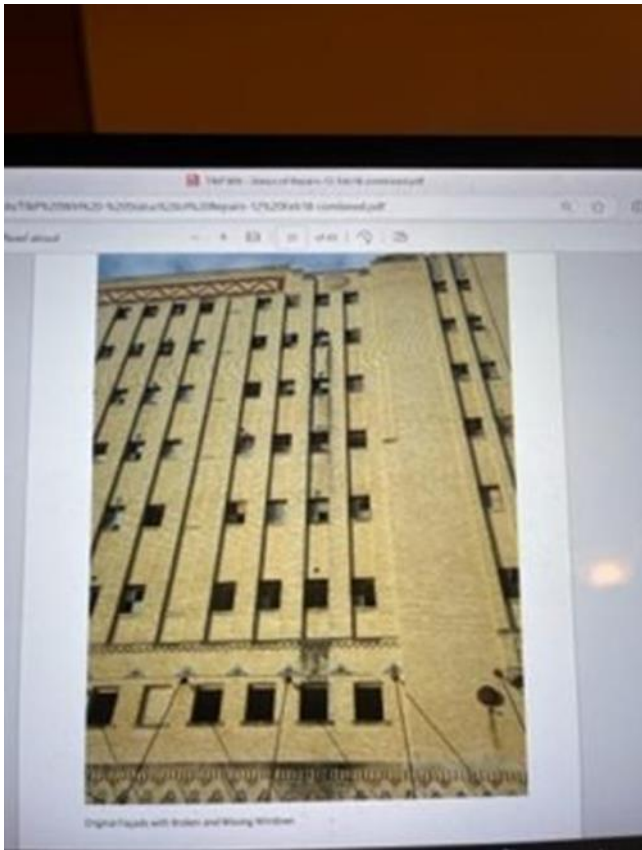


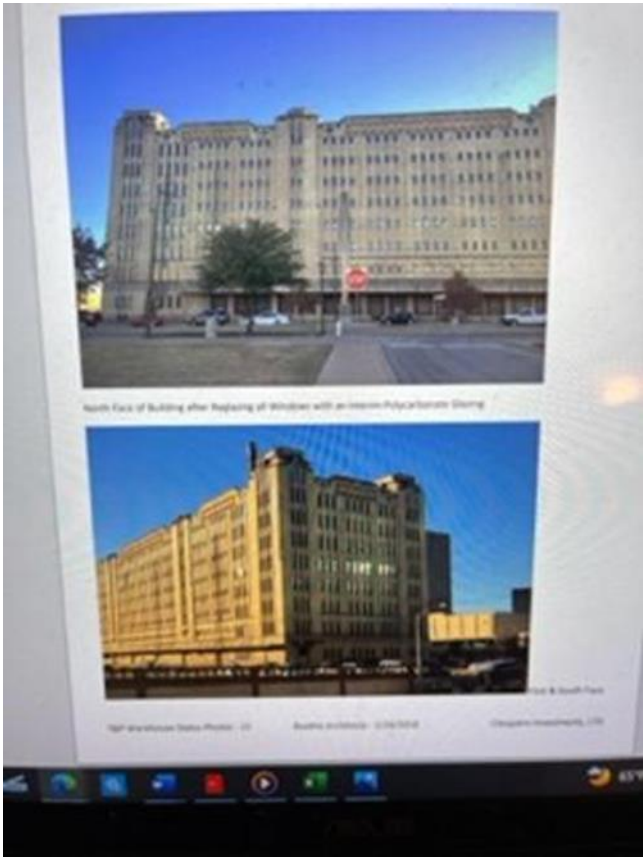


ABATEMENT

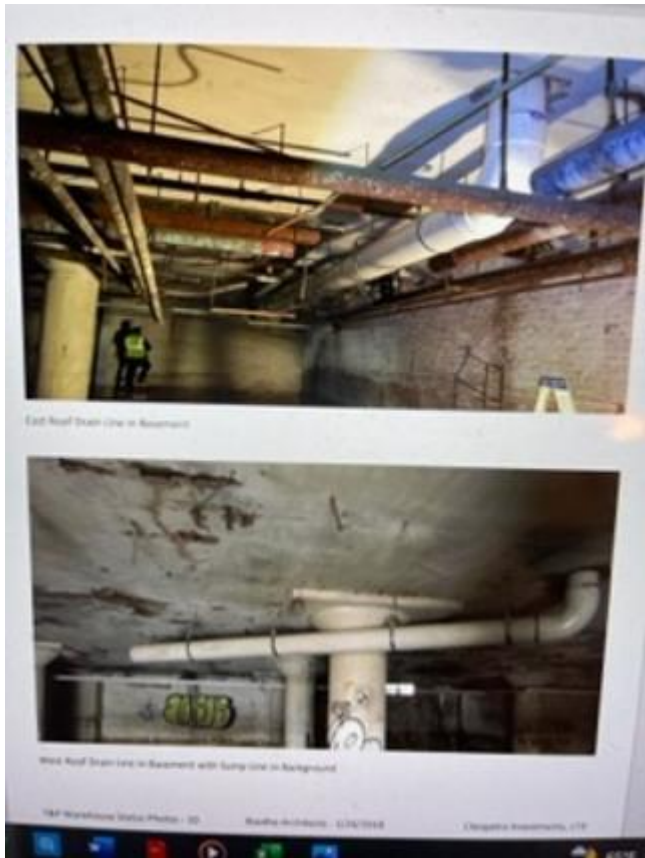
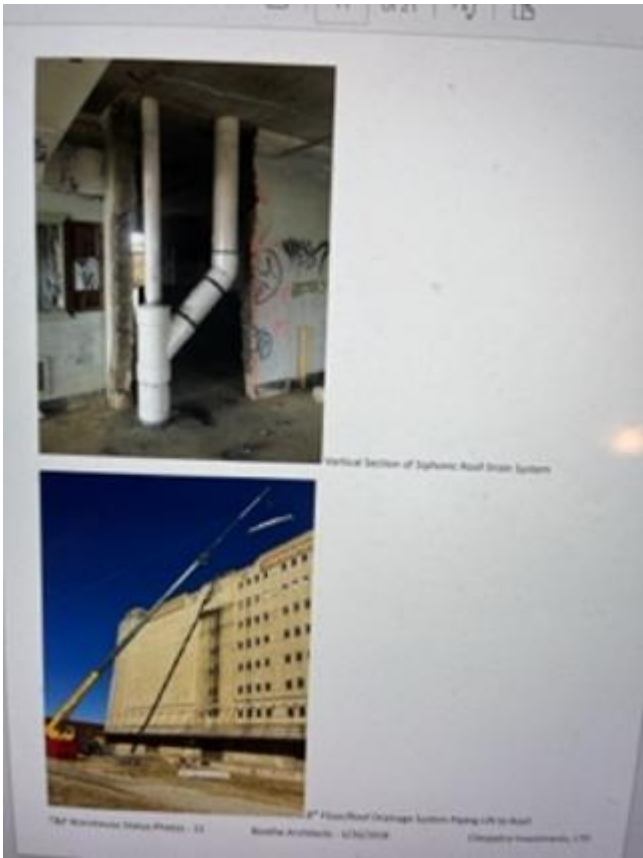


WINDOWS





NEW DRAINAGE SYSTEM from roof to basement to outside to connect with city lines





City Installing Sewer Trap



Roof Storage System Being Installed

T&P Warehouse Status Photos - 6

Booth Architects - 1/16/2018

Chapman Investments, LTD



Installed Pumps & Drainage Piping West Basement Sump



New Storm Sewer Inlet by City

T&P Warehouse Status Photos - 6

Booth Architects - 1/16/2018

Chapman Investments, LTD



Installed Pumps & Drainage Piping East Basement Sump



Sewer Piping to Carry 40' Water for West End of Basement to Connect to City System

T&P Warehouse Status Photos - 7

Booth Architects - 1/16/2018

Chapman Investments, LTD



Material Removed for Repair of Missing Lower Walls of Southwest and Northwest Bungalows



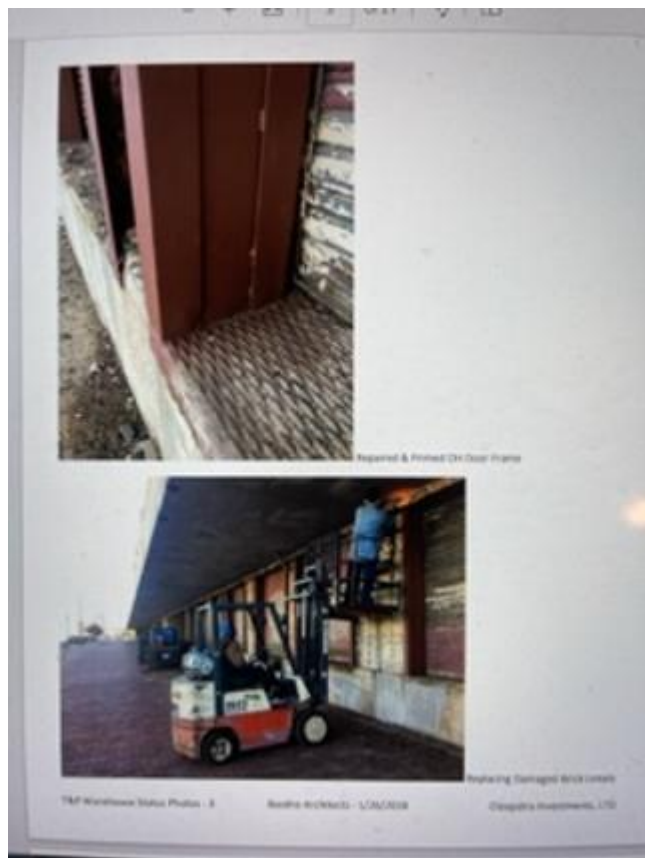
Southwest Bungalow

T&P Warehouse Status Photos - 8

Booth Architects - 1/16/2018

Chapman Investments, LTD

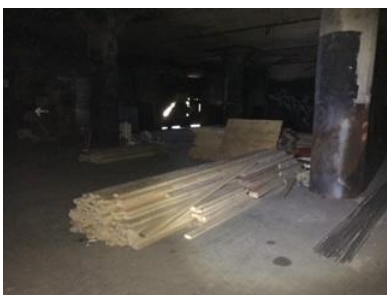
NORTH

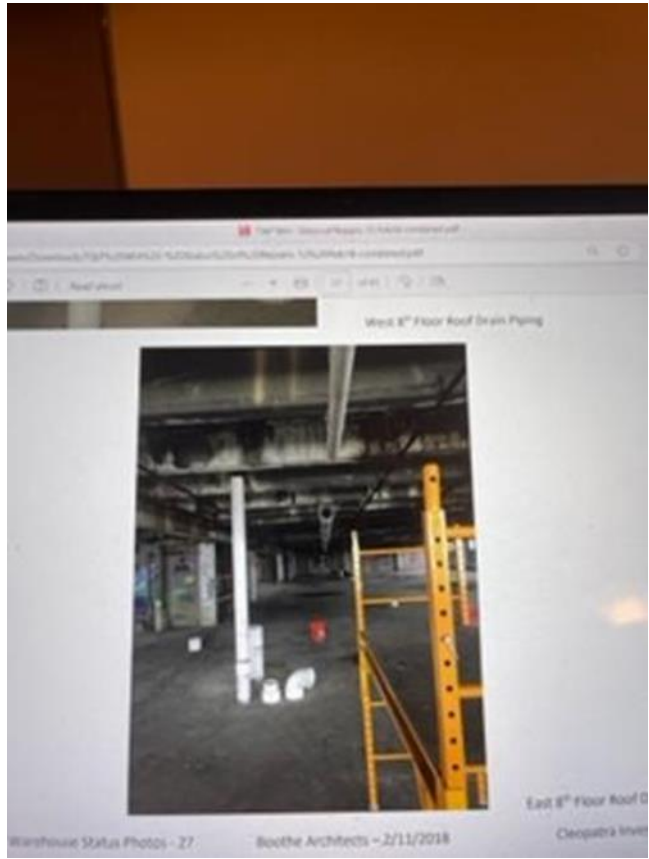
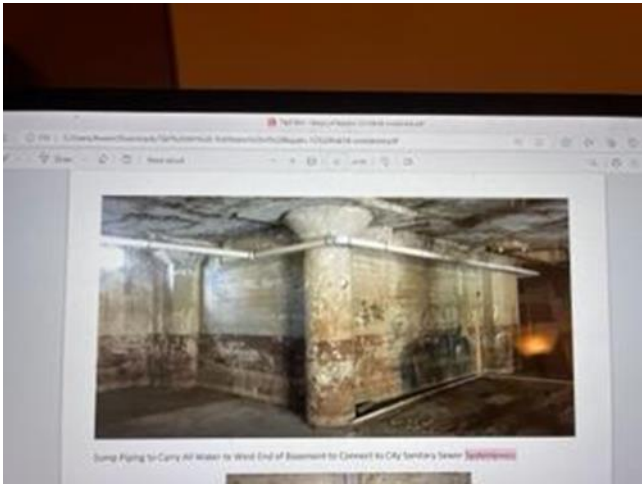


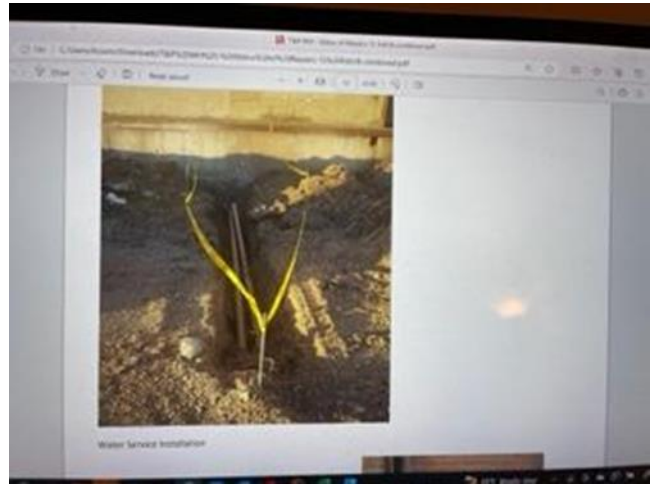
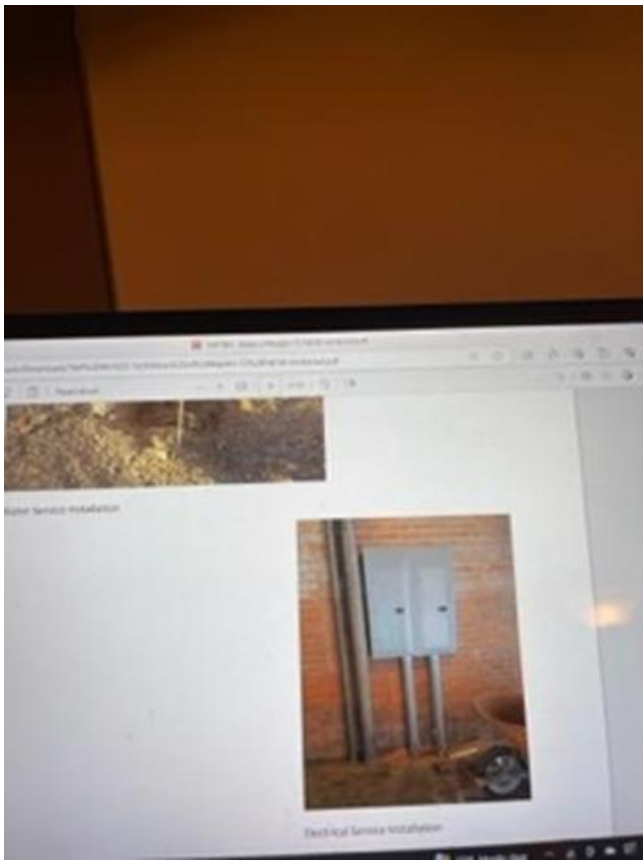
Overhead Doors Repairs & Restoration - North OH Doors repairs, materials inside for work 5/15/27











SUMMARY

[I] While the expectation was to see the timeline for both public and private projects coordinated, unfortunately, this did not happen and the T&P had to wait until all public projects were completed. Yet, we did not dwell on it and [without asking the city for additional financial gap filling], proceeded with our application to the State in 2014 and planned to have the Debt & Equity in place and start the construction of the T&P to be completed by the time H-L is completed. The timeline was carefully analyzed and coordinated with the H-L estimated construction timeline.

For many years, the T&P has accommodated, and facilitated the execution of the public projects by providing the easements and land necessary to complete these projects. Included in that, the alignment of TEXRail which led to multiple re-design by owner for the T&P site, garage and Phase-II resulting in further reduction of Phase-II size and contribution to the delays of T&P project.

Each delay caused by the public projects and other interferences, resulted in financial burdens to the T&P such as the, continuous pre-development cost, asset and other carrying cost, stabilization cost [some of their Y2017-2018 photos attached], as well as the increased projected rehabilitation cost due to the building aging condition which added to the project redevelopment budget, ----- that is not to mention the rising construction cost and interest rate, inflation, and other changing market condition.

[II] During the planning and work on these public projects, it would have been ideal to have had a coordinator, to champion the Historic T&P cause by dedicating some attention to the impact of the design and construction delays of the public projects on the Historic T&P and its development vitality as a major project deserves attention. While all the efforts and attentions were focused on the public projects, their challenges, delays - especially H-L delays along with its rising construction cost and financial gap & its sources, no single focus or attention expressing concerns or considerations for the status & additional challenges the T&P had to face, including the newly created access challenge plus the impact on its physical condition during a 20-year of ongoing construction & delays which in large required the use of T&P property. Those, which, among other reasons not due to owner, despite of all owner's efforts, prevented the T&P redevelopment timely and contributed to the Property aging condition. Owner's non-stop relentless effort to redevelop the property while facing the obvious challenges of the size, condition and age, were compounded by the above listed challenges. Currently, the latest owner's re-mobilization effort started about 18 month ago.

T&P Stabilization Work 2017 to 2018

Pics of 12/5/17



PH's before masonry repairs and materials + Bricks on roof









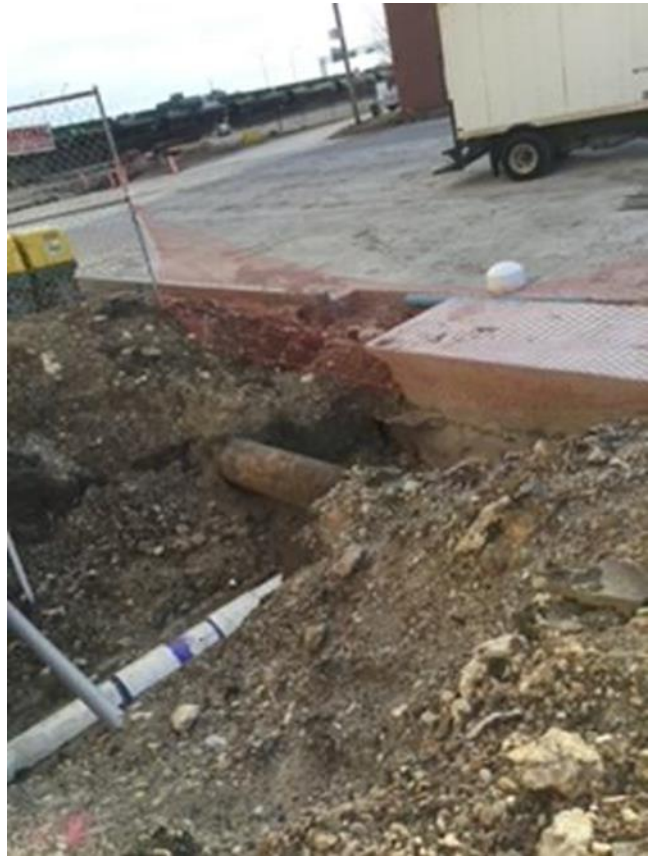




Roof Drainage, utilities, masonry ++ 3/10/18



Roof Drainage, utilities, masonry ++ 3/10/18



A photograph showing two construction workers in high-visibility yellow vests and blue jeans applying a white waterproofing membrane to a flat roof. One worker is in the foreground, holding a brush and dipping it into a white bucket labeled 'Kwik Seal'. The other worker is further back, also applying the membrane. The roof surface is partially covered with the white material, while the rest is dark and appears to be old asphalt or concrete. In the background, a city skyline is visible under a clear sky.

Figure 3 -- 9.4.18 -- Final Coat on East Parapet Base Flashing



Figure 2 -- 9.4.18 -- Determining How to Install Flashing Around the Main Flue Stack for Coating



Figure 3 -- 9.4.18 -- South Area where Material Stored - to be Moved Tomorrow



Figure 4 -- 9.5.18 -- Final Coat and Touch-up on Flashings at North Parapet Wall

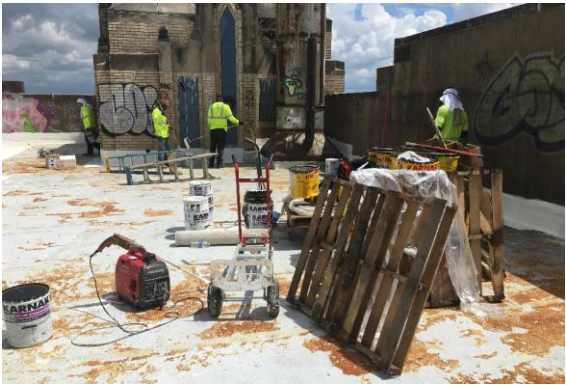


Figure 5 -- 9.5.18 -- Last Area at SE Corner to Prepare and Install the Final White Coat



Figure 6 -- 9.6.18 -- Limestone Joint Sealant Work - NE Bungalow



Figure 7 -- 9.6.18 -- South Parapet Limestone Cap Joint Sealant Prior to Mortar Dust Application



Figure 8 -- 9.6.18 -- Crew on Limestone Cap Joint Sealant Work



Figure 9 -- 9.6.18 -- North Side of Roof Looking East – Shows Completed Flashing and Final Top “White” Coat of Roofing

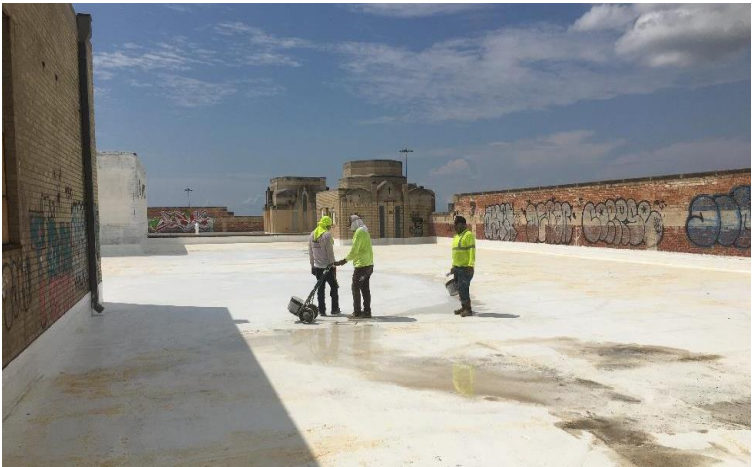


Figure 10 -- 9.6.18 -- North Side of Roof Looking West after Finish White Coat Installed – Touchup Work Progressing



Figure 11 -- 9.6.18 – West ‘Refrigerated Warehouse’ Section Looking Southeast – All Roofing & Flashing Completed – Touchup Progressing



Figure 12 -- 9.7.18 -- Touch-up Work on 2nd North Bungalow from West End



Figure 13 -- 9.7.19 -- Touch-up Work - Treating any Deck Cracks Which May Have Been Missed Earlier



Figure 14 -- Touch-up Work on Emergency Drain Scuppers



Figure 15 -- 9.7.18 -- Southeast Corner of Old Refrigerated Warehouse Area Showing Finished Flashing and Roof



Figure 16 -- 8.20.18 -- Ponding - Originally Deepest Area on Building



Figure 17 -- 8.20.18 -- Flashing of Parapet on a Penthouse



Figure 18 -- 8.20.18 -- Expansion Joint Cover Installed - Flashing Work on Bungalow

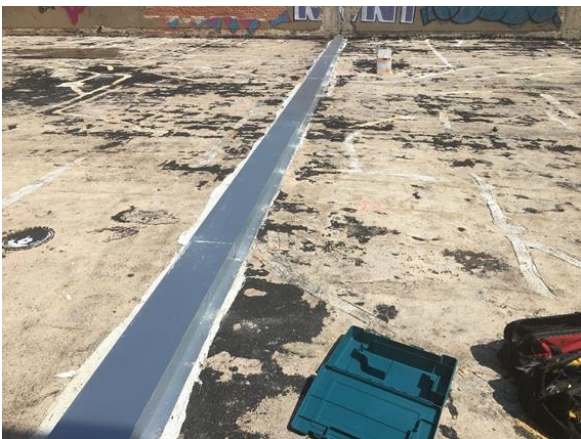


Figure 19 -- 8.20.18 -- Expansion Joint Cover Installed



Figure 20 -- 8.20.18 --Expansion Joint Cover Installed



Figure 21 -- 8.20.18 -- Penthouse Expansion Joint Installation



Figure 22 -- 8.20.18 -- Flashing & Expansion Joint Work on Penthouse



Figure 23 -- 9.6.18 -- Limestone Joint Sealant at SE Bungalow & Boiler Flue Stack

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Overhead Doors Repairs & Restoration - North OH Doors repairs, materials inside for work 5/15/17



**AMENDMENT NO. 1 TO
TAX INCREMENT FINANCING
DEVELOPMENT AGREEMENT**

This **AMENDMENT NO. 1 TO TAX INCREMENT FINANCING DEVELOPMENT AGREEMENT** ("Amendment") is entered into by and between the **BOARD OF DIRECTORS OF TAX INCREMENT REINVESTMENT ZONE NUMBER EIGHT, CITY OF FORT WORTH, TEXAS** (the "Board"), an administrative body appointed in accordance with Chapter 311 of the Texas Tax Code (the "TIF Act") to oversee the administration of Tax Increment Reinvestment Zone Number Eight, City of Fort Worth, Texas (the "TIF"), a reinvestment zone designated by ordinance of the City of Fort Worth ("City") in accordance with the TIF Act, and **CLEOPATRA INVESTMENTS, LTD. ("Developer")**, a Texas limited partnership.

The Board and Developer hereby agree that the following statements are true and correct and constitute the basis upon which the Board and Developer have entered into this Amendment:

A. On or about December 5, 2007 the Board and Developer entered into that certain Tax Increment Financing Development Agreement (the "Agreement") approved by the Board pursuant to Resolution 2006-03, as adopted during a posted public meeting of the Board held on June 29, 2006. Under the Agreement, the Board agreed to use certain TIF funds to reimburse Developer for certain improvements (the "Project") constructed by Developer in association with Developer's redevelopment of the T&P Warehouse, as more specifically set forth in the Agreement (collectively, the "Development").

B. The Agreement requires Developer to meet various milestones with respect to the Development, including the requirement that Developer provide the Director of the City's Economic and Community Development Department or his authorized designee and the Director of the City's Planning and Development Department with complete sets of architectural and engineering plans for the Development by not later than the last day of the twelfth (12th) full month following the Effective Date of the Agreement (the "First Milestone").

C. Due to engineering issues related to the City's proposed extension of Lamar Street and Hemphill Street as well as design of Lancaster Corridor, which issues potentially affect access to the Development, Developer's ability to preserve the Façade and HSE structure as contemplated in the Agreement, and the feasibility of meeting the milestones set forth in Section 5.1 of the Agreement, the parties wish to amend the Agreement to change the deadline for the First Milestone from the last day of the twelfth (12th) full month following the Effective Date (12/31/2008) to the last day of the nineteenth (19th) full month following the Effective Date (07/31/2009), without prejudice

✓

**AMENDMENT NO. 2 TO
TAX INCREMENT FINANCING
DEVELOPMENT AGREEMENT**

This AMENDMENT NO. 2 TO TAX INCREMENT FINANCING DEVELOPMENT AGREEMENT ("Amendment") is entered into by and between the BOARD OF DIRECTORS OF TAX INCREMENT REINVESTMENT ZONE NUMBER EIGHT, CITY OF FORT WORTH, TEXAS (the "Board"), an administrative body appointed in accordance with Chapter 311 of the Texas Tax Code (the "TIF Act") to oversee the administration of Tax Increment Reinvestment Zone Number Eight, City of Fort Worth, Texas (the "TIF"), a reinvestment zone designated by ordinance of the City of Fort Worth ("City") in accordance with the TIF Act, and CLEOPATRA INVESTMENTS, LTD. ("Developer"), a Texas limited partnership.

The Board and Developer hereby agree that the following statements are true and correct and constitute the basis upon which the Board and Developer have entered into this Amendment:

A. On or about December 5, 2007 the Board and Developer entered into that certain Tax Increment Financing Development Agreement approved by the Board pursuant to Resolution 2006-03, as adopted during a posted public meeting of the Board held on June 29, 2006, and as amended by that certain Amendment No. 1 to Tax Increment Financing Agreement approved by the Board pursuant to Resolution 2008-03, as adopted during a posted public meeting of the Board held on July 29, 2008 ("Amendment No. 1") (collectively, the "Agreement"). Under the Agreement, the Board agreed to use certain TIF funds to reimburse Developer for certain improvements (the "Project") constructed by Developer in association with Developer's redevelopment of the T&P Warehouse, as more specifically set forth in the Agreement (collectively, the "Development").

B. The Agreement requires Developer to meet various milestones with respect to the Development, as set forth in Sections 5.1.1 through 5.16 of the Agreement.

C. Due to engineering issues related to the City's proposed extension of Lamar Street and Hemphill Street as well as discussions relating to the Fort Worth Transportation Authority's need for additional right-of-way in the vicinity of the Development, which issues potentially affect access to the Development, Developer's ability to preserve the Façade and HSE structure as contemplated in the Agreement, and the feasibility of meeting the milestones set forth in Sections 5.1.1 through 5.1.6 of the Agreement, the parties wish to amend the Agreement to change the deadlines for such milestones, without prejudice to the existing rights of Developer in relation to the proposed street extension, design of Lancaster Corridor and their impact on the Project, in accordance with this Amendment.

AMENDMENT NO. 3 TO
TAX INCREMENT FINANCING
DEVELOPMENT AGREEMENT

This AMENDMENT NO. 3 TO TAX INCREMENT FINANCING DEVELOPMENT AGREEMENT ("Amendment") is entered into by and between the BOARD OF DIRECTORS OF TAX INCREMENT REINVESTMENT ZONE NUMBER EIGHT, CITY OF FORT WORTH, TEXAS (the "Board"), an administrative body appointed in accordance with Chapter 311 of the Texas Tax Code (the "TIF Act") to oversee the administration of Tax Increment Reinvestment Zone Number Eight, City of Fort Worth, Texas (the "TIF"), a reinvestment zone designated by ordinance of the City of Fort Worth ("City") in accordance with the TIF Act, and CLEOPATRA INVESTMENTS, LTD. ("Developer"), a Texas limited partnership.

The Board and Developer hereby agree that the following statements are true and correct and constitute the basis upon which the Board and Developer have entered into this Amendment:

A. On or about December 5, 2007 the Board and Developer entered into that certain Tax Increment Financing Development Agreement approved by the Board pursuant to Resolution 2006-03, as adopted during a posted public meeting of the Board held on June 29, 2006, and as previously amended by that certain Amendment No. 1 to Tax Increment Financing Development Agreement approved by the Board pursuant to Resolution 2008-03, as adopted during a posted public meeting of the Board held on July 29, 2008, and by that certain Amendment No. 2 to Tax Increment Financing Development Agreement approved by the Board pursuant to Resolution 2009-01, as adopted during a posted public meeting of the Board held on June 10, 2009 (collectively, the "Agreement"). Under the Agreement, the Board agreed to use certain TIF funds to reimburse Developer for certain improvements (the "Project") constructed by Developer in association with Developer's redevelopment of the T&P Warehouse, as more specifically set forth in the Agreement (collectively, the "Development").

B. The Agreement requires Developer to meet various milestones with respect to the Development, as set forth in Sections 5.1.1 through 5.1.6 of the Agreement. Developer has already timely met those milestones set forth in Sections 5.1.1 and 5.1.3 of the Agreement.

C. Due to engineering issues related to the City's proposed extension of Lamar Street and Hemphill Street (the "Street Project") as well as discussions relating to the Fort Worth Transportation Authority's need for additional right-of-way in the vicinity of the Development, which issues potentially affect access to the Development, Developer's ability to preserve the Façade and HSE structure as contemplated in the Agreement, and the feasibility of meeting the remaining milestones set forth in the

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 8

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Carlos Briones
LOCATION	917 E. Leuda St
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION	Terrell Heights

REQUEST

The applicant requests a Certificate of Appropriateness to construct a new residence.

APPLICABLE TERRELL HEIGHTS HISTORIC DISTRICT GUIDELINES**NEW CONSTRUCTION****Appropriate**

- *Follow existing patterns of spacing, mass, and orientation for construction and alterations.*
- *Respect reoccurring design patterns along the block face and streetscape.*
- *Use compatible size, shape, and proportion for new porches to preserve the existing patterns within the streetscape.*
- *Windows and doors should have similar proportions, patterns and transparency to existing historical patterns.*
- *Ranking, style and profile of windows should complement existing patterns within the streetscape and neighborhood.*
- *New construction should use roof form, pitch and overhang depth compatible to the existing patterns within the streetscape and neighborhood.*
- *Materials shall be consistent with the finish, texture, scale and reflectivity to materials historically used within the streetscape and neighborhood.*

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

FINDINGS/RECOMMENDATIONS

The applicant proposes a new one-story residence. A 10' wide driveway that extends along the side of the house with two parking spaces behind the front wall plane would be consistent with traditional site layouts in the district. However, the driveway details and the setback of the structure should be shown on a contextual site plan and should be the average of the setback of traditional structures along the block to ensure the proposed design is compatible with the predominant character of the streetscape and existing patterns of spacing, mass and orientation. The setback should be adjusted to be more consistent with existing historic properties.

A contextual elevation should be provided to depict a building form, massing, and design that is consistent with traditional building forms along the streetscape. The hipped roof form with a main ridge that runs parallel to E. Leuda Street is generally consistent with traditional roof forms along the streetscape, which feature a variety of hipped, gabled and cross-gabled roof forms. The proposed 6:12 roof pitch is somewhat consistent with traditional roof pitches along the streetscape, which feature roofs that have a variety of pitches. However, the elevations should be labeled with the changes in roof pitches throughout.

The layout of the building's form, which is rectangular in shape, is consistent with traditional building forms along the streetscape, which feature a smaller front elevation along the streetscape.

The proposed raised half-length porch incorporated under the main roof form is somewhat consistent with traditional porch forms along the streetscape, which typically feature partial porch designs incorporated into the side of a projecting form. The projecting wall plane on the side of the porch is consistent with traditional porch designs along the streetscape. The square columns are consistent with traditional column designs along the streetscape.

The Ship Lap Hardie board siding which shows a 6" reveal depicted in the elevations is compatible with the predominant character of horizontal siding in the area. However, the siding should extend down to 6" above grade.

The fenestration patterns, which feature recessed vinyl windows with a 2x projecting sill and trim, are somewhat incompatible with the predominant character of traditional fenestration patterns in the area in that the upper sash should be proud of the lower sash and the window unit should be recessed into the wall. Additionally, the trim between double windows should be a minimum 4", the door should be one that is consistent with traditional front door designs within the district, and the small window on the left elevation should be revised to meet a 2:1 height to width proportion.

In relation to materials, the proposed siding, windows, and asphalt shingle roofing are generally consistent with the finish, texture, scale and reflectivity of materials historically used within the streetscape and neighborhood. However, the proposed front door is inconsistent with traditional doors along the streetscape. Additionally, all materials should be listed on the front elevation.

Having regard to the foregoing, Staff recommends the following:

That the request for a Certificate of Appropriateness to construct a new residence at 917 E. Leuda Street be denied without prejudice, to allow the applicant time to provide required plans and address the following conditions:

- 1. That the setback be provided on a contextual site plan and be the average setback of historic properties along the block;**
- 2. That a site plan be provided which shows the driveway to be more consistent with driveways along the street;**
- 3. That a streetscape plan be provided to show the adjacent properties elevations for context;**
- 4. That the siding extends down to 6" above grade;**
- 5. That the front door be consistent with traditional front door designs within the district;**
- 6. That the small window on the left elevation be revised to meet a 2:1 height to width proportion;**
- 7. That all building materials be labeled on the front elevation; and**
- 8. That any adjustments made to the drawings be submitted to the Development Services Department prior to the issuance of a Certificate of Appropriateness.**

SUPPLEMENTAL MATERIAL

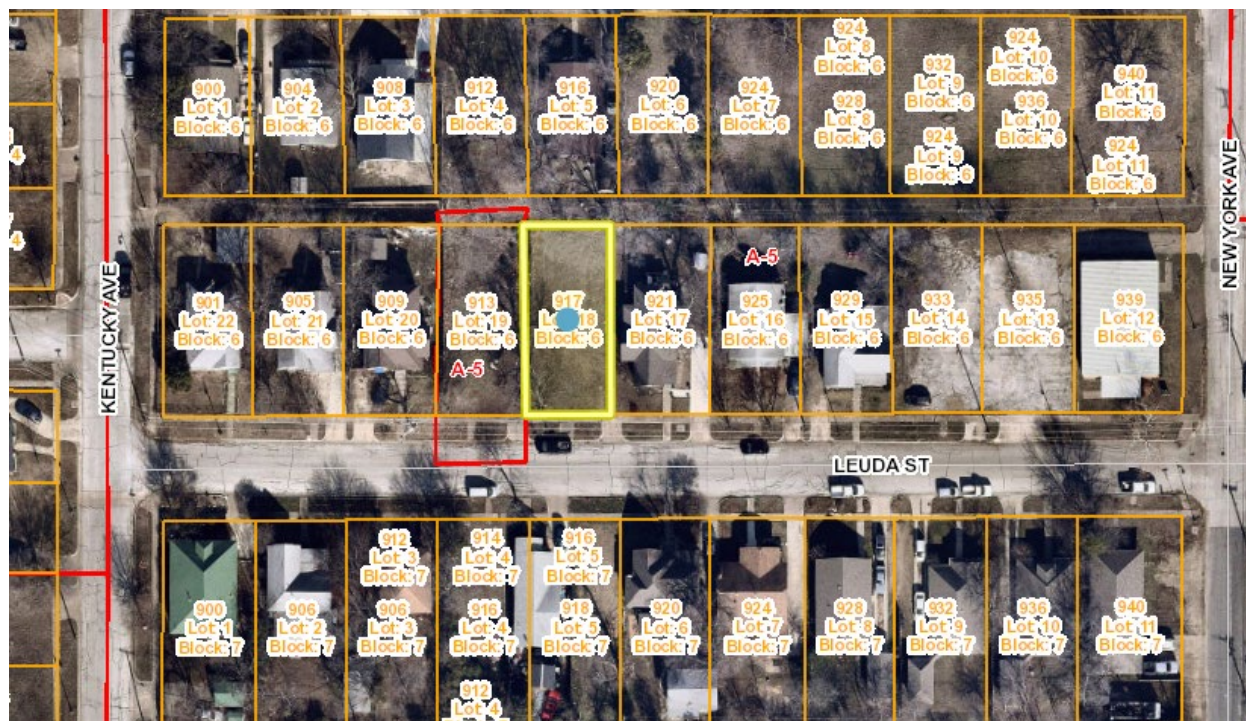


Figure 1. Aerial View with base zoning



Figure 2. View of the vacant lot as seen from E Leuda Street.



Figure 3. Historic structures along the block. From left to right: 905 E Leuda Street (c. 1930) and 909 E Leuda Street (c. 1922).

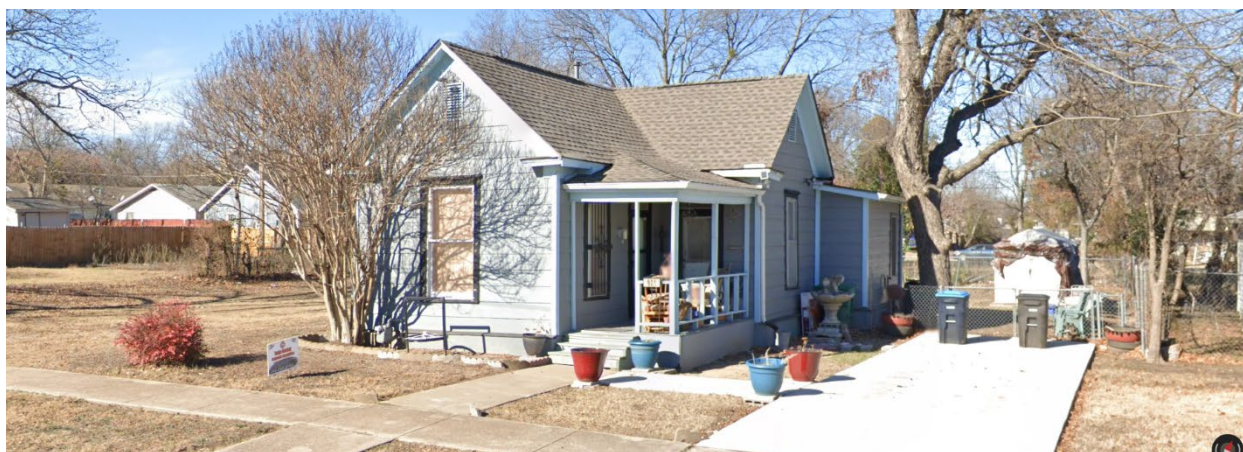


Figure 4. Historic structures along the block. To the right of the subject property: 921 E Leuda Street (c. 1921).



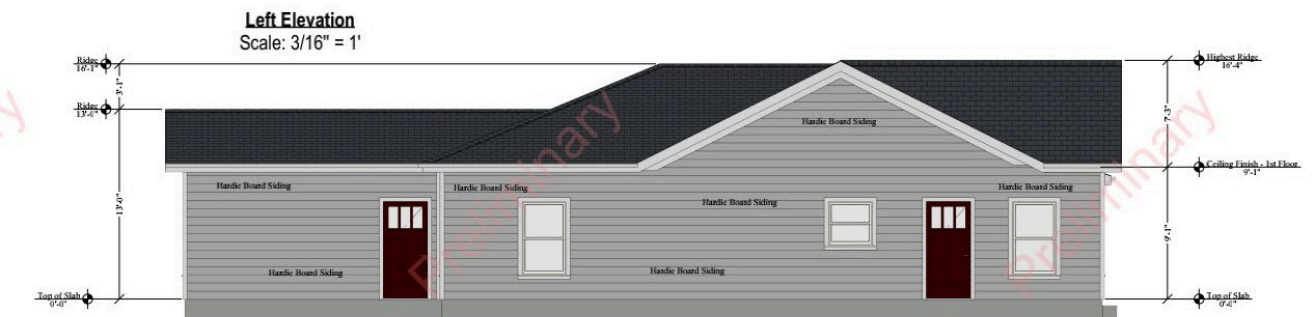
Figure 5. Historic structures along the block. In front of the subject property. From left to right: 920 E Leuda Street (c. 1921) and 916 E Leuda Street (c. 1924).



Front Elevation
Scale: 3/16" = 1'

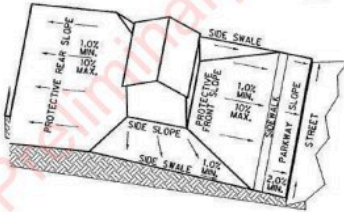


Back Elevation
Scale: 3/16" = 1'



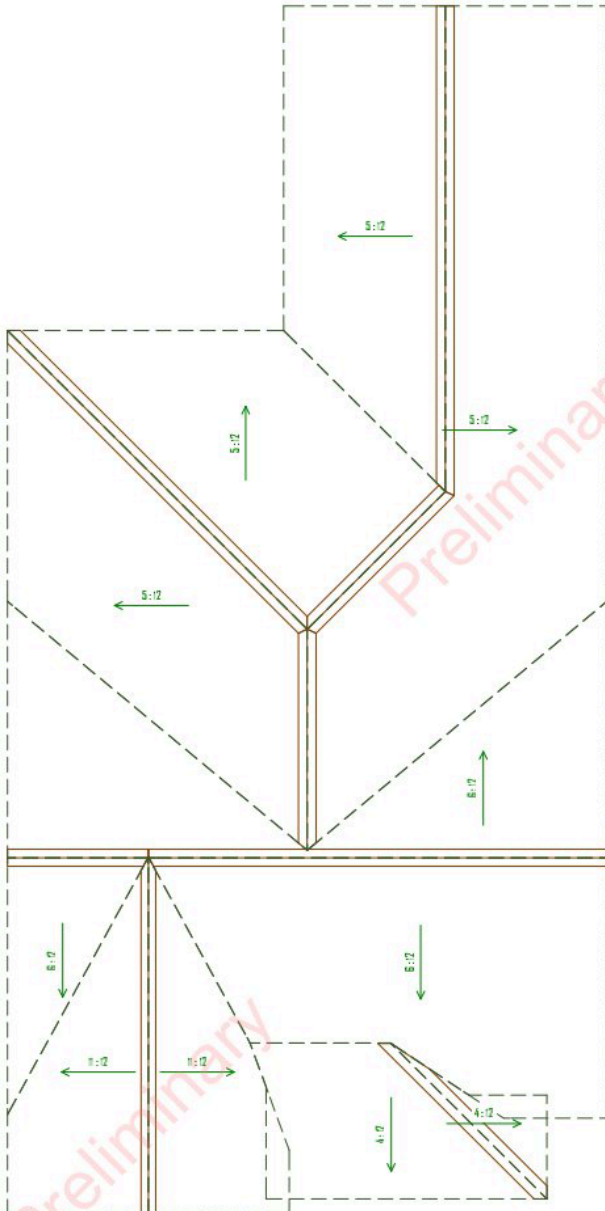
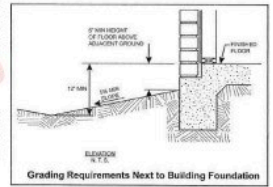
(The front yard setback in residential districts shall be the greatest of: The plat building line. The setback for the applicable zoning district or the setback of the nearest building on either side that is the closest to the street, up to a maximum setback of 50 feet, provided that said setback is not the result of a variance granted by the Board of Adjustment).

LOT GRADING TYPE B
DRAINAGE TO FRONT AND REAR LOT LINE

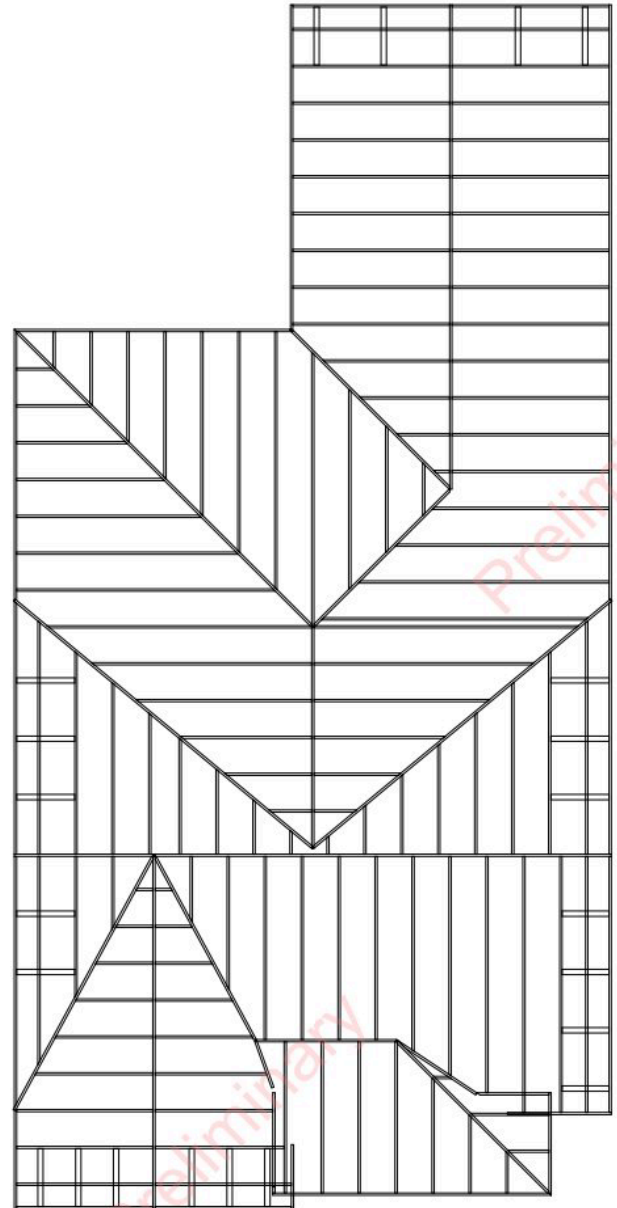


Single family lots must be graded in conformance with the grading plan established for the subdivision when applicable, and should normally follow FPA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 25'. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12" above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



Roof Layout & Framing
Scale: 1/8" = 1'



Floor Plan
Scale: 1/4" = 1'

LIVING AREA
1519 SQ FT

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 8

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Arnold Sefcik/Adrain Fisher Nolley
LOCATION	2909 Evans Ave
ZONING/ USE (S)	ER/HC
NEIGHBORHOOD ASSOCIATION	Morningside

REQUEST

Applicant appeals the decision of the Historic Preservation Officer and requests a Certificate of Appropriateness (COA) for work undertaken recently to paint the previously unpainted brick on the non-contributing structure.

BACKGROUND INFORMATION

- On **June 16, 2023**, the applicant applied for a building permit for work previously completed to repair the wall of the structure and was directed to contact Historic Preservation staff to apply for a Certificate of Appropriateness.
- On **July 24, 2023** the applicant submitted an application for a Certificate of Appropriateness to repair the wall and retain the recently painted masonry. The applicant attempted to remove the paint after speaking with staff, which was unsuccessful.
- On **August 4, 2023** the Historic Preservation Officer approved the repair to the wall and **denied** the request to retain the paint to the unpainted masonry because the request was inconsistent with the Historic Morningside District Guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.
- On **August 16, 2023** the applicant submitted a request to appeal the Historic Preservation Officer's decision to deny the request to retain the paint on the unpainted masonry.

APPLICABLE HISTORIC MORNINGSIDE DISTRICT GUIDELINES

The intent of the historic district is to preserve existing buildings which contribute to the overall historic identity and character of Historic Morningside. Wherever possible, materials, design, and craftsmanship of original features should be retained, used and maintained in a manner consistent with these guidelines.

Rehabilitation/Repair of Existing Structures
Appropriate

- Retain existing features, materials and design elements wherever possible. Replace only those portions that are beyond repair.

Inappropriate

- Using architectural decoration not original or typical to the architecture and era of a building.

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

MASONRY

Not Recommended

- Applying paint or other coatings (such as stucco) to masonry that has been historically unpainted or uncoated to create a new appearance.

FINDINGS/RECOMMENDATIONS

Historic Morningside Design Guidelines

The work undertaken at 2909 Evans Ave is inconsistent with the Historic Morningside District Guidelines. The painted brick alters the texture, finish, and appearance of the original materials, and introduces a new visual element that is incompatible with façade treatments of masonry structures elsewhere in the district.

Conclusion 1 - The work undertaken is inconsistent with the Historic Morningside Design Guidelines.

Secretary of the Interior's Standards for the Treatment of Historic Properties

The work undertaken is also inconsistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards 2 and 9 and Standards for Masonry). The painting on the brick obscures distinctive features and finishes on the structure associated with the original masonry and detracts from the overall historic character of the district. Painting of historically unpainted brick leads to the deterioration of the material and endangers the structural integrity of the building.

Conclusion 2 - The work undertaken is inconsistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Given the above, Staff recommend the following motion:

1. That the request for a Certificate of Appropriateness for a waiver from the Historic Morningside District Guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties* to retain recently painted masonry be denied without prejudice; and
2. That the applicant work with Preservation Staff on a practical mitigation strategy to remove the paint.

SUPPLEMENTAL MATERIAL



Figure 1. Aerial View of subject property.



Figure 2. Structure circa January 2022.



Figure 3. Post repair and paint circa June 2023.



Figure 4. South elevation post repair and paint, existing painted wall.

From the Desk of Adrain Fisher Nolley, MBA

Date: August 16, 2023

To: Lorelei Willett, Historic Preservation Officer

RE: 2909 Evan Ave, Fort Worth Texas 76104 (Morningside)

Ms. Willett, first let me start off by thanking you for your tact and courteousness' as we attempt to resolve this issue regarding the painting of the brick at the above-mentioned address. It was brought to me and my mother's attention that the salon (Fisher's Beauty) has been a part of the historical society since 2006, unbeknownst to us. I was informed that paperwork was mailed regarding this assignment to the salon. In the event my father received such paperwork as he is deceased, we were not aware, moving forward we would like to have a copy of the assignment. Before the conclusion or prior to me signing off the work completed by ICS, I was adamant regarding obtaining a permit for work done, in the event my mother chooses to sell said property mentioned above. I advised ICS and our Insurance Adjuster prior to construction as the bricks were old, and unable to be matched I wanted ICS to paint the front of the building for continuity. Several years ago, the city painted an area of the building on the south side that had graffiti on it. This has been an eyesore to the community as only a portion of the building was painted. Our plan was to paint the entirety of the building to hide what the community has done to my mother's property to help recover its property value.

Had I known of the historical disposition then we would have asked prior to this decision being made. At this juncture of the process let me point out why we made the decision to paint the brick we would like to keep the paint as is, or the city can require the contractor to paint the building another color, with that being said, I will bullet point below our requests:

- Recover diminished value created by our community when spraying graffiti on our property
- Poor repair by the City of Fort Worth to mask the damage to the property by the community
- Damaged brick was unable to be rematched, contractor refurbished and reused old brick.

- Without paint there would be no continuity across the front of the structure, thus damage caused would be more noticeable.
- Paint was applied to the front structure thus allowing the damaged area to blend in seamlessly with the rest of the structure.
- Our plan was to repaint the entire exterior to recover lost value created by the community to our property.

It is our hope that the paint remains in the front or that permission to paint the building in its entirety is given, as ICS has been unable to remove it. The Historic District can state or suggest colors of choice. This would be good for resale value in the event my Mother chooses to do so.

In conclusion, thank you very much for allowing us the opportunity to share our concerns.

Sincerely,

Adrain Fisher Nolley, MBA on behalf of Verdell K. Fisher

Figure 5. Appeal letter from owner.

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 5

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Lluvia Gamboa
LOCATION	5500 Alexander
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION REQUEST	Historic Carver Heights

Applicant requests a Certificate of Appropriateness for work that was recently undertaken to construct a carport at the front of structure.

BACKGROUND

- On **January 4, 2023**, a notice of violation was issued to the owner for work recently undertaken without a Certificate of Appropriateness to construct a carport at the front of the structure.
- On **January 9, 2023** the applicant submitted an application for a Certificate of Appropriateness for work that was recently undertaken to construct a carport at the front of structure.
- On **June 15, 2023** the Historic Preservation Officer denied the request for a Certificate of Appropriateness for work that was recently undertaken to construct a carport at the front of structure.
- On **July 1, 2023** the applicant appealed the decision of the Historic Preservation Officer to deny the request for a Certificate of Appropriateness for work that was recently undertaken to construct a carport at the front of the structure.

APPLICABLE HISTORIC CARVER HEIGHTS DISTRICT GUIDELINES: REHABILITATION OF AND ADDITIONS TO EXISTING BUILDINGS**Driveways and Parking - Not Appropriate**

- *Garages or carports not integrated into the overall design and construction of the house or which overwhelm the presence of the living space.*
- *Attached garages or carports that are not proportional to the existing house.*

Accessory Structures - Not Appropriate

- *Locating an accessory structure in the front yard.*

Carport Materials

- *The carport is wood post and beam and wood framing.*
- *Hardie board siding*
- *Shingled roof*

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

FINDINGS/RECOMMENDATIONS

The proposed request is for work that was recently undertaken to construct a carport at the front of residence located at 5500 Alexander Dr. The owner did not submit a plan set for staff to review, the applicant provided images which are part of this report.

In order for staff to make a sound, well-reasoned decision on any case, it is imperative that accurate, annotated plans be submitted for consideration. Without an accurate, detailed plan set, it is unclear what the scope of work will be undertaken. In regards to this case, there are several key data points and drawings that are missing, which will hamper staff review.

The carport is inconsistent with the guidelines for Driveways and Parking, Accessory Structures, and New Construction in the Historic Carver Heights District because of the design, proportion, and location. The current carport is taller than the existing residence and projects further into the front yard than is appropriate. This alters the character of the house and affects the historic character of the district.

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* states that new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The carport is out of scale with the existing residence and alters the character of the residence and typical characteristics of the district which generally features attached one-car garages on the side of the existing residence and does not project into the front.

Therefore, Staff recommends the following motion:

That the request for a Certificate of Appropriateness for work that was recently undertaken to construct a carport at the front of structure be denied without prejudice because the request is inconsistent with the Historic Carver Heights District Guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, and that the applicant work with staff on a mitigation strategy.

SUPPLEMENTAL MATERIAL

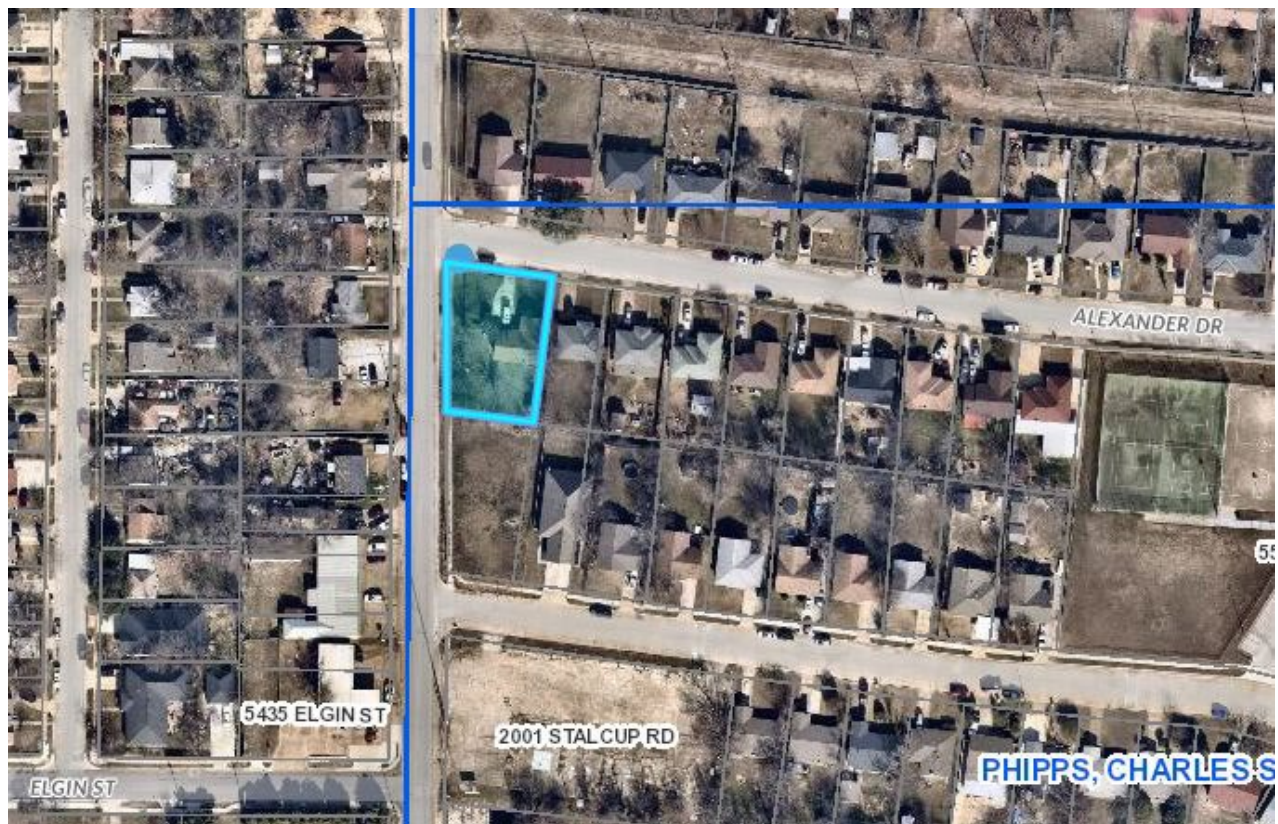


Figure 1. Aerial View of subject property.



Figure 2. Street view of subject property.



Figure 3. Front elevation view of previously constructed carport



Figure 4. Close up view of previously constructed carport

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 9

GENERAL INFORMATION

REQUEST	Historic Site Tax Exemption – Verification
APPLICANT/AGENT	Dwell Property Management LLC/Kristen Correa
LOCATION	1609 Fairmount Ave
ZONING/ USE (S)	C/HC
NEIGHBORHOOD ASSOC.	Fairmount Historic District

REQUEST

Applicant requests that the Historic and Cultural Landmarks Commission certify that the eligible work undertaken meets the requirements of the City of Fort Worth Zoning Ordinance and recommend that City Council consider approving the request for the Historic Site Tax Exemption – Verification.

BACKGROUND INFORMATION

On March 22, 2023 the Historic Preservation Staff deemed the application complete and approved the Historic Site Tax Exemption – Partial along with the following scope of work:

- Repair the foundation;
- Remove asbestos and repair/replace wood siding;
- Repair roof;
- Repair and selectively relocate window in front elevation to its original location;
- Paint exterior;
- Repair structural floors;
- Repair the plumbing system; and
- Upgrade the electrical system.

HISTORIC SITE TAX EXEMPTION (2022) VALUES (Figures taken from TAD)

Land appraised value	\$ 75,000
Improvements appraised value	\$ 46,268
Total appraised value	\$121,268
Less 20% Homestead Exemption	- \$0
Net Taxable Value	\$121,268
 Required 20% expenditure	 \$9,253
Estimated expenditures	\$64,847

Estimated 2023 municipal property taxes	\$2,313
Estimate of municipal tax savings over 10-year term (average 3.5% annual growth in value)	\$18,102

APPLICABLE REGULATIONS

§ 4.401(i) *Designation as historic and cultural landmark ("HC")*

(4) *Eligibility*

1. Subject to the provisions of this § 4.401(f), a structure that is individually designated as HSE or HC or a contributing historic structure located in a HC District, and the land necessary for access to and use of the structure, that is substantially treated in accordance with this Historic Preservation Ordinance will be eligible to receive a historic site tax exemption.

SUBSTANTIAL TREATMENT means treatment at a cost that equals or exceeds the greater of (i) \$3,000 or (ii) 20% of the appraised value of a structure as of the year prior the year in which a historic site tax exemption application is deemed complete as determined by the HPO.

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

FINDINGS/ RECOMMENDATIONS

The structure located at 1609 Fairmount Ave is a one-story residential building with an integral partial-length porch. The structure was built circa 1924 and is characterized by a cross gabled roof, asbestos siding, a decorative bracketed top porch and variable Folk Victorian details. All work considered to be a substantial treatment cost was associated with rehabilitation of the existing structure. It is a contributing structure in the Fairmount Historic District.

In accordance with the City of Fort Worth Comprehensive Zoning Ordinance, *Verification of completion of project*, the following documentation has been provided to the Historic Preservation Officer:

- a. Sworn statement of completion of the project;
- b. Copies of all receipts for the costs of the project;

- c. Documentation that all required inspections of the project have been performed by the Planning and Development Department;
- d. Proof that costs are eligible
- e. Proof that the cost of the rehabilitation equals or exceeds the greatest of 20% of the assessed value of the structure prior to rehabilitation or \$3,000.

Staff have verified that the scope of eligible work has been completed. The request for the historic site tax exemption is being brought forward because the expenditures meet the 20% threshold required. The work was completed in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and the "Partial" application approved by Preservation Staff on March 22, 2023. The request for a tax exemption meets the requirements of the City of Fort Worth's Zoning Ordinance.

Having regard to the foregoing, Staff recommend the following:

That the eligible work undertaken is certified to meet the requirements of the City of Fort Worth Zoning Ordinance and that the Historic and Cultural Landmarks Commission recommend that City Council consider approving the request for the Historic Site Tax Exemption – Verification, for the property located at 1609 Fairmount Ave.

SUPPLEMENTAL INFORMATION



Figure 1 – Aerial view of subject property.



Figure 2 – Front elevation of residence before work.



Leaning Foundation Pier



Leaning Foundation Pier



Leaning Foundation Pier



Leaning Foundation Pier

Figure 3 – Photos of foundation before repairs.



Hail Damaged Shingles



Damaged Shingles



Hail Damaged Shingles



Hail Damaged Shingles



Hail Damaged Shingles



Hail Damaged Shingles

Figure 4 – Photos of roof before repairs.



Damaged Siding on North Side



Damaged siding at the Front Porch



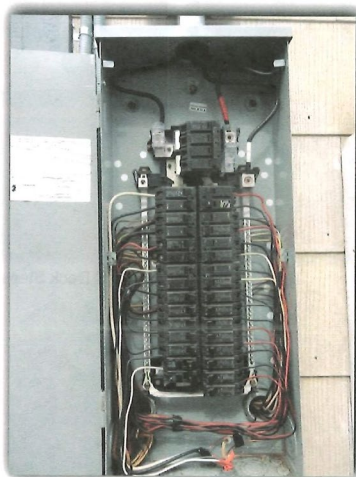
Damaged Trim at the Southwest Corner



Damaged Siding at the South Side of House

Figure 5 – Photos of siding before repairs.

Main Disconnect Panel



Service Panel



Service Panel Breakers Not Labeled



Improper Kitchen Wiring



Wiring in NW Bedroom Not in Conduit



**Wiring Connections Not in Junction Box Junction Box in Stairway Not Secured
Ground/ARC Fault Circuit Interrupt Safety Protection**



Figure 6 – Photos of electrical system before repairs.



Figure 7 – Photos of the front window showing where the original window was located before repairs.



Figure 8 – Front elevation of residence after work.



Figure 9 – Rear elevation before renovation/repairs.



Figure 10 – Rear elevation after renovation/repairs.



Figure 11 – Structural repairs to floor and foundation.



Figure 12 – Photo of the rear yard.

Permit No.	Status	Status Date	Type	Numb	Dir	Street Name	Street Type
PP23-06911	Finaled	5/19/2023	Plumbing Standalone Permit	1609		FAIRMOUNT	AVE
PE23-03862	Finaled	5/10/2023	Electrical Standalone Permit	1609		FAIRMOUNT	AVE

Figure 13 – Verified plumbing and electrical repairs completion.

Verified Receipts			
Alpha Environmental	Asbestos Abatement	3/13/2023	\$ 7,000.00
Asbestos Inspectors Inc	Environmental Consultants	2/15/2023	\$ 455.00
D-W Foundation Repair	Foundation Repair	3/13/2023	\$11,475.00
K&M Services	Roof	5/3/2023	\$12,817.06
Mr. Sandless aka Amity Floor	Repair damaged wood area	3/15/2023	\$ 1,000.00
Sydney Worthington	Siding & Paint 1st Draw	3/28/2023	\$ 5,000.00
Sydney Worthington	Siding & Paint 1st Draw	3/29/2023	\$ 2,500.00
Sydney Worthington	Siding & Paint 3rd Draw	4/18/2023	\$ 5,000.00
Sydney Worthington	Siding & Paint 4th Draw	4/19/2023	\$ 5,000.00
Build Dream Homes	Plumbing throughout to alley	3/30/2023	\$ 6,000.00
Build Dream Homes	Gable vent, window, crown	4/23/2023	\$ 950.00
Build Dream Homes	Electrical throughout and panel	4/13/2023	\$ 7,650.00
Total Expenditures verified and on file:			\$64,847.06

Figure 14 – Verified totals of the receipts submitted showing completed work.

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 8

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Irving Gatica/Enrique Martinez
LOCATION	921 Bessie St
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION REQUEST	Terrell Heights

Applicant requests a Certificate of Appropriateness to construct a new residence.

APPLICABLE TERRELL HEIGHTS DISTRICT GUIDELINES

New construction within a historic district shall not emulate a historic building, but it should reflect the contributing elements and patterns found within the neighborhood, the streetscape, and the block where it will be located. The intent of these guidelines is not to limit creativity but to encourage compatible design and construction.

Appropriate

- *Follow existing patterns of spacing, mass, and orientation for construction and alterations. Respect reoccurring design patterns along the block face and streetscape.*
- *Use compatible size, shape, and proportion for new porches to preserve the existing patterns within the streetscape.*
- *Windows and doors should have similar proportions, patterns and transparency to existing historical patterns. Ranking, style and profile of windows should complement existing patterns within the streetscape and neighborhood.*
- *New construction should use roof form, pitch and overhang depth compatible to the existing patterns within the streetscape and neighborhood.*
- *Materials shall be consistent with the finish, texture, scale and reflectivity to materials historically used within the streetscape and neighborhood.*
- *Traditional building materials like wood, brick, stucco and stone are acceptable materials for new construction.*
- .

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy

historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

FINDINGS/RECOMMENDATIONS

The proposed design of the one-story residence depicts an orientation and setback that is consistent with the predominant character of the streetscape and the existing patterns of spacing, mass and orientation. The proposed driveway, which extends along the side of the house, is consistent with traditional site layouts in the district.

The building massing, design and form of the project, which has a rectangular plan with a narrow front elevation, is generally consistent with traditional building forms in the surrounding area.

The proposed raised half-length porch is consistent with traditional porch forms in the surrounding area which typically feature full or partial porch designs along the front. The proposed columns are 8"x8" cedar posts, which are also consistent with the neighborhood.

The proposed 5:12 roof pitch and hipped roof form is generally consistent with traditional roof pitches along the streetscape which features a variety of pitches.

The fenestration patterns are generally compatible with the predominant character of traditional fenestration patterns in the area. However, the paired windows on the front and the rear need at least 4" of trim in between. The right window on the rear elevation also needs to be a 1/1 windows, similar to what is on the rest of the house. The plans need to include the window measurements and a section of the window construction, showing a projecting sill and trim.

In relation to materials, the proposed engineered fiber cement board siding is somewhat consistent with the surrounding area. However, there are no dimensions noted in the plans for the siding, which should be included.

Having regard to the foregoing, Staff recommends the following:

That the request for a Certificate of Appropriateness to construct a new residence 921 Bessie St be approved, subject to the following conditions:

- 1. That the applicant include a section drawing showing a projecting trim and sill;**
- 2. The siding dimensions be included with the plans;**
- 3. That any adjustments made to the drawings be submitted to the Development Services Department prior to the issuance of a Certificate of Appropriateness.**

SUPPLEMENTAL MATERIAL

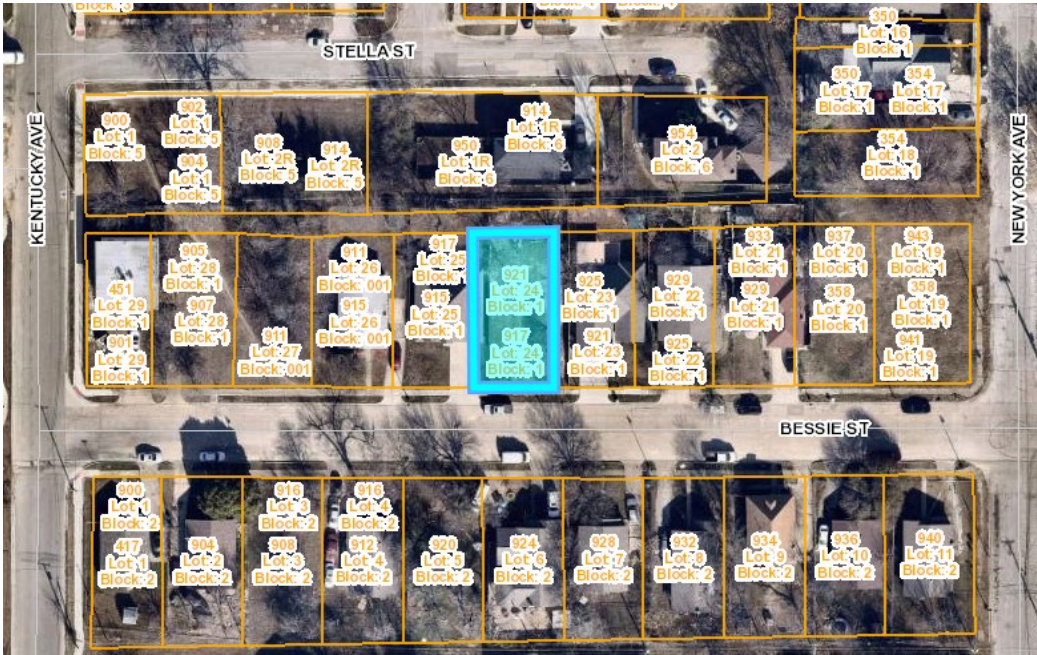


Figure 1 Aerial of Subject Property



Figure 2 View of Subject property, 921 Bessie St.



Figure 3 View of only neighboring historic property, 934 Bessie St, Built c. 1920

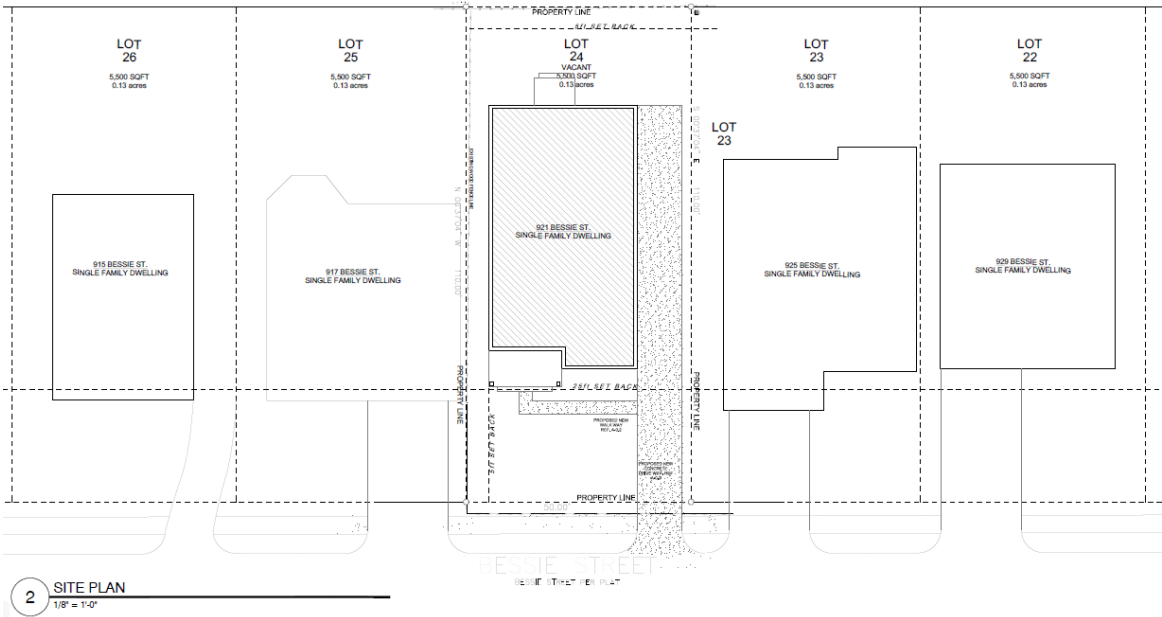


Figure 4 Site Plan



1 FRONT ELEVATION

1/4" = 1'-0"

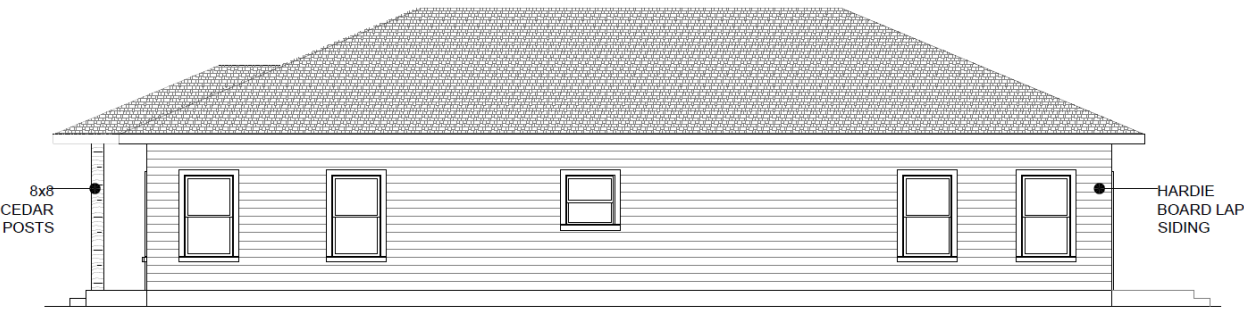
Figure 5 Front Elevation



2 REAR ELEVATION

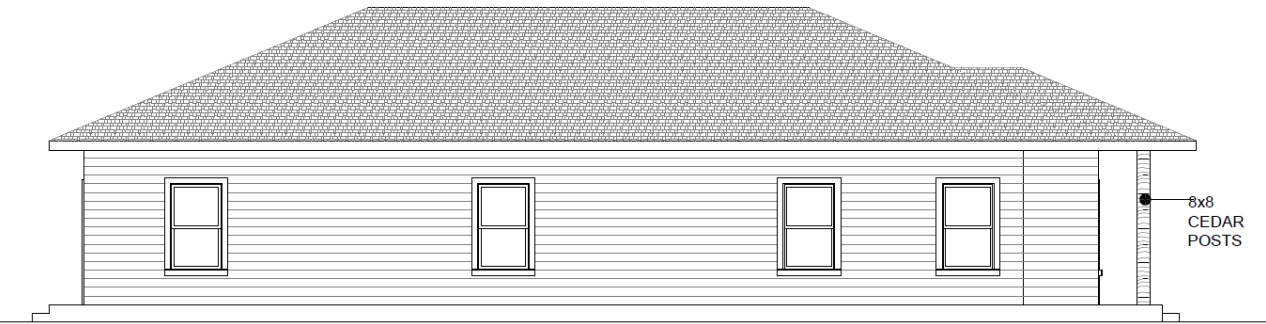
1/4" = 1'-0"

Figure 6 Rear elevation



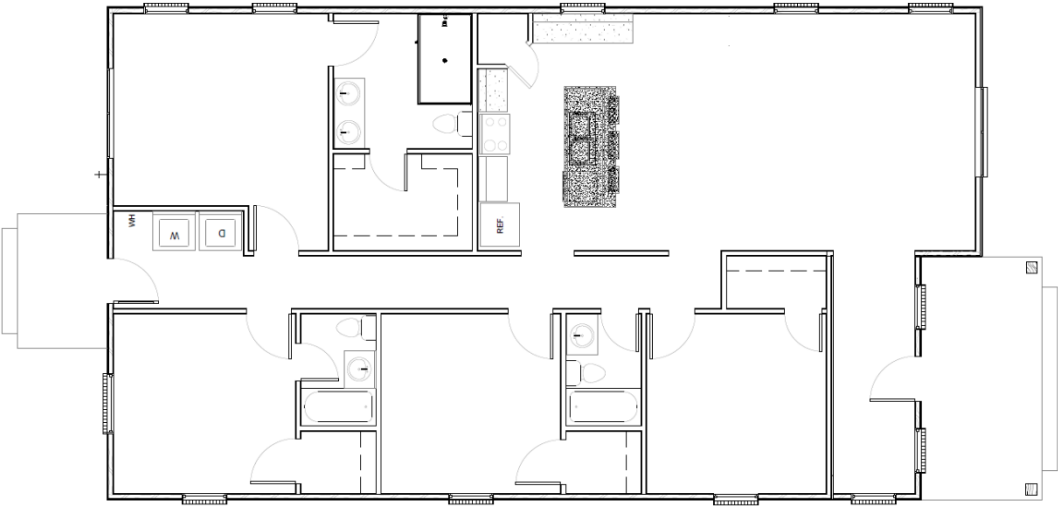
3 SIDE ELEVATION - EAST
1/4" = 1'-0"

Figure 7 East elevation



4 SIDE ELEVATION - WEST
1/4" = 1'-0"

Figure 8 West elevation



5 FLOOR PLAN
1/4" = 1'-0"

Figure 9 Floor Plan

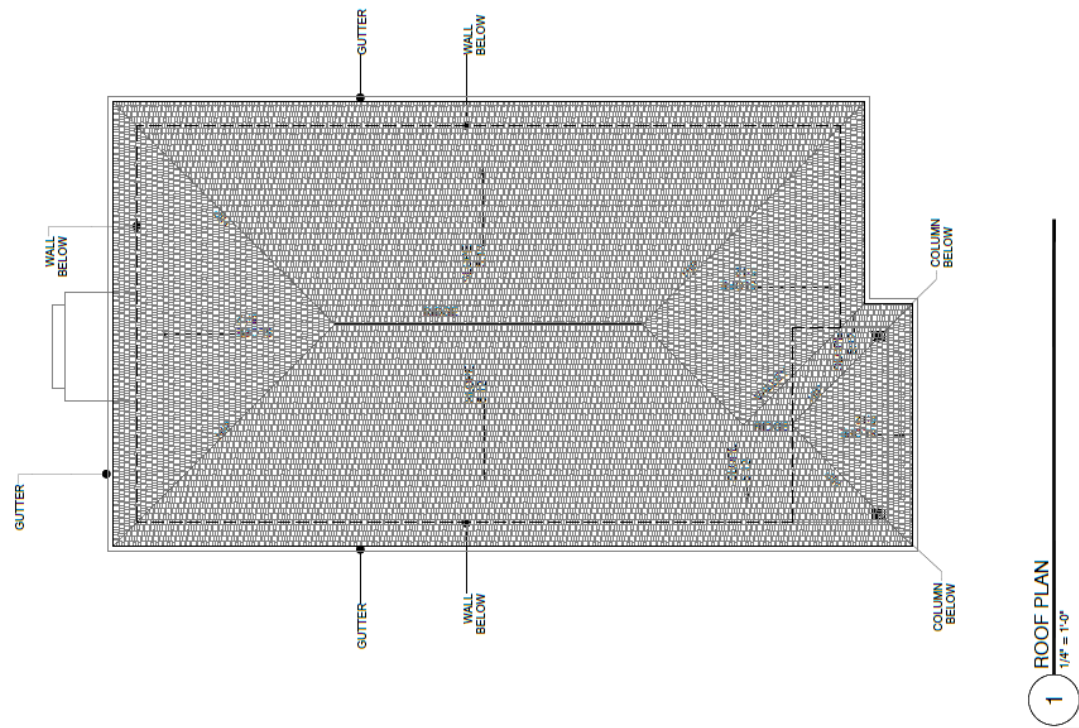


Figure 10 Roof plan

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 8

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Lucy Garcia
LOCATION	1612 E Leuda St
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION REQUEST	Terrell Heights

Applicant requests a Certificate of Appropriateness to construct a new residence.

APPLICABLE TERRELL HEIGHTS DISTRICT GUIDELINES

New construction within a historic district shall not emulate a historic building, but it should reflect the contributing elements and patterns found within the neighborhood, the streetscape, and the block where it will be located. The intent of these guidelines is not to limit creativity but to encourage compatible design and construction.

Appropriate

- *Follow existing patterns of spacing, mass, and orientation for construction and alterations. Respect reoccurring design patterns along the block face and streetscape.*
- *Use compatible size, shape, and proportion for new porches to preserve the existing patterns within the streetscape.*
- *Windows and doors should have similar proportions, patterns and transparency to existing historical patterns. Ranking, style and profile of windows should complement existing patterns within the streetscape and neighborhood.*
- *New construction should use roof form, pitch and overhang depth compatible to the existing patterns within the streetscape and neighborhood.*
- *Materials shall be consistent with the finish, texture, scale and reflectivity to materials historically used within the streetscape and neighborhood.*
- *Traditional building materials like wood, brick, stucco and stone are acceptable materials for new construction.*
- *Using creative, pedestrian friendly design for new commercial buildings is encouraged.*
- *Orient new commercial buildings to the sidewalk with easy access for pedestrians.*
- *Locating parking and drive-thru features for commercial buildings on the rear or interior side of the lot.*
- *Locate commercial buildings close to the street and sidewalk in an appropriate urban form.*

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

FINDINGS/RECOMMENDATIONS

The proposed design of the one-story residence depicts an orientation and setback that is consistent with the predominant character of the streetscape and the existing patterns of spacing, mass and orientation. The proposed driveway, which extends along the side of the house, is consistent with traditional site layouts in the district.

The building massing, design and form of the project, which has a rectangular plan with a narrow front elevation, is generally consistent with traditional building forms in the surrounding area.

The proposed raised half-length porch is consistent with traditional porch forms in the surrounding area which typically feature full or partial porch designs along the front or incorporated into the side of a projecting form. The porch also features 8" square columns that are consistent with historic patterns in the neighborhood.

The proposed 8:12 roof pitch and gabled roof form is generally with traditional roof pitches along the streetscape which features a variety of pitches.

The fenestration patterns, which feature recessed vinyl windows with a projecting sill and 5" trim, are generally compatible with the predominant character of traditional fenestration patterns in the area. A window section detail is also provided, showing the correct window construction.

In relation to materials, the proposed engineered fiber cement board siding with 5" exposure is also consistent with the surrounding area. The roofing materials are also appropriate.

The overall design is consistent with the with the guidelines for new construction within Terrell Heights, however there are no drawings for the south and west elevations, which should be provided.

Having regard to the foregoing, Staff recommends the following:

That the request for a Certificate of Appropriateness to construct a new residence 1612 E Leuda St be approved.

SUPPLEMENTAL MATERIAL

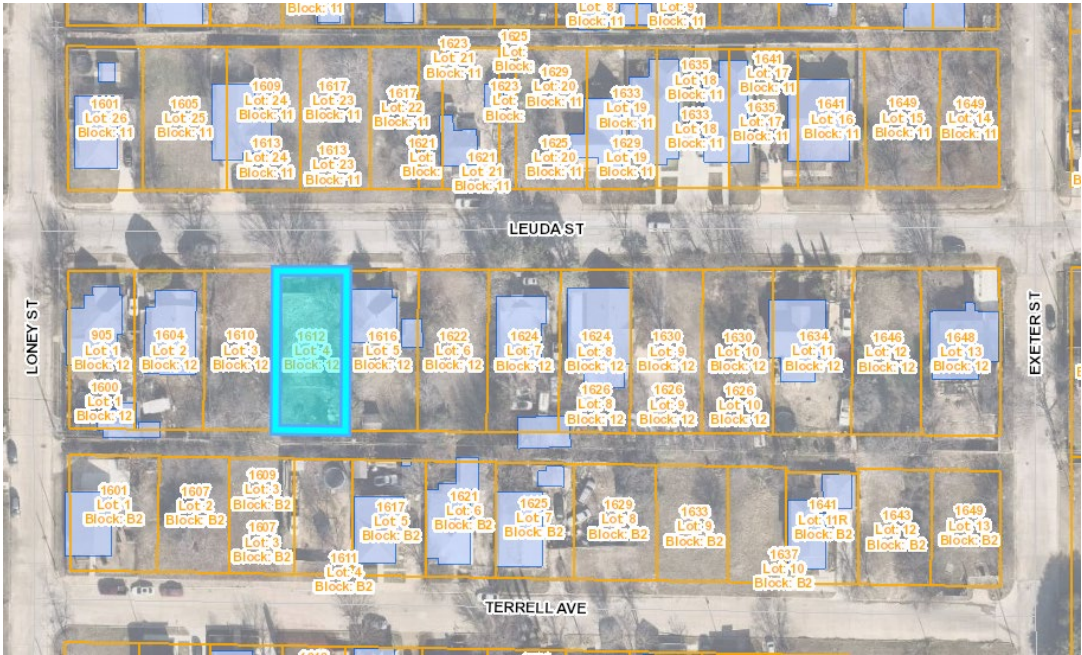


Figure 1 Aerial view of subject property.

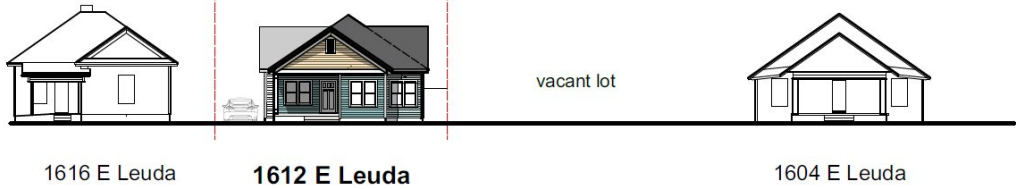


Figure 2 Contextual streetscape



Figure 3 View of subject property.



Figure 4 View of 1616 E Leuda St., built 1915



Figure 5 View of 1604 E Leuda St. built c. 1930

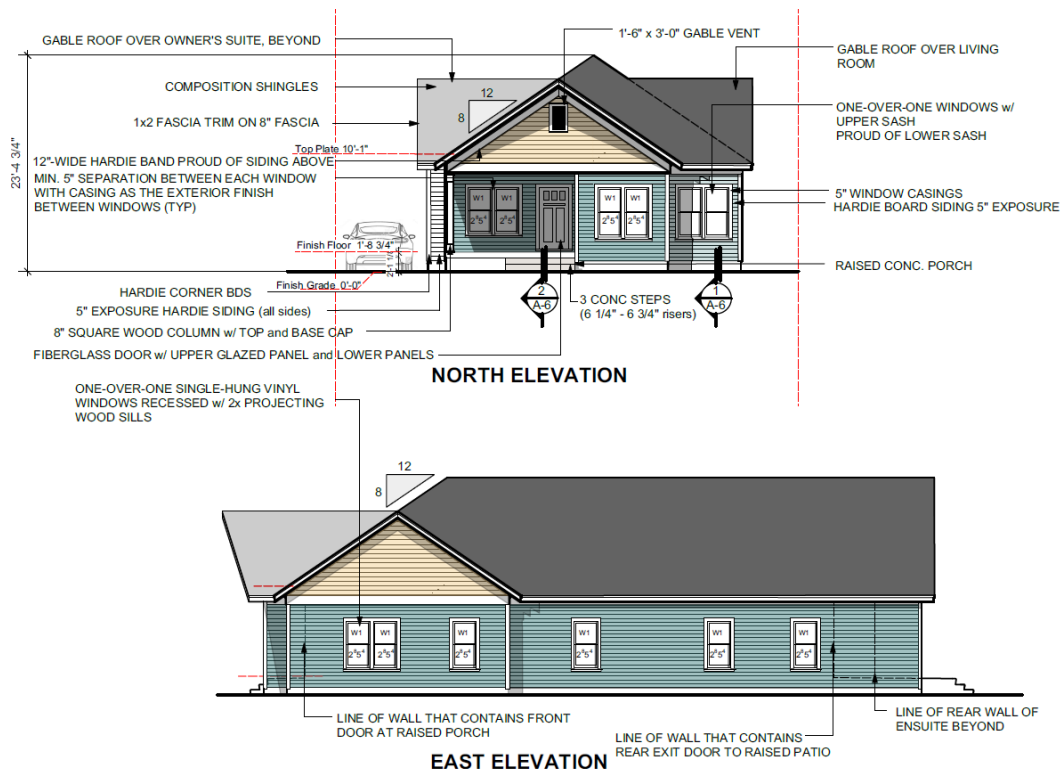


Figure 6 North and east elevations.

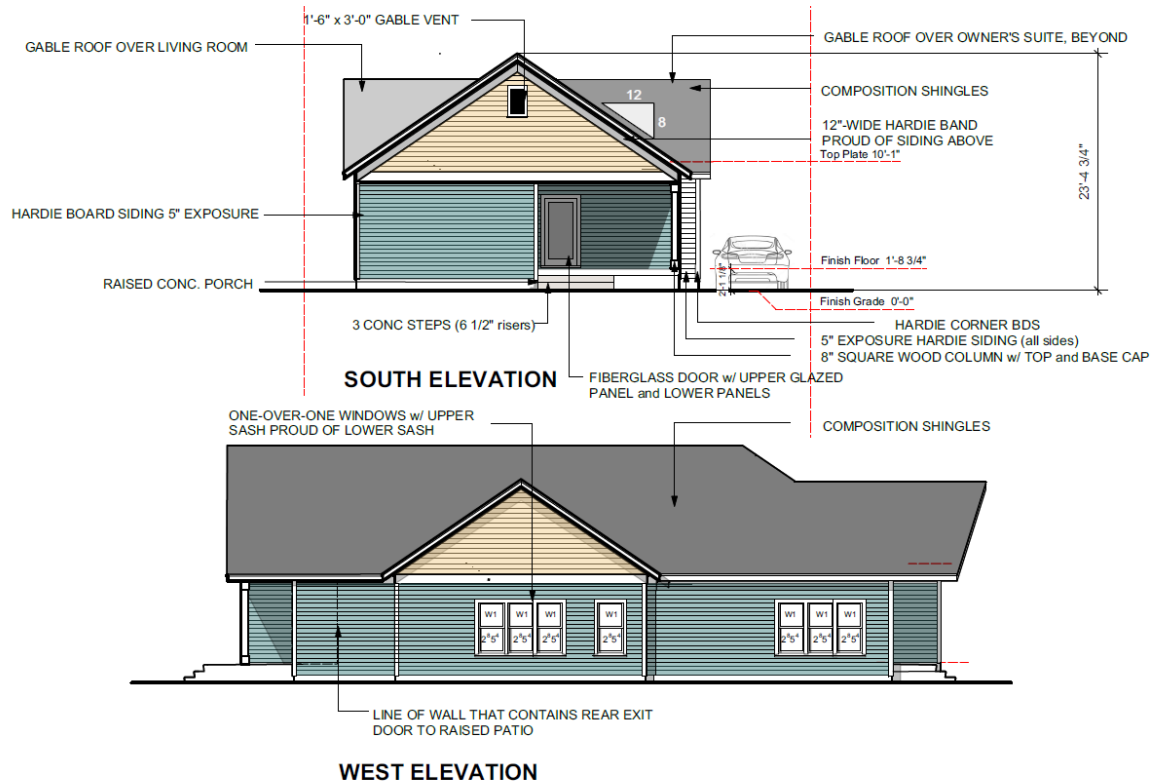


Figure 7 South and west elevations

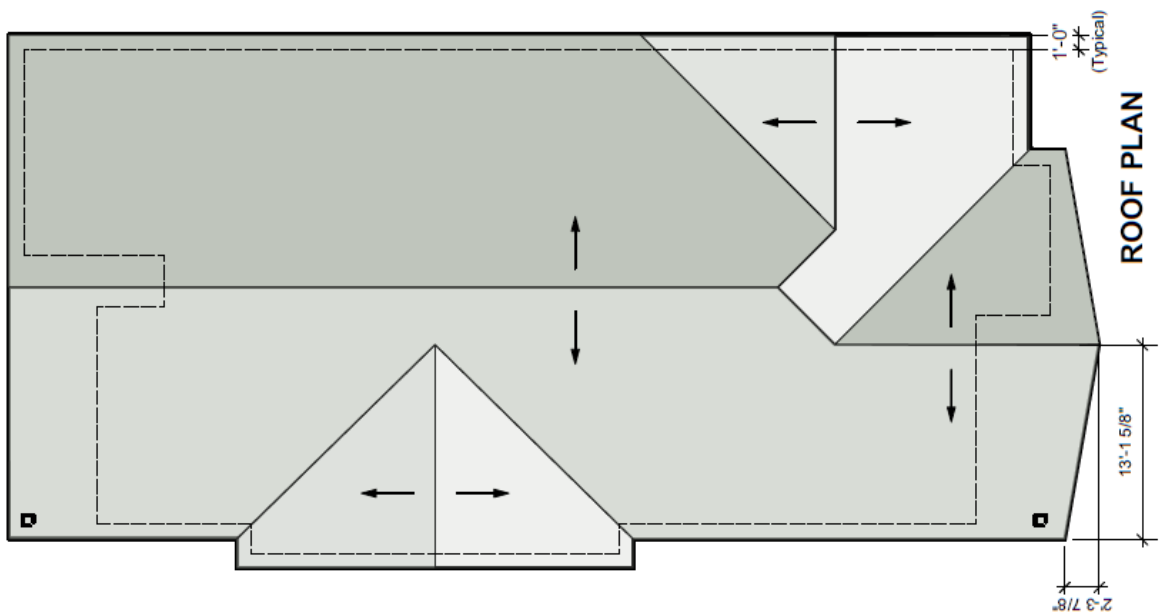


Figure 8 Roof plan.

WINDOW and DOOR SCHEDULE

W1 - 2⁵/₈" Double-hung vinyl
 W2 - 2⁵/₈" Paired Double-hung vinyl
 W3 - 2⁵/₈" Triple Double-hung vinyl

D1 - 3⁵/₈" Lower Panelled Fiberglass door with top glazed unit
 D2 - 2⁵/₈" Full glazed Exterior Fiberglass door
 D3 - 2⁵/₈" Hollow Core Interior Panelled door
 D4 - 2⁵/₈" Hollow Core Interior Panelled door
 D5 - 2⁵/₈" Panelled Utility Closet door
 D6 - 2⁵/₈" Hollow Core Panelled Pantry door

AREAS

Floor Area : 2,079.0 sq ft
 Front Porch: 63.5 sq ft
 Rear Patio: 180.0 sq ft

center triple set of windows across bedroom wall and separate each window by 5"

triple set of windows to be separated by approx. 5" each

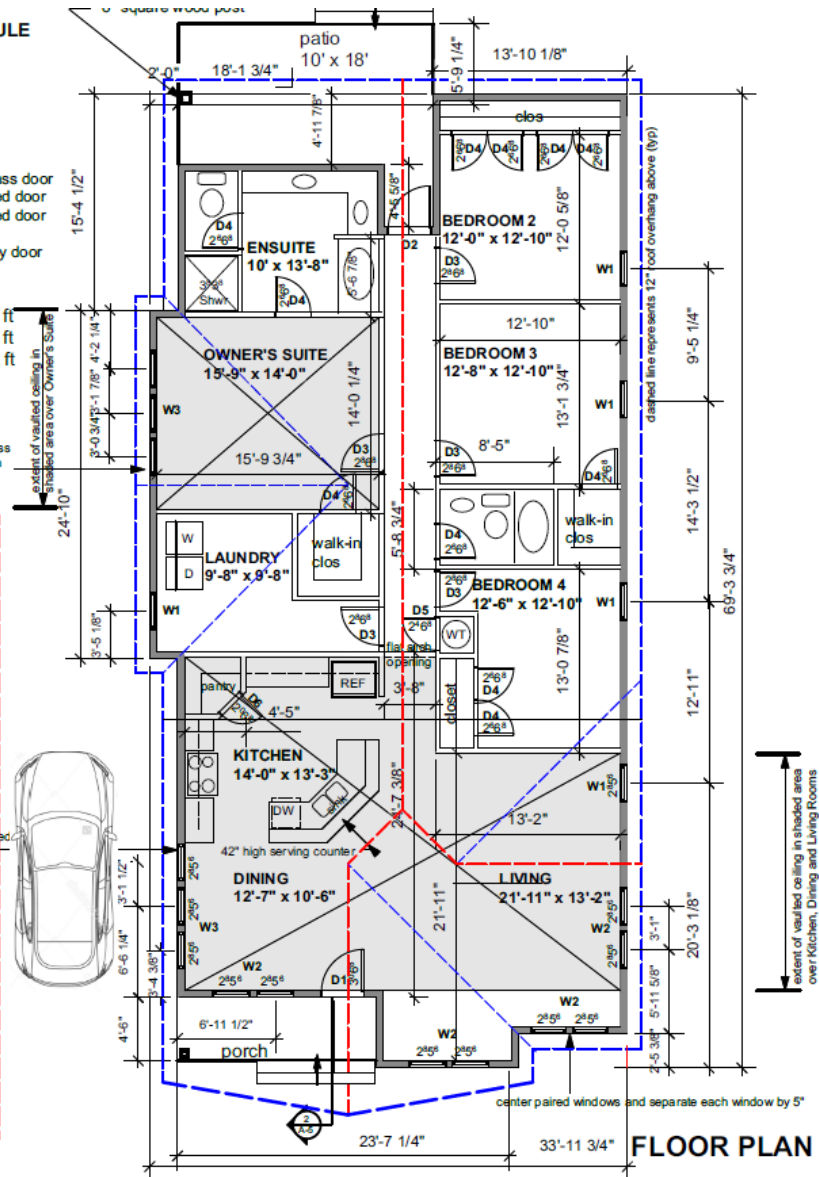


Figure 9 Floor plan.

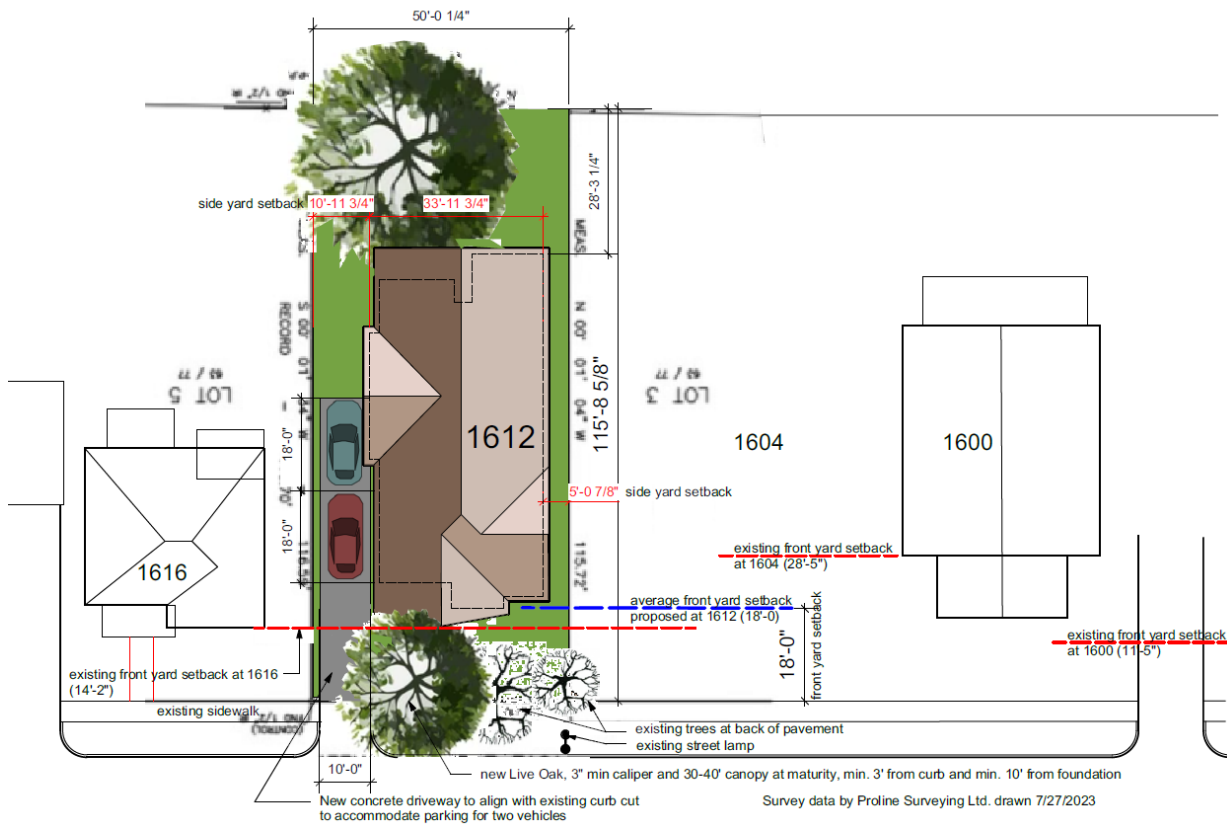
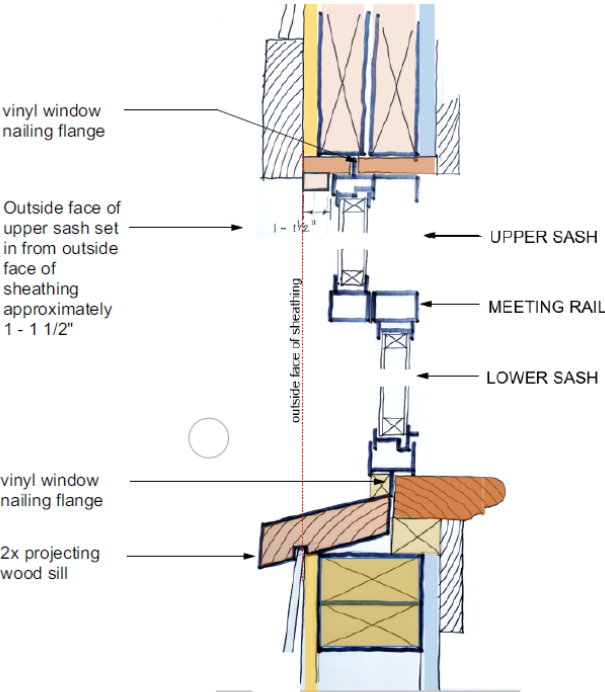


Figure 10 Site plan.



1 WINDOW SILL, METING RAIL and HEAD DETAILS
NTS

Figure 11 Window details.

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2023

COUNCIL DISTRICT: 8

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Ada Rodriguez / Ada Rodriguez
LOCATION	1128 E Annie St
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION REQUEST	Terrell Heights

Applicant requests a Certificate of Appropriateness to construct a new residence.

APPLICABLE TERRELL HEIGHTS DISTRICT GUIDELINES

New construction within a historic district shall not emulate a historic building, but it should reflect the contributing elements and patterns found within the neighborhood, the streetscape, and the block where it will be located. The intent of these guidelines is not to limit creativity but to encourage compatible design and construction.

Appropriate

- *Follow existing patterns of spacing, mass, and orientation for construction and alterations. Respect reoccurring design patterns along the block face and streetscape.*
- *Use compatible size, shape, and proportion for new porches to preserve the existing patterns within the streetscape.*
- *Windows and doors should have similar proportions, patterns and transparency to existing historical patterns. Ranking, style and profile of windows should complement existing patterns within the streetscape and neighborhood.*
- *New construction should use roof form, pitch and overhang depth compatible to the existing patterns within the streetscape and neighborhood.*
- *Materials shall be consistent with the finish, texture, scale and reflectivity to materials historically used within the streetscape and neighborhood.*
- *Traditional building materials like wood, brick, stucco and stone are acceptable materials for new construction.*
- *Using creative, pedestrian friendly design for new commercial buildings is encouraged.*
- *Orient new commercial buildings to the sidewalk with easy access for pedestrians.*
- *Locating parking and drive-thru features for commercial buildings on the rear or interior side of the lot.*
- *Locating parking and drive-thru features for commercial buildings on the rear or interior side of the lot.*
- *Locate commercial buildings close to the street and sidewalk in an appropriate urban form.*

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FINDINGS/RECOMMENDATIONS

The proposed design of the one-story residence depicts an orientation and setback that is consistent with the predominant character of the streetscape and the existing patterns of spacing, mass and orientation.

The building massing, design and form of the project, which has a rectangular plan with a narrow front elevation, is consistent with traditional building forms in the surrounding area. The driveway location is inconsistent with driveways within the surrounding context.

The proposed raised half-length porch is generally consistent with traditional porch forms in the surrounding area which typically feature full or partial porch designs along the front or incorporated into the side of a projecting form.

The proposed 8:12 roof pitch and hipped roof form is generally consistent with traditional roof pitches along the streetscape which features a variety of pitches.

The fenestration patterns, which feature recessed vinyl windows with a projecting sill and trim, are generally compatible with the predominant character of traditional fenestration patterns in the area. However, the windows should be 1/1 windows, and the front window proportion and scale is not consistent with the traditional front windows in the surrounding area.

In relation to materials, the proposed cementitious lap siding is an acceptable material for the area, however no dimensions are provided.

Therefore, Staff recommends the following:

That the request for a Certificate of Appropriateness to construct a new residence 1128 E Annie St be approved, subject to the following conditions:

- 1. That the front window be replaced to match windows within the surrounding area;**
- 2. The the windows be changed to 1/1 and;**
- 3. That any adjustments made to the drawings be submitted to the Development Services Department prior to the issuance of a Certificate of Appropriateness.**

SUPPLEMENTAL MATERIAL

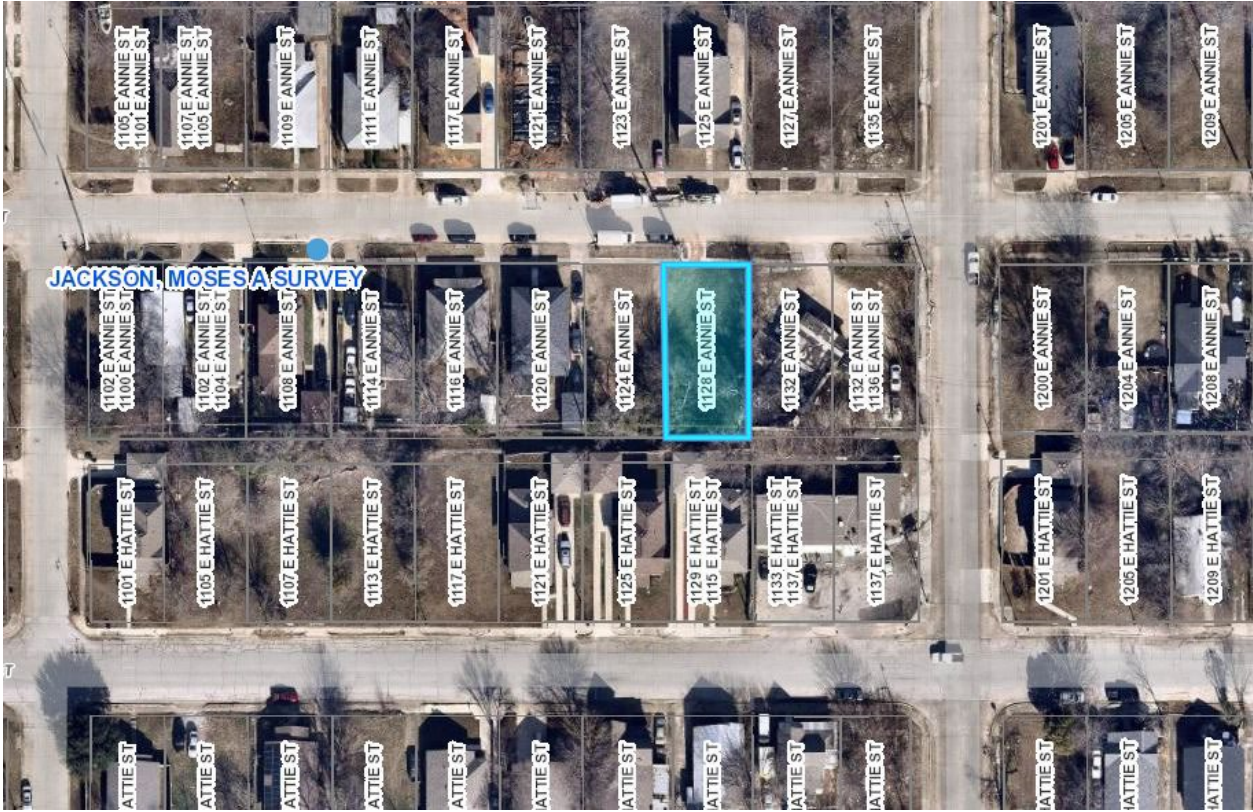


Figure 1. Aerial View of subject property.



Figure 2. Street view of subject property.



Figure 3. Street view of surrounding property (1125 Annie)



Figure 4. Street view of surrounding property (1120 Annie)



Figure 5. Street view of surrounding property (2117 Annie)

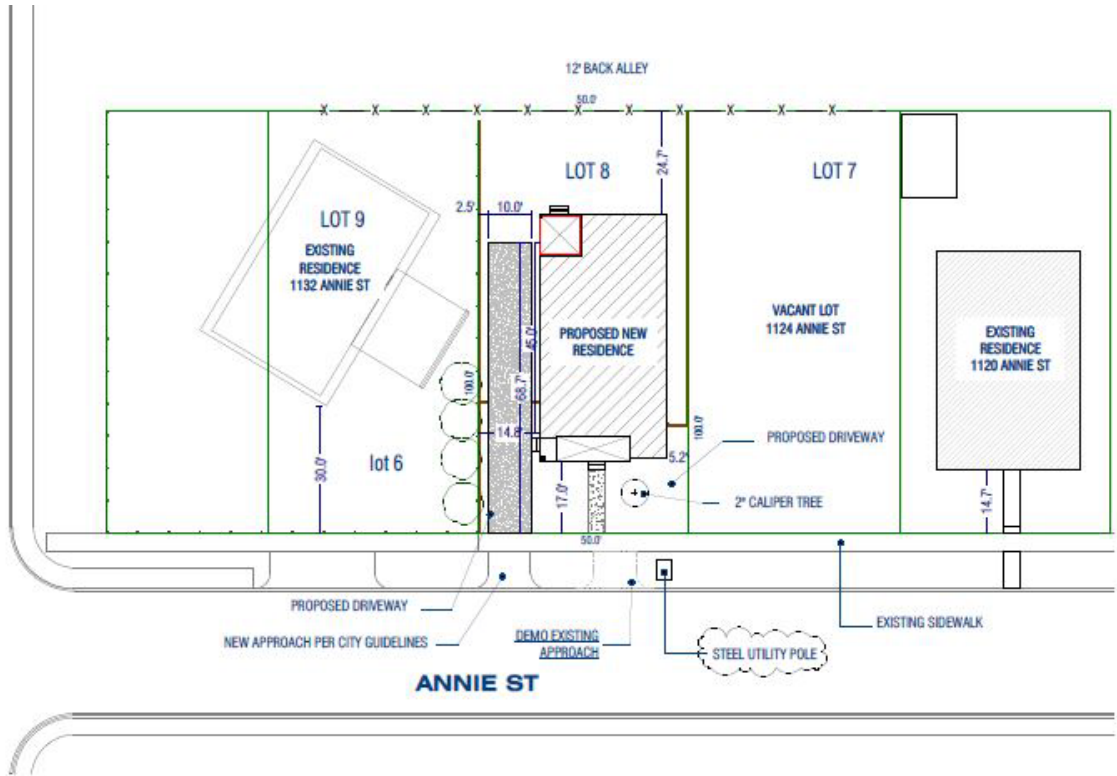


Figure 6. Proposed Site plan

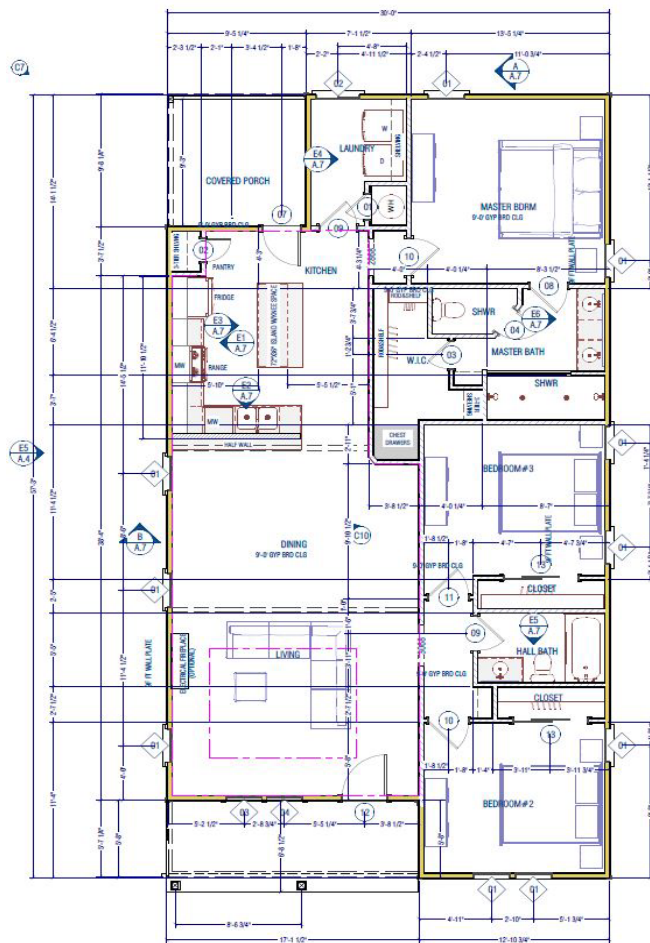


Figure 7. Proposed floor plan

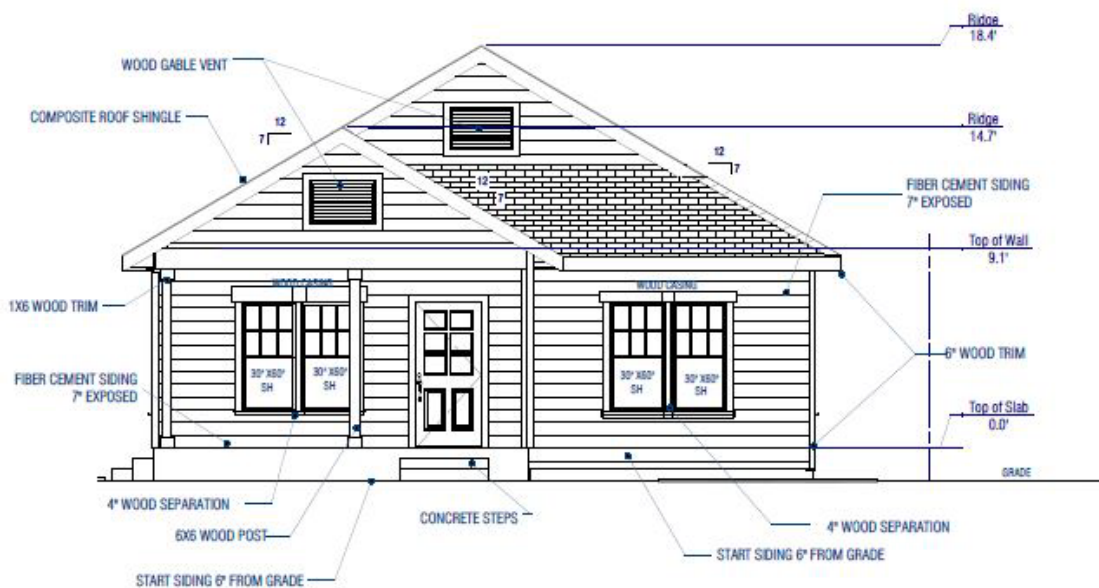


Figure 8. Proposed front elevation

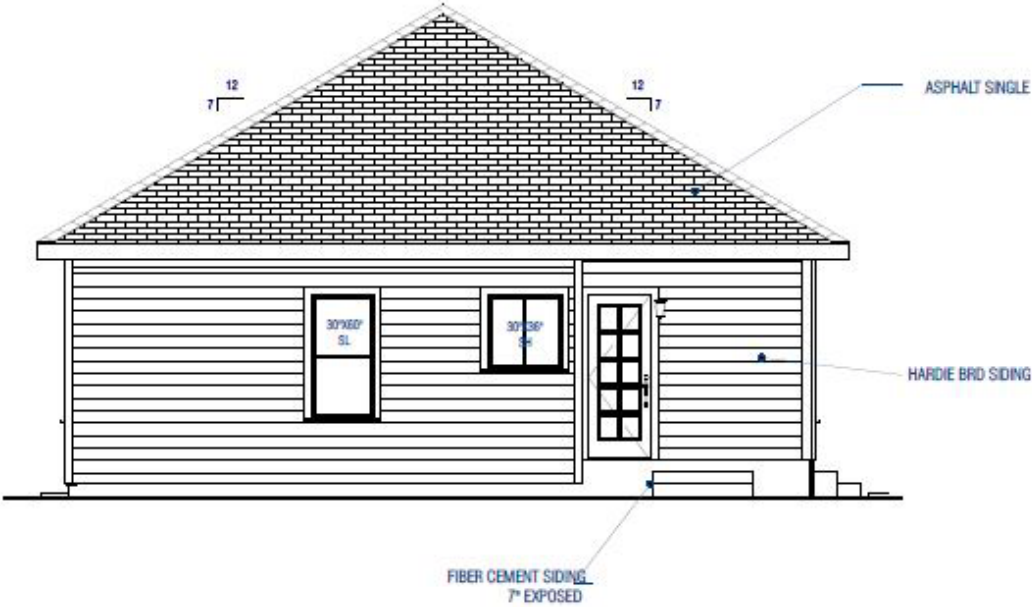


Figure 9. Proposed rear elevation

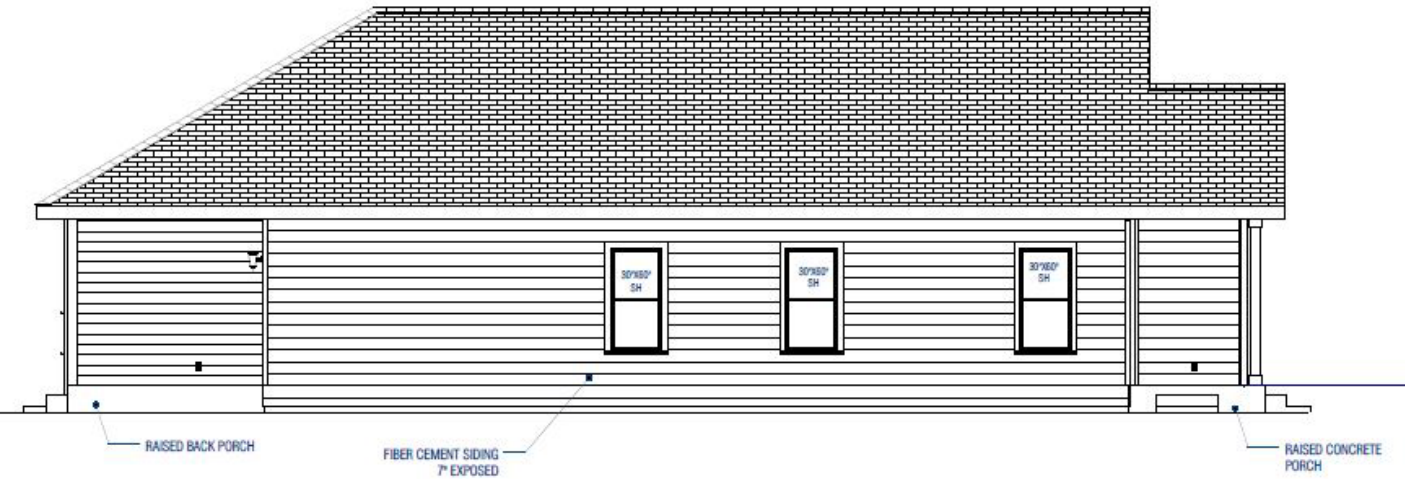


Figure 10. Proposed left side elevation

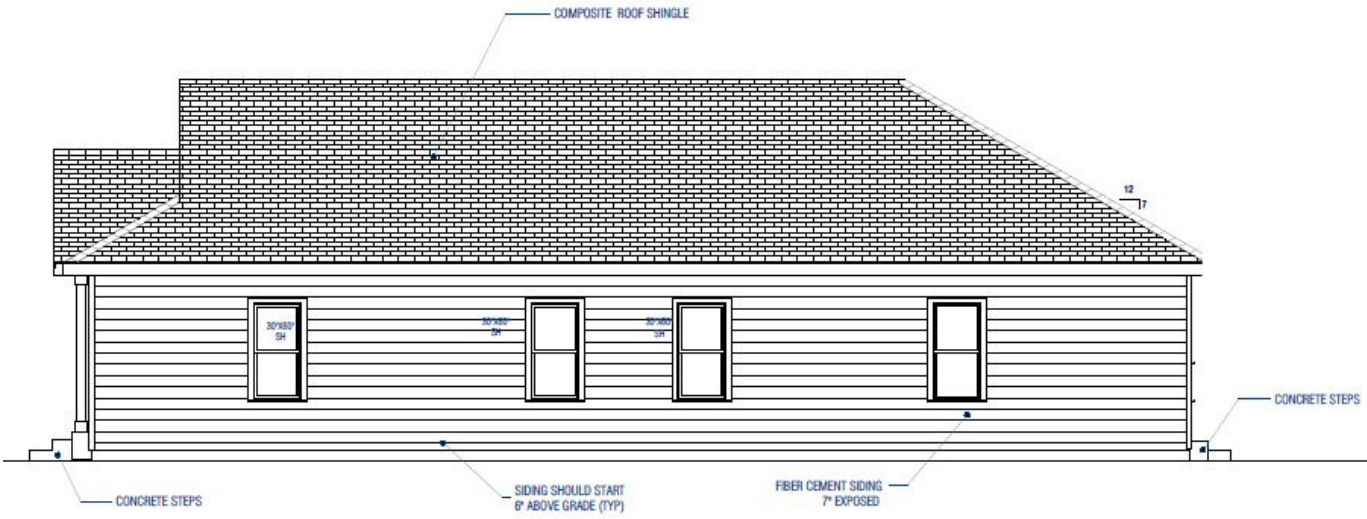


Figure 11. Proposed right side elevation

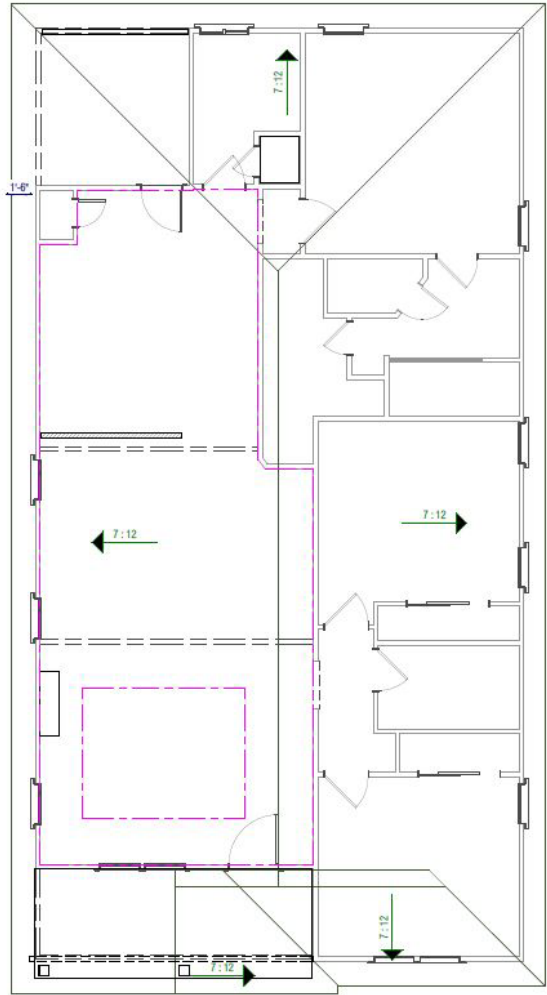


Figure 12. Proposed roof plan



Figure 13. 3d image

**STAFF REPORT
HISTORIC AND CULTURAL LANDMARKS COMMISSION
CITY OF FORT WORTH, TEXAS**

DATE: September 11, 2022

COUNCIL DISTRICT: 5

GENERAL INFORMATION

REQUEST	Certificate of Appropriateness
APPLICANT/AGENT	Adrian Ramirez/Mauricio M. Baz
LOCATION	5804 Eisenhower Dr
ZONING/ USE (S)	A-5/HC
NEIGHBORHOOD ASSOCIATION	Historic Carver Heights

REQUEST

The applicant requests a Certificate of Appropriateness to construct a new residence.

APPLICABLE HISTORIC CARVER HEIGHTS DISTRICT GUIDELINES**NEW CONSTRUCTION****Appropriate**

- *Follow existing patterns of spacing, mass, and orientation for construction and alterations.*
- *Respect reoccurring design patterns along the block face and streetscape.*
- *Use compatible size, shape, and proportion for new porches to preserve the existing patterns within the streetscape.*
- *Windows and doors should have similar proportions, patterns and transparency to existing historical patterns.*
- *Ranking, style and profile of windows should complement existing patterns within the streetscape and neighborhood.*
- *New construction should use roof form, pitch and overhang depth compatible to the existing patterns within the streetscape and neighborhood.*
- *Materials shall be consistent with the finish, texture, scale and reflectivity to materials historically used within the streetscape and neighborhood.*

APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

FINDINGS/RECOMMENDATIONS

The proposed design of the one-story residence depicts an orientation and setback that is generally compatible with the predominant character of the streetscape and the existing patterns of spacing, mass and orientation. The setback of 25' represents the approximate average of historic structures along the block. The proposed driveway, which extends along the front of the house to the one car attached garage, is consistent with traditional site layouts in the district.

The contextual elevation depicts a building form, massing, and design that is compatible with traditional building forms along the streetscape. The layout of the building's form, which is rectangular in shape, is consistent with traditional building forms within the immediate context of the property, which typically feature building forms of a similar proportion and layout. The gabled and hipped roof form with a main ridge that runs parallel to Eisenhower Drive appears consistent with traditional roof forms along the streetscape, which feature a variety of hipped and gabled roof forms.

The proposed 3:12 roof pitch is consistent with traditional roof pitches along the streetscape, which feature roofs that are generally low-pitched. The minimal front porch with gabled roof is consistent with traditional front elevations along the streetscape, which feature a variety of covered front entry and porch forms. The inclusion of an attached garage on the front elevation is consistent with the location and treatment of carports and garages on the block.

The exposure of the brick and engineered lap siding depicted in the elevations is compatible with the predominant character of brick and horizontal siding in the area.

The fenestration patterns, which feature wood windows with a 2x projecting sill and trim, are generally compatible with the predominant character of traditional fenestration patterns in the area.

In relation to materials, the proposed brick siding and engineered lap siding, doors, and architectural roof shingles are generally consistent with the finish, texture, scale and reflectivity of materials historically used within the streetscape and neighborhood.

Having regard to the foregoing, Staff recommends the following:

That the request for a Certificate of Appropriateness to construct a new residence at 5804 Eisenhower Dr be approved.

SUPPLEMENTAL MATERIAL



Figure 1. Aerial View of subject property.



Figure 2. Street view of subject property



Figure 3. Historic structures along the block. To the right of the subject property: 18001 Ransom Terrace (c. 1953)



Figure 4. Historic structures along the block. To the left of the subject property: 5812 Eisenhower Dr (c. 1953)



Figure 5. Historic structures along the block. In front of the subject property (starting from top to bottom): 5805 Eisenhower Dr (c. 1955), 5809 Eisenhower Dr (c. 1955)

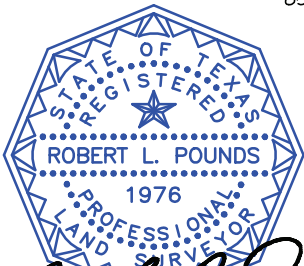
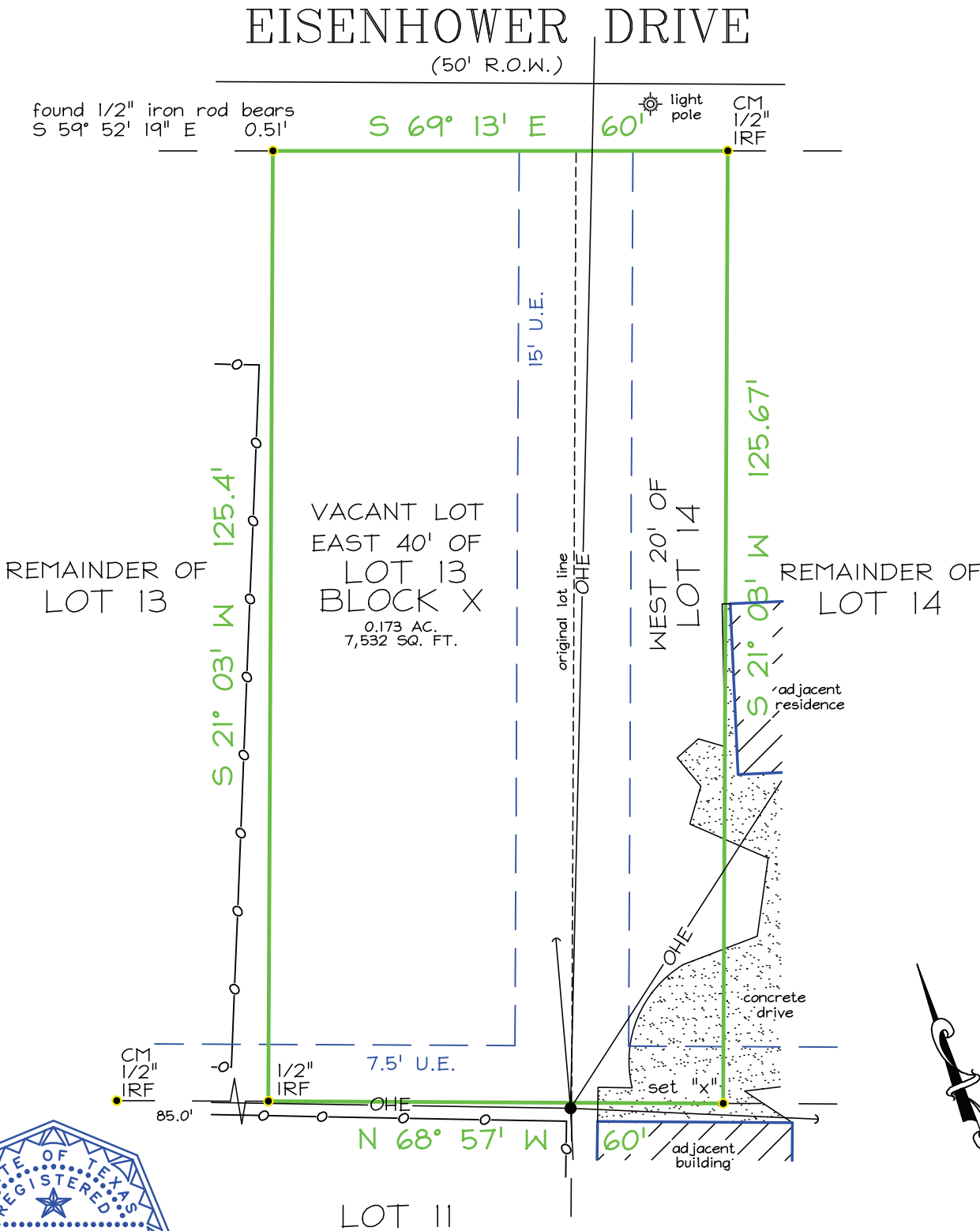
LEGAL DESCRIPTION

Texas Registered Surveying Firm # 10091800

THE EAST 40 FEET OF LOT 13 AND THE WEST 20 FEET OF LOT 14, BLOCK X, OUT OF CARVER HEIGHTS ADDITION, SITUATED IN THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, ACCORDING TO THE REVISED PLAT RECORDED IN VOLUME 388-P, PAGE 78, OF THE PLAT RECORDS, TARRANT COUNTY, TEXAS.

According to the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel No. 48439C**** K, dated September 25, 2009, this property does not lie within a 100-Year Flood Hazard Area.

Scale: 1" = 20' Tech: JP Job No: 2106AG108 ADDITIONAL BUILDING LINES/EASEMENTS PER CITY ZONING ORDINANCES & SUBDIVISION RESTRICTIONS/COVENANTS MAY AFFECT SUBJECT PROPERTY
BUILDING LINES/EASEMENTS PER PLAT UNLESS OTHERWISE NOTED



Address: 5804 EISENHOWER DRIVE
G.F. No.: ATD-07-6000072100334J
Date: 06/23/2021

I, Robert L. Pounds, Registered Professional Land Surveyor No. 1976, do hereby declare that the map shown hereon accurately represents the property as determined by an on-the-ground survey made under my direct supervision and correctly shows the boundary lines and dimensions of the property, as found on the date of the survey, indicated hereon. There are no visible conflicts, or protrusions, except as shown and said property has access to a public roadway. All easements and right-of-ways that the surveyor has knowledge of or has been advised of and those shown on the referenced plat of record are shown or noted hereon. This survey is for the exclusive use of title company, the mortgage company and the purchaser.

DATE:
ACCEPTED BY:

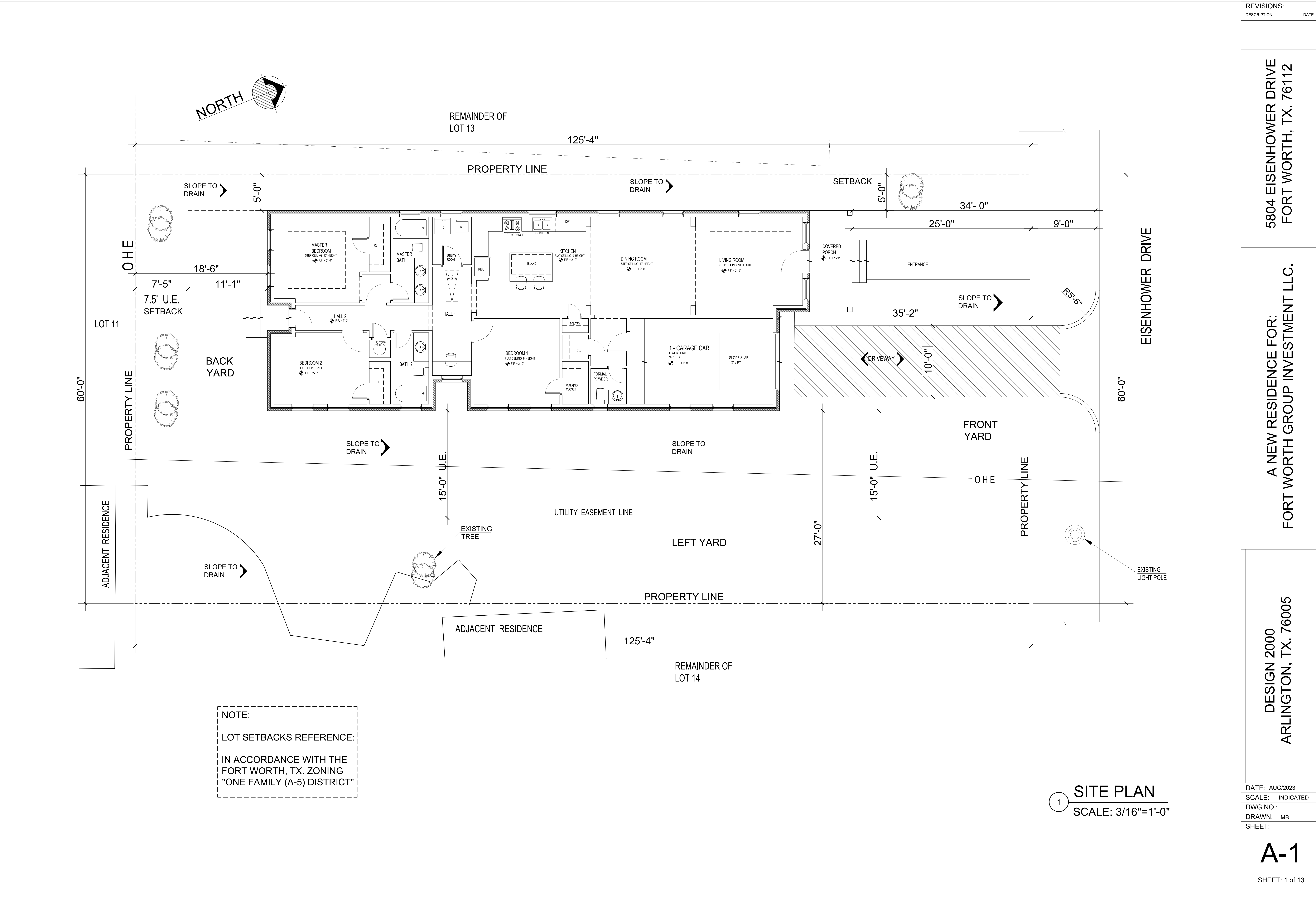
Purchaser

Purchaser

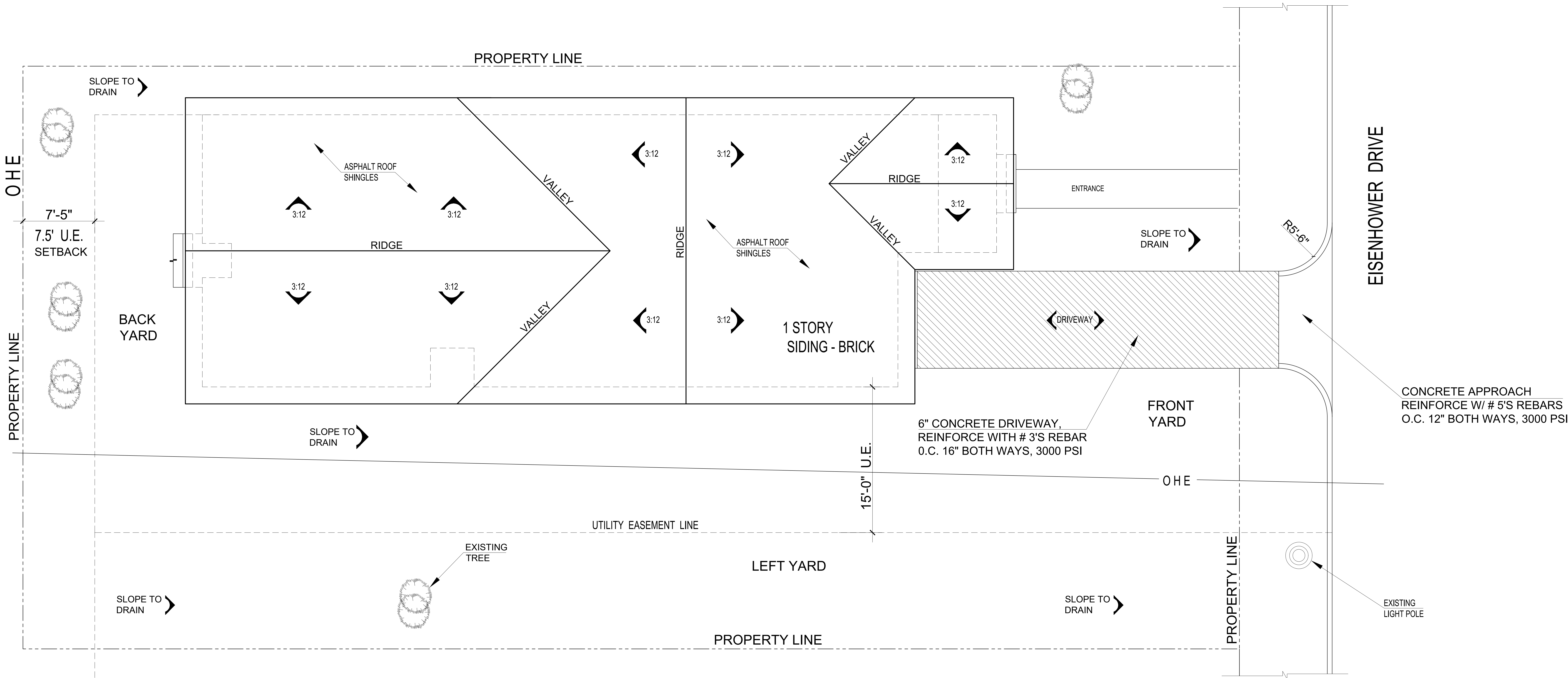
FULLER LAND
SURVEYING, INC.

LEGEND

B.L.	= Building Line	I.P.F.	= Iron Pipe Found	⊗	= Water Meter	—//—	= Wood Fence
C.M.	= Control Monument	I.R.F.	= Iron Rod Found	P.O.S.E.	= Public Open Space Easement	—○—	= Chain Link Fence
D.E.	= Drainage Easement	I.R.S.	= Capped Iron Rod Set	R.O.W.	= Right of Way	—□—	= Iron Fence
D.U.E.	= Drainage & Utility Easement	O.H.E.	= Overhead Electric	●	= Power Pole	—X—	= Wire Fence
M.E.	= Maintenance Easement ()		= Record Data	U.E.	= Utility Easement	—■—	= Electric Meter
ET	= Electric Transformer ()		= Bearing Basis	□ ^{gm}	= Gas Meter		

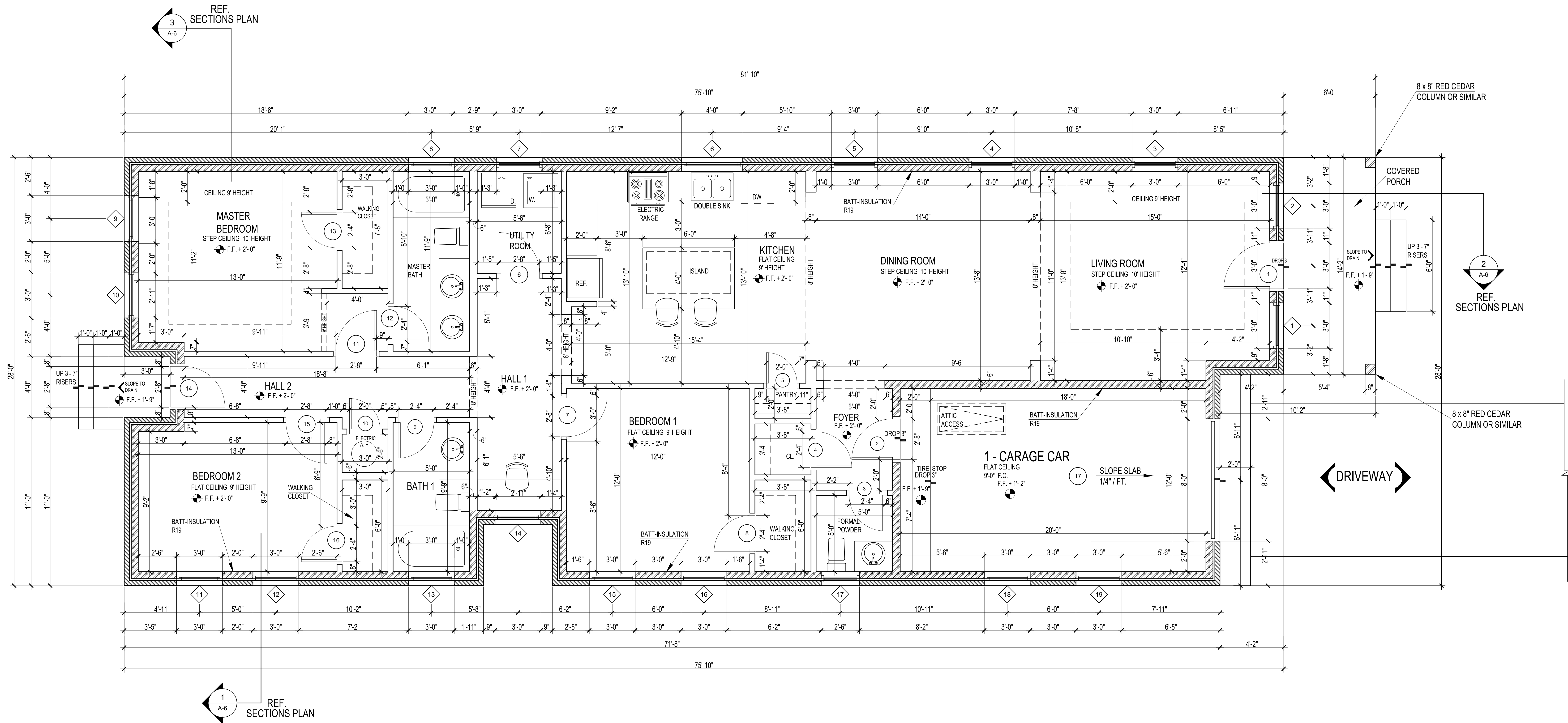


REVISIONS:	
DESCRIPTION	DATE
5804 EISENHOWER DRIVE FORT WORTH, TX. 76112	
A NEW RESIDENCE FOR: FORT WORTH GROUP INVESTMENT LLC.	
DESIGN 2000 ARLINGTON, TX. 76005	
DATE: AUG/2023 SCALE: INDICATED DWG NO.: DRAWN: MB SHEET:	
A-1	
SHEET: 1 of 13	



1 **ROOF PLAN**
SCALE: 3/16"=1'-0"

REVISIONS:	
DESCRIPTION	DATE
5804 EISENHOWER DRIVE FORT WORTH, TX. 76112	
A NEW RESIDENCE FOR: FORT WORTH GROUP INVESTMENT LLC.	
DESIGN 2000 ARLINGTON, TX. 76005	
DATE: AUG/2023 SCALE: INDICATED DWG NO.: DRAWN: MB SHEET:	
A-2	
SHEET: 3 of 13	



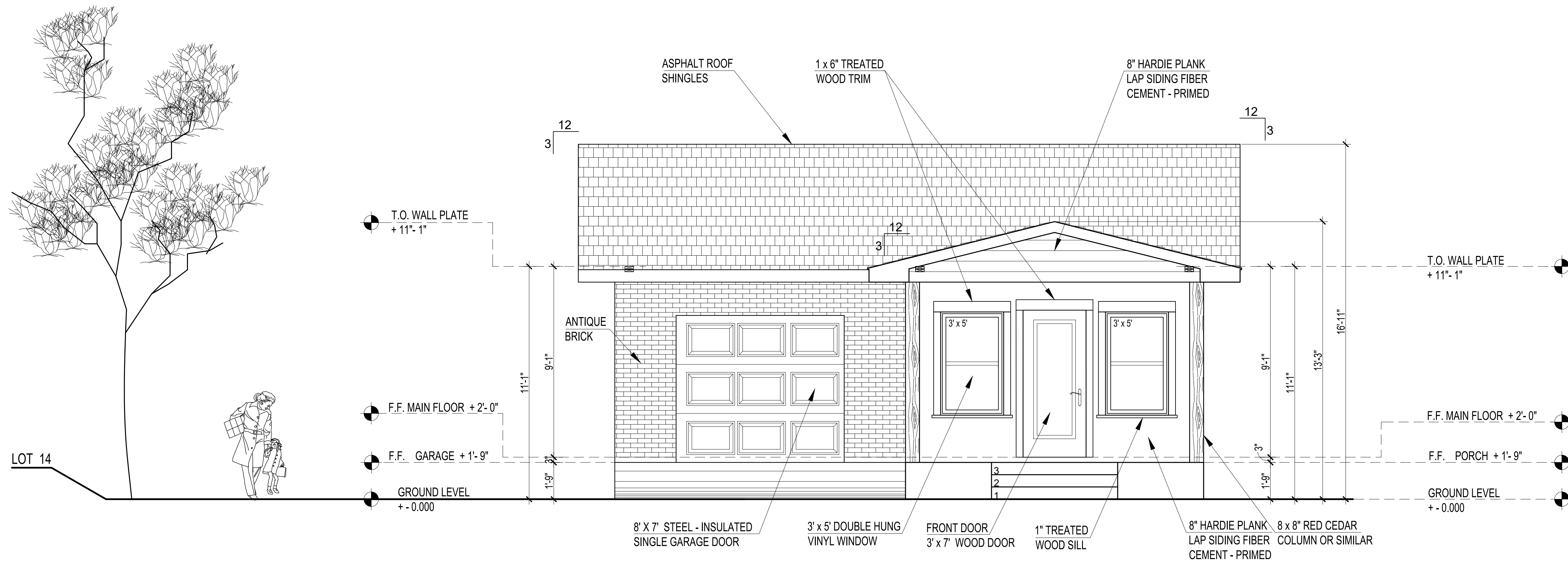
01 DOOR SCHEDULE									
MARK	SIZE			DOOR	MATERIAL	GLAZING	FIRE RATING	TRANSOM	ROOM
	WD	HGT	THK						
1	3'-0"	7'-0"	1 3/4"	EXTERIOR	WOOD	TEMPERED			ENTRY/PORCH
2	2'-8"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			FOYER/GARAGE
3	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			FORMAL POWDER
4	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			CLO.
5	2'-0"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			PANTRY.
6	2'-8"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			UTILITY ROOM
7	2'-8"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			BEDROOM 1
8	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			BEDROOM 1 / W. CLOSET
9	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			BATH 1
10	2'-0"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			UTILITY
11	2'-8"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			MASTER BEDROOM
12	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			MASTER BATH
13	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			MASTER CLO.
14	2'-8"	7'-0"	1 3/4"	FRENCH DOOR	FIBERGLASS	TEMPERED			HALL 2
15	2'-8"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			BEDROOM 2
16	2'-4"	7'-0"	1 3/4"	STANDARD	COMPOSITE MDF	N/A			BEDROOM 2 / W. CLOSET
17	8'-0"	7'-0"	1 3/4"	GARAGE	STEEL-INSULATED	N/A			
18									
19									

1 WINDOW SCHEDULE						
MARK	WINDOW SIZE		TYPE	GLASS	MATERIAL	ROOM
	WIDTH	HEIGHT				
1	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	LIVING ROOM
2	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	LIVING ROOM
3	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	LIVING ROOM
4	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	DINING ROOM
5	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	DINING ROOM
6	4'-0"	3'-0"	DOUBLE HUNGE	LIGHT	VINYL	KITCHEN - BREAKFAST
7	3'-0"	4'-0"	DOUBLE HUNGE	LIGHT	VINYL	UTILITY ROOM
8	3'-0"	4'-0"	DOUBLE HUNGE	FROSTED	VINYL	MASTER BATH
9	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	MASTER BEDROOM
10	3'-0"	5'-0"	SINGLE HUNGE	LIGHT	VINYL	MASTER BEDROOM
11	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	BEDROOM 2
12	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	BEDROOM 2
13	3'-0"	4'-0"	DOUBLE HUNGE	FROSTED	VINYL	BATH 1
14	3'-0"	4'-0"	DOUBLE HUNGE	LIGHT	VINYL	HALL 1
15	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	BEDROOM 1
16	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	BEDROOM 1
17	2'-6"	3'-0"	DOUBLE HUNGE	FROSTED	VINYL	FORMAL POWDER
18	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	GARAGE
19	3'-0"	5'-0"	DOUBLE HUNGE	LIGHT	VINYL	GARAGE

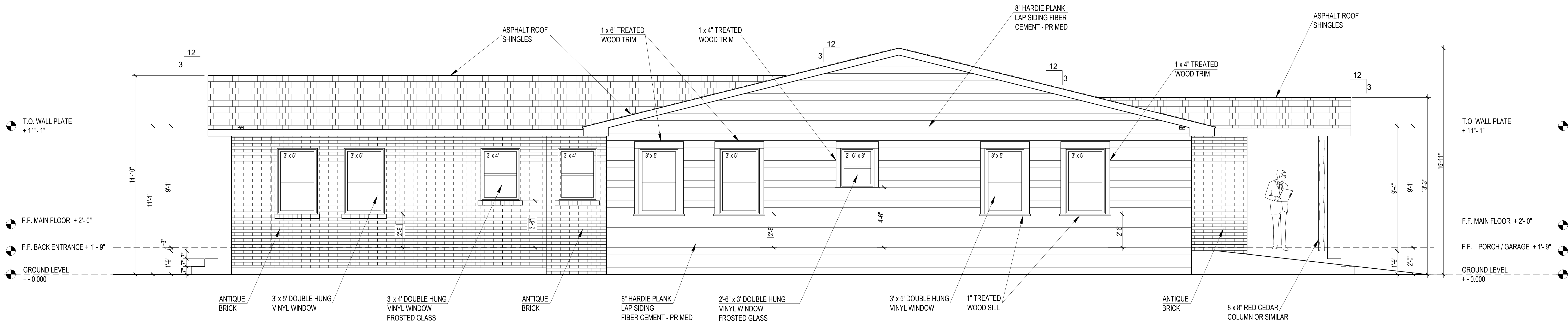
AREAS

FLOOR PLAN	
TOTAL A/C =	1,589 SQ. FT.
GARAGE 1 =	240 SQ. FT.
ENTRY PORCH =	85 SQ. FT.
GRAND TOTAL =	1,914 SQ. FT.

1 FLOOR PLAN
SCALE: 1/4"=1'-0"



1 **FRONT ELEVATION**
SCALE: 1/4"=1'-0"



2 **LEFT ELEVATION**
SCALE: 1/4"=1'-0"

REVISIONS:
DESCRIPTION DATE

5804 EISENHOWER DRIVE
FORT WORTH, TX. 76112

A NEW RESIDENCE FOR:
FORT WORTH GROUP INVESTMENT LLC.

DESIGN 2000
ARLINGTON, TX. 76005

DATE: AUG/2023
SCALE: INDICATED
DWG NO.:
DRAWN: MB
SHEET:

A-4

SHEET: 4 of 13

REVISIONS:
DESCRIPTION DATE

5804 EISENHOWER DRIVE
FORT WORTH, TX. 76112

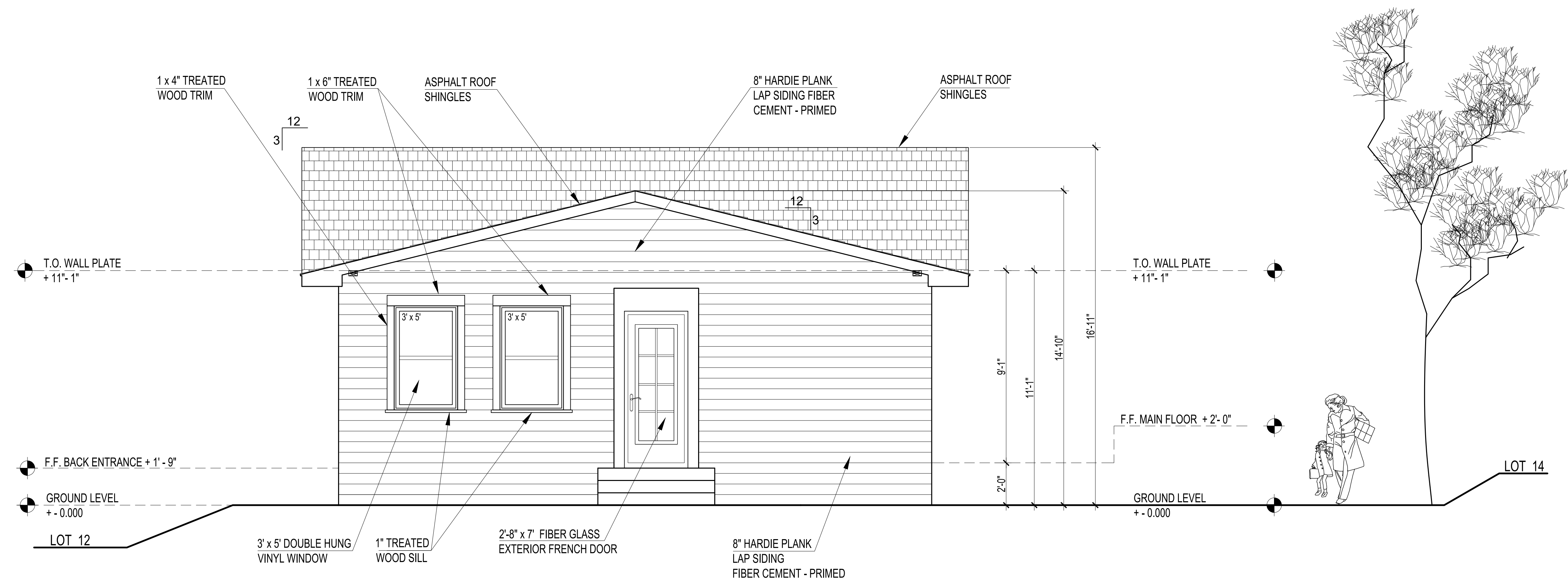
A NEW RESIDENCE FOR:
FORT WORTH GROUP INVESTMENT LLC.

DESIGN 2000
ARLINGTON, TX. 76005

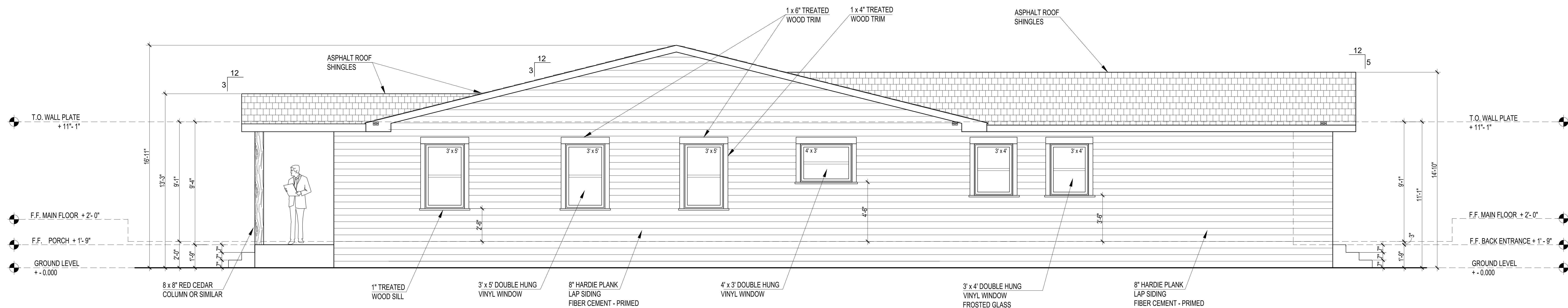
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SCALE: INDICATED
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DRAWN: MB
SHEET:

A-5

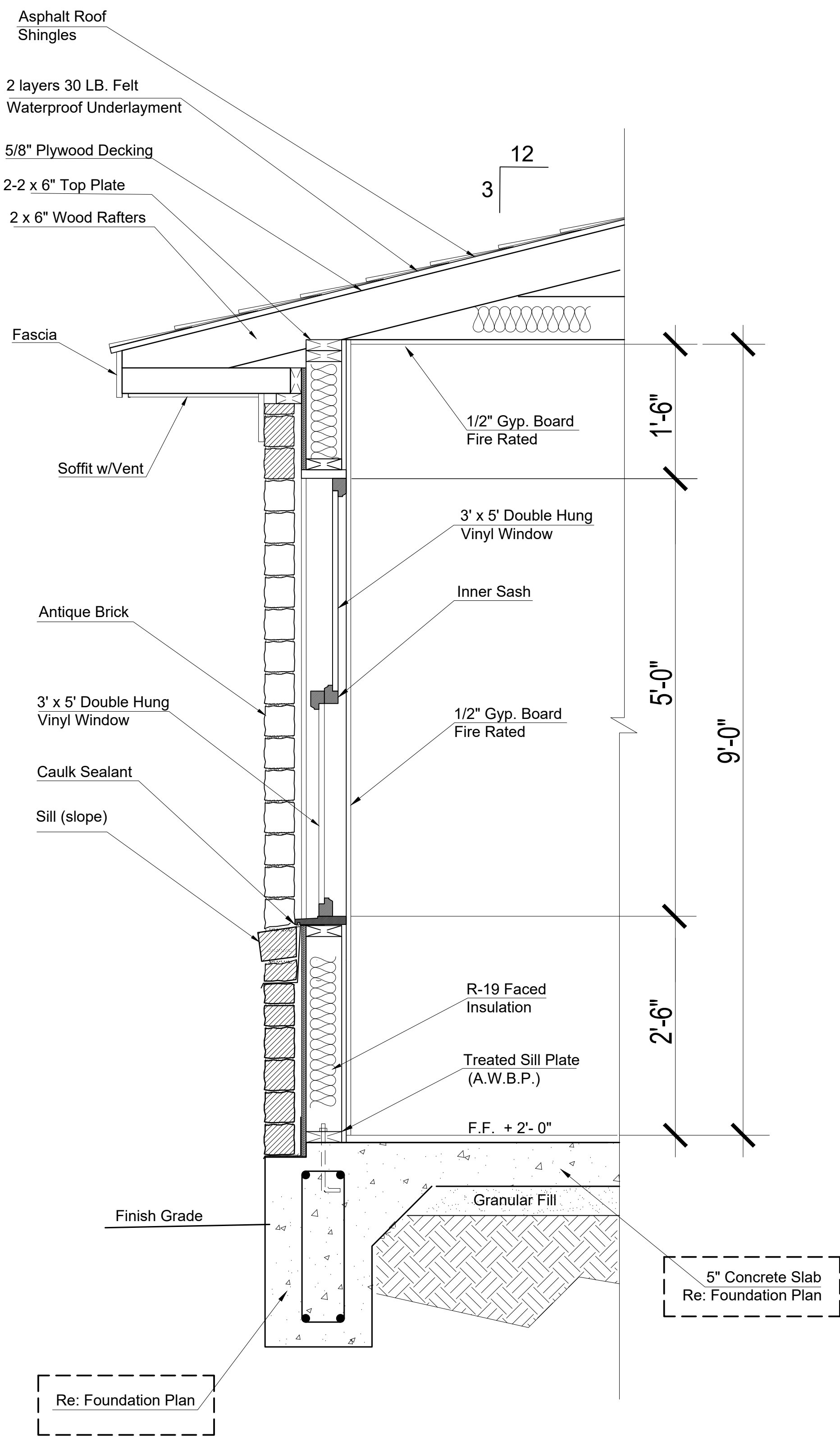
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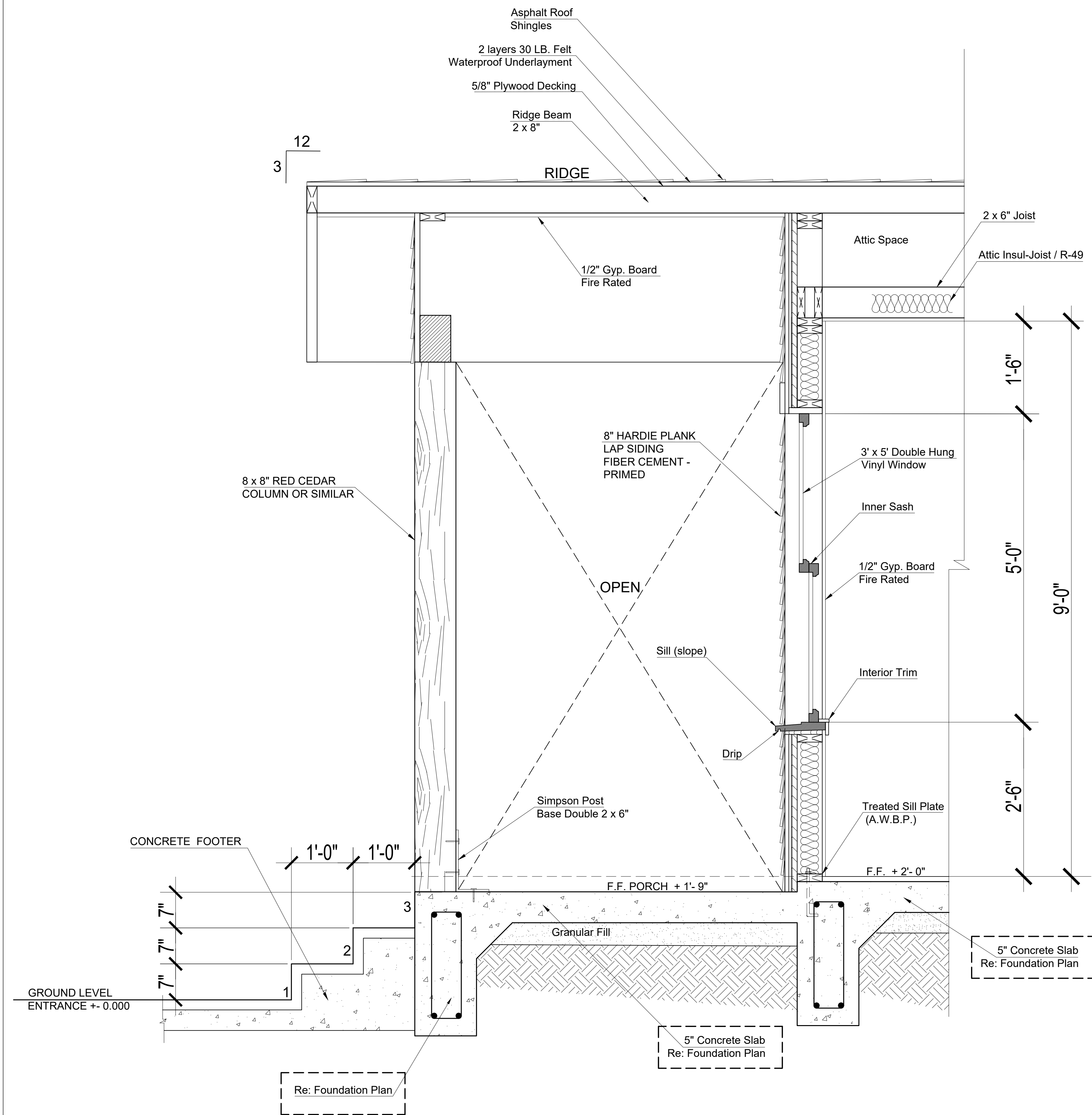
1 BACK ELEVATION
SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

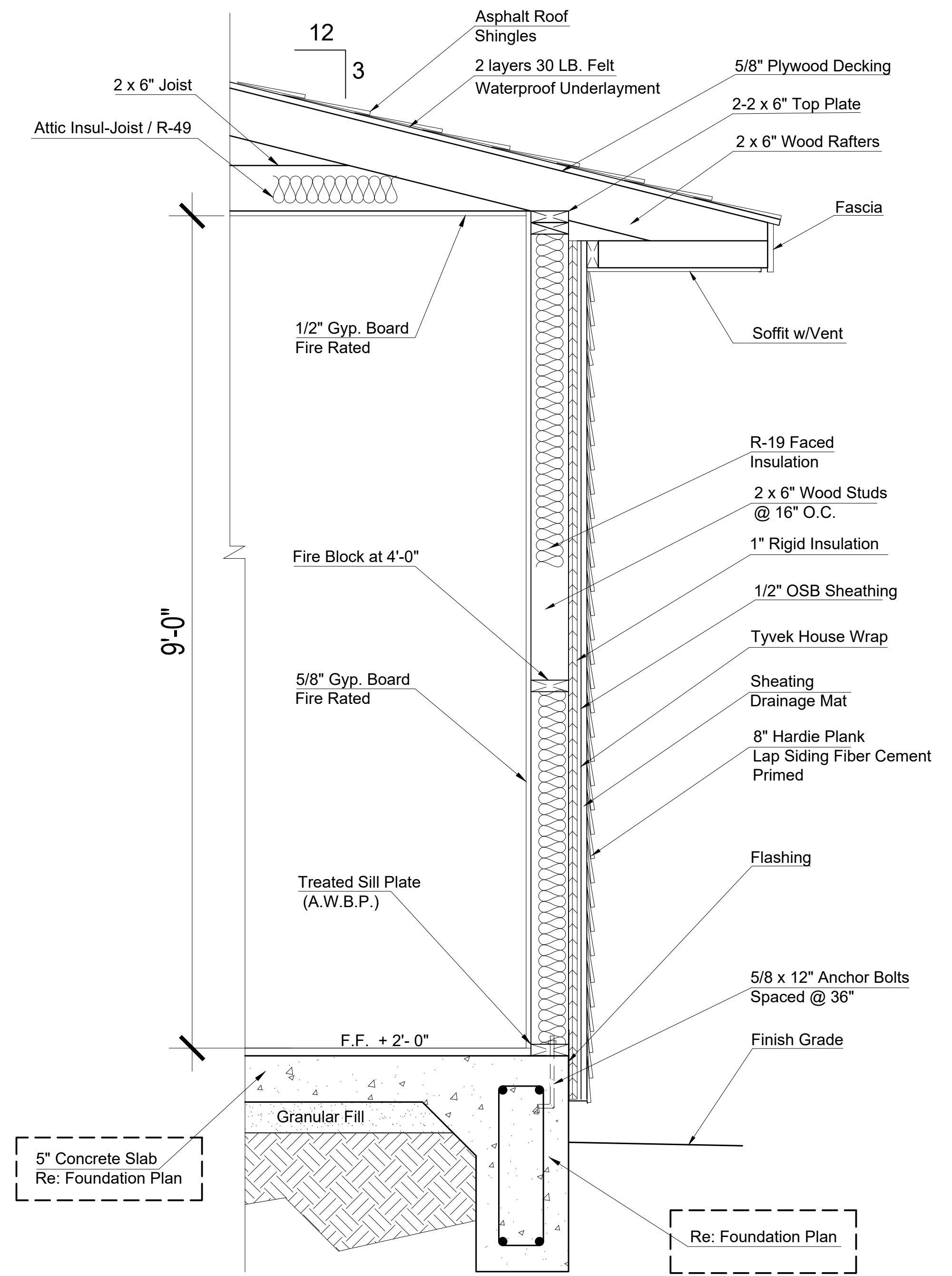


1 WINDOW SECTION
SCALE: 3/4"=1'-0"

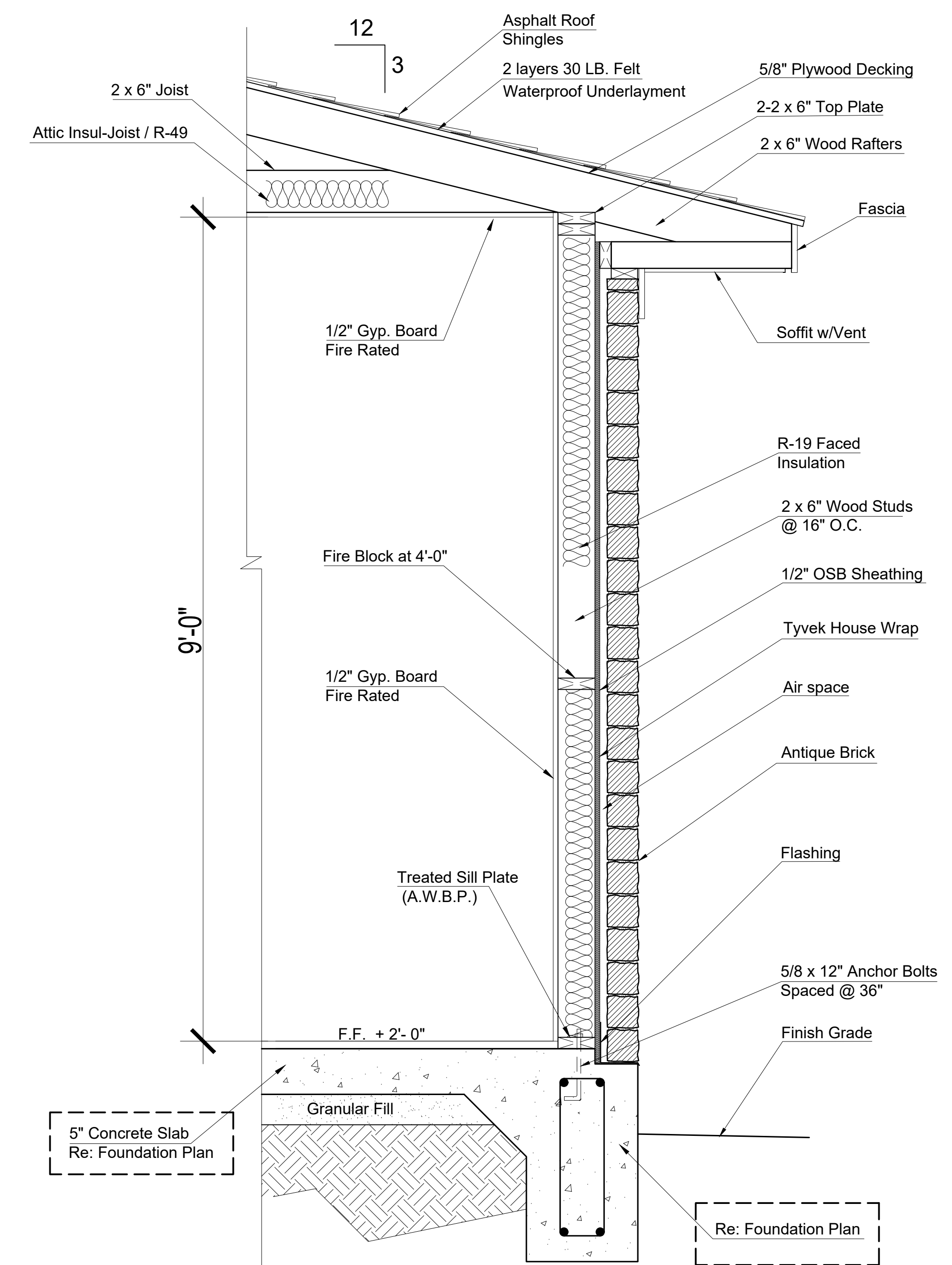


2 ENTRANCE- PORCH SECTION
SCALE: 3/4"=1'-0"

4 TYPICAL BRICK WALL SECTION
SCALE: 3/4"=1'-0"



3 TYPICAL SIDING WALL SECTION
SCALE: 1/2"=1'-0"



REVISIONS:
DESCRIPTION DATE

5804 EISENHOWER DRIVE
FORT WORTH, TX. 76112

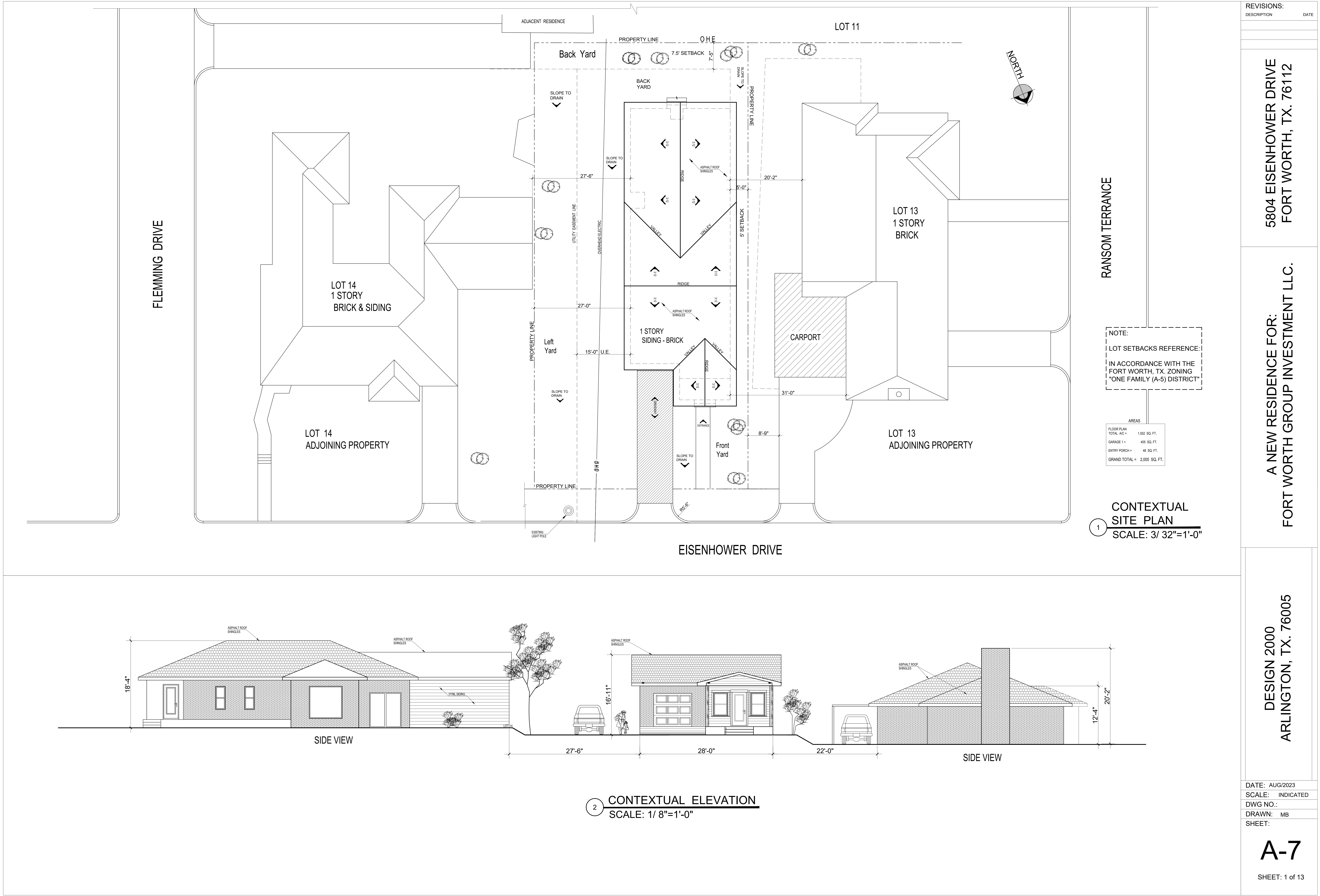
A NEW RESIDENCE FOR:
FORT WORTH GROUP INVESTMENT LLC.

DESIGN 2000
ARLINGTON, TX. 76005

DATE: AUG/2023
SCALE: INDICATED
DWG NO.:
DRAWN: MB
SHEET:

A-6

SHEET: 5 of 13





1 Front View



2 Left Side View



3 Across The Street View



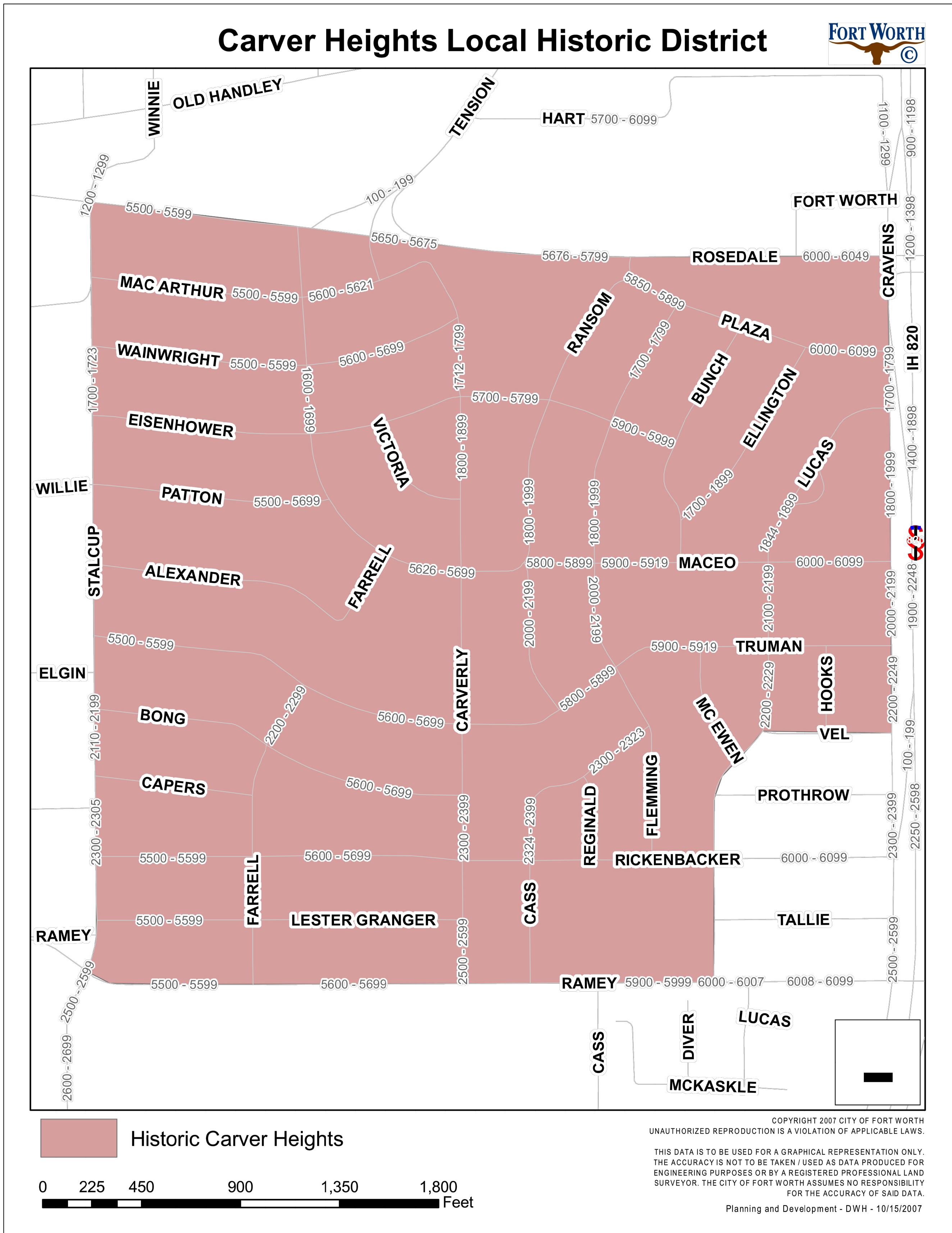
4 Right Side View



5 Across The Street View



6



REVISIONS:	
DESCRIPTION	DATE
5804 EISENHOWER DRIVE FORT WORTH, TX. 76112	
A NEW RESIDENCE FOR: FORT WORTH GROUP INVESTMENT LLC.	
DESIGN 2000 ARLINGTON, TX. 76005	
DATE: AUG/2023 SCALE: INDICATED DWG NO.: DRAWN: MB SHEET:	
A-8	
SHEET: 1 of 13	