



**ZONING COMMISSION
AGENDA**

Wednesday, September 14th, 2022

Work Session 12:00 PM

Public Hearing 1:00 PM

Work Session

In-Person:

City Hall Conference Room 2020
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Public Hearing

In-Person:

City Council Chamber
200 Texas Street
2nd Floor-City Hall
Fort Worth, Texas 76102

Videoconference

<https://fortworthtexas.webex.com/fortworthtexas/onstage/g.php?MTID=e241027c966f146a084e9f524dd700bda>

Meeting/ Access Code: 2559 159 0730

Registration Required

Teleconference

(817) 392-1111 or 1-650-479-3208

Meeting/ Access Code: 2559 159 0730

Viewing Only

Television: Charter 190; One Source 7; Verizon 5; AT&T Uverse 99
City of Fort Worth Website Homepage: [Watch Live Online](#)

For more information on attending or speaking at this meeting either through Videoconference or Teleconference, please visit the City's website:

<https://www.fortworthtexas.gov/government/boards/list-boards-commissions/virtual-meetings>

To view the docket for this meeting visit: <https://www.fortworthtexas.gov/calendar/boards-commission>

This meeting will be conducted by videoconference or telephone call in accordance with the Texas Open Meetings Act.

Members of the Zoning Commission may be participating remotely in accordance with the Texas Open Meetings Act. The location identified on this agenda is the location at which the presiding officer will be physically present and presiding over the meeting.

****Any member of the public who wishes to address Zoning Commission regarding an item on a listed agenda must sign up to speak no later than 5 p.m. on the day before the scheduled meeting. To sign up, please register through WebEx in accordance with the directions on the City’s website above. This link should be used to register whether you plan to participate in-person or virtually. For questions or assistance with registration, please contact Sandra Cejas at sandra.cejas@fortworthtexas.gov or (817)392-8047.**

Please note that the City of Fort Worth is using a third party vendor to assist with City meetings. If there are service interruptions, including call in number changes, we will provide alternative call in numbers on our website whenever possible.

COMMISSION MEMBERS:

Jarod Cox, CD 1	_____	Dr. Mia Hall, CD 6	_____
Willie Rankin, Chair, CD 2	_____	Jacob Wurman, CD 7	_____
Beth Welch, CD 3	_____	Wanda Conlin, Vice Chair, CD 8	_____
Jesse Gober, CD 4	_____	Kimberly Miller, CD 9	_____
Rafael McDonnell, CD 5	_____		

- I. WORK SESSION/Lunch 12:00 pm City Council Conference Room 2020**
 - A. Overview of Zoning Cases**
 - B. 2022 Transportation Impact Fee Study Overview**

**Staff
Mirian Spencer**

II. PUBLIC HEARING 1:00 PM

CASES HEARD AT THIS PUBLIC HEARING ARE TO BE HEARD AT THE CITY COUNCIL MEETING ON TUESDAY, OCTOBER 11, 2022 AT 6:00 P.M. UNLESS OTHERWISE STATED.

A. CALL TO ORDER

- B. APPROVAL OF MEETING MINUTES OF AUGUST 10TH, 2022** _____ **Chair**

To view the docket please visit the City Calendar (Boards and Commissions) or visit <http://fortworthtexas.gov/zoning/cases/>

C. CONTINUED CASES

- 1. ZC-22-001** **CD 6**

- a. Site Location: 1984, 2000, 2004 Cleburne Crowley Rd, 1950, 3200 Longhorn Trail, 1101 W. Cleburne Rd.
- b. Acreage: 297
- c. Applicant/Agent: D.R. Horton – Texas LTD
- d. Request: From: Unzoned
To: “A-5” One-Family and “E” Neighborhood Commercial

2. ZC-22-066

CD 5

- a. Site Location: 11300 block Trinity Boulevard & 11250 S. Pipeline Rd
- b. Acreage: 14.85
- c. Applicant/Agent: Harold & Carolyn Pierce/ Drennan Commercial Group 5 LLC
- d. Request: From: "AG" Agricultural; "K" Heavy Industrial
To: "PD/E" Planned Development for all uses in "E" Neighborhood Commercial plus certain light industrial uses attached in exhibit A and a development standard to allow parking for warehouse and industrial uses to be calculated at one (1) space per four (4) employees (four (4) spaces minimum); site plan required

3. ZC-22-098

CD 6

- a. Site Location: 4520 Sycamore School Road
- b. Acreage: 4.7
- c. Applicant/Agent: Dirk Branch LP
- d. Request: From: "F" General Commercial
To: "PD/D" Planned Development for "D" High Density Multifamily excluding Community Home, Group Home 1 &2, and Country Club uses with development standard for parking, site plan included.

4. SP-22-010

CD 9

- a. Site Location: 300-400 blocks Carroll Street
- b. Acreage: 17.81
- c. Applicant/Agent: Riokim Montgomery LP
- d. Request: To: Amend Site Plan for PD 574 Planned Development for all uses in "MU-2" Mixed-Use with "DD" Demolition Delay

5. ZC-22-124

CD 6

- a. Site Location: 500 W. Rendon Crowley Rd
- b. Acreage: 5.0
- c. Applicant/Agent: Logan Land Development LP
- d. Request: From: "E" Neighborhood Commercial
To: "PD/E" Planned Development for all uses in "E" Neighborhood Commercial, plus mini-warehouse; site plan included.

D. NEW CASES

6. SP-22-016

CD 3

- a. Site Location: 3001 Alameda Street, 3000 West Loop 820 S
- b. Acreage: 2.78
- c. Applicant/Agent: The Fricks Company/Phillip Varughese (TNP)
- d. Request: To: Amend Site plan for PD 435 Planned Development for all uses in "F" General Commercial plus office, shop, vehicle maintenance and repair (inside only), vehicle washing, material testing, and inside storage (all associated with a general contractor business) and PD 1225 Planned Development for all uses in "G" Intensive Commercial plus car storage facility; site plan included.

7. ZC-22-114

CD 8

- a. Site Location: 2212 E. 4th Street
- b. Acreage: 21.2
- c. Applicant/Agent: Stonehawk Capital Partners
- d. Request: From: "PD 310R" Planned Development/Specific Use for multi-family and commercial subject to 37 acres of multi-family residential at a density of 30 to 36 units per acre, 7 acres of multi-family residential at a density of 30 to 50 units per acre, 12.5 acres of retail restaurant and commercial.
To: Amend "PD 310" to remove the multifamily density per acre restriction to allow 44 acres with a maximum unit count of 1,682 and 12.5 acres of retail, restaurant and commercial.

This case will be heard next month due to a notification error.

8. ZC-22-045

CD 4

- a. Site Location: 5900-5915 (Evens) Elliott Reeder Road
- b. Acreage: 0.66
- c. Applicant/Agent: Adriana Ortiz
- d. Request: To: Add Conditional Use Permit (CUP) for outdoor storage of construction vehicles in "I" Light Industrial, site plan included

9. ZC-22-134

CD 8

- a. Site Location: 2925 E. Berry Street; 2914-2928 Burton Avenue
- b. Acreage: 1.16
- c. Applicant/Agent: Vaquero Binkley Partners, LP
- d. Request: From: "A-5" One-Family
To: "E" Neighborhood Commercial

10. ZC-22-136

CD 5

- a. Site Location: 3700 Ada Avenue
- b. Acreage: 0.35
- c. Applicant/Agent: SAI E & E Properties Inc.
- d. Request: From: "ER" Neighborhood Commercial Restricted
To: "E" Neighborhood Commercial

11. ZC-22-137

CD 5

- a. Site Location: 6101-6125 (odds) Willard Road
- b. Acreage: 2.07
- c. Applicant/Agent: Bassam Ramadam
- d. Request: To: Add Conditional Use Permit for auto repair and sales in "E" Neighborhood Commercial, site plan included

12. ZC-22-138

CD 2

- a. Site Location: 3700 N Grove Street
- b. Acreage: 8.08
- c. Applicant/Agent: 3700 N. Grove LLC
- d. Request: To: Add Conditional Use Permit (CUP) to allow semi-truck and trailer parking in "I" Light Industrial; site plan included with development waiver for hard surface parking requirement, site plan included.

13. ZC-22-139

CD 3

- a. Site Location: 3824 Benbrook Highway
- b. Acreage: 6.19
- c. Applicant/Agent: Jammy Incorporated
- d. Request: From: "E" Neighborhood Commercial with NASJRB Airport APZ II Overlay
To: "I" Light Industrial with NASJRB Airport APZ II Overlay

14. ZC-22-140

CD 3

- a. Site Location: 10300 block Chapin Road
- b. Acreage: 13.62
- c. Applicant/Agent: HighFive Trust- BJA
- d. Request: From: "AG" Agricultural
To: "G" Intensive Commercial; "PD/G" Planned Development for all uses in "G" Intensive Commercial, plus mini-warehouse; site plan included.

15. ZC-22-141

CD 9

- a. Site Location: 731 Samuels Avenue
- b. Acreage: 1.02
- c. Applicant/Agent: Bruce & David Morris
- d. Request: From: "D" High Density Multifamily with Downtown Samuels Overlay and HC Overlay
To: "PD/H" Planned Development for all uses in the "H" Central Business District plus one-family detached, brewpub, and distillery uses with a development standard for maximum height of ten (10) stories with Downtown Samuels Overlay and HC Overlay, Site Plan Waiver Requested

16. ZC-22-142

CD 8

- a. Site Location: 1108 Riverside Drive
- b. Acreage: 0.21
- c. Applicant/Agent: Richard Gasca
- d. Request: From: "A-5" One-Family
To: "E" Neighborhood Commercial

17. ZC-22-143

CD 9

- a. Site Location: 2606 Hemphill Street
- b. Acreage: 0.83
- c. Applicant/Agent: Southside City Church
- d. Request: From: "E" Neighborhood Commercial
To: PD/CR Planned Development for all uses in "CR" Low Density Multifamily, with specific development standards for open space, setbacks adjacent to one-family residential, fencing location, building orientation, and a waiver to the MFD submittal; Site Plan included.

18. ZC-22-145

CD 5

- a. Site Location: 13455 Ferris Street
- b. Acreage: 13.44
- c. Applicant/Agent: LCG21 Trinity LLC
- d. Request: From: "PD 247" Planned Development- Specific Use to allow Contractor's Storage Yard
To: "I" Light Industrial

19. ZC-22-148

CD 5

- a. Site Location: 2104 R.W. Bivens Lane
- b. Acreage: 0.18
- c. Applicant/Agent: City of Fort Worth – Development Services
- d. Request: From: "A-5/SS" One-Family with Stop Six Overlay
To: "UR/SS" Urban Residential with Stop Six Overlay

20. ZC-22-149

CD 8

- a. Site Location: 3626 Meadowbrook Drive
- b. Acreage: 0.61
- c. Applicant/Agent: City of Fort Worth – Development Services
- d. Request: From: "ER" Neighborhood Commercial Restricted
To: "A-5" One-Family

E. ADJOURNMENT: _____

ASSISTANCE AT THE PUBLIC MEETINGS:

This meeting site is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

ASISTENCIA A REUNIONES PUBLICAS:

Este sitio de reunión es accesible con silla de ruedas. Se solicita a las personas con discapacidades que planean asistir a esta reunión y que necesitan acomodaciones, ayudas auxiliares o servicios tales como intérpretes, lectores o impresiones con letra grande, que se comuniquen con el Coordinador de la Asociación Americana de Discapacitados (ADA) de la Ciudad llamando al teléfono (817) 392-8552 o por correo electrónico a ADA@FortWorthTexas.gov por lo menos 48 horas antes de la reunión, de modo que puedan hacerse los arreglos adecuados. Si la Municipalidad no recibe una notificación por lo menos 48 horas antes de la reunión, ésta hará un intento razonable para proporcionar las acomodaciones necesarias.

Executive Session.

A closed executive session may be held with respect to any posted agenda item to enable the Commission to receive advice from legal counsel, pursuant to Texas Government Code, Section 551.071.



Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-001

Council District: (future) 6

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: D.R. Horton – Texas LTD

Acreage: 297 acres

Site Location: 1984, 2000, 2004 Cleburne Crowley Rd, 1950, 3200 Longhorn Trl, 1101 W Cleburne Rd

Request

Proposed Use: Single-family, Commercial

Request: From: Unzoned

To: “A-5” One-Family and “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent (minor boundary adjustment)**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Single Family Residential, Institutional & Neighborhood Commercial

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 - b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

Update* The applicant is now proposing two (6) tracts for the overall 297-acre site with the current and proposed zoning described in the table below:

Tract	Current Zoning	Proposed Zoning	Acres
1	Unzoned	"A-10" One-family	8.7 Acres
2	Unzoned	"A-5" One-family	166.1 Acres
3	Unzoned	"E" Neighborhood Commercial	7.0 Acres
4	Unzoned	"A-7.5" One-family	42.5 Acres
5	Unzoned	"A-10" One-family	19.5 Acres
6	Unzoned	"A-21" One-family	53.0 Acres

During the past 30 days, the applicant has held meetings with the community and Councilperson Williams. As a result, the applicant is changing their previous request to divide the residential part into five (5) tracts instead of the original proposal of "A-5" One-family only for tract one (1). They are now including other one-family designations such as "A-21", "A-10," and "A-7.5". Adding these designations would be more compatible with the existing neighborhoods to the south of the site and help transition to the higher-density part of the northern area of the site.

Tract 3 is located east of the overall site and is currently unzoned. The applicant intends to rezone this portion to "E" Neighborhood Commercial (7 acres) the proposed zoning for this area has not changed since they original application was submitted.

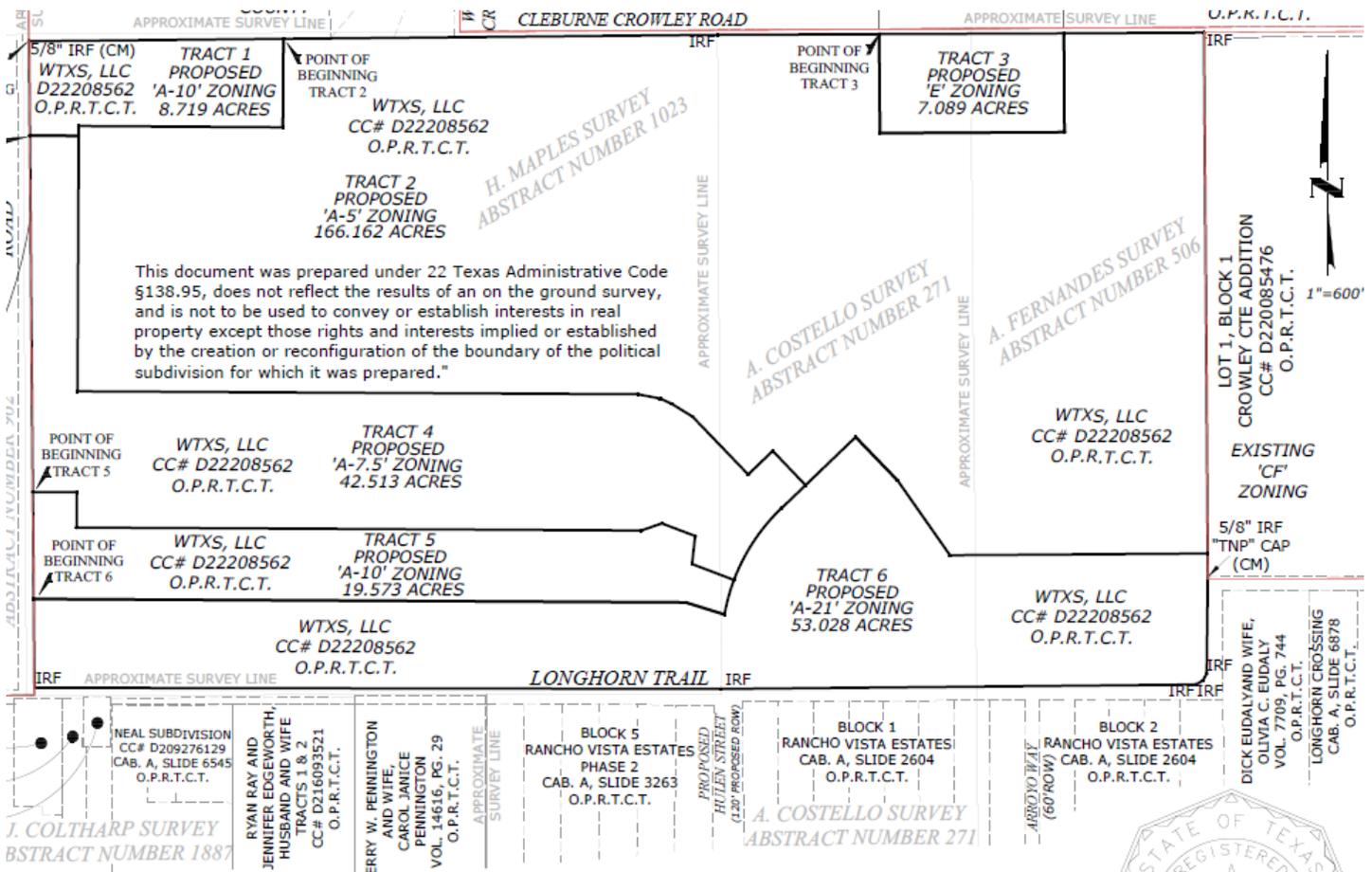
The applicant also has an active annexation application. The annexation case was initially scheduled to be heard by City Council on August 23, 2022.

Because the Zoning Commission recommended a 30-day continuance on the zoning case to allow the applicant to meet with some community stakeholders and address their concerns, the applicant requested a continuance on the annexation case to the next council date on October 11, 2022, to match the council date for the rezoning case.

According to the applicant, on 8-25-22, they met with the community, but the parties could not reach a compromise.

On 8-26-22, the applicant was scheduled to meet with councilman Williams to discuss the project and address concerns.

On 9-8-22, the applicant held a meeting with the community, and according to them, they reached a consensus.



Surrounding Zoning and Land Uses

North "A-5" One-Family; "E" Neighborhood Commercial / undeveloped
 East "CF" Community Facilities / schools
 South ETJ / residences
 West ETJ; "A-5" One-Family; "/ undeveloped

Recent Zoning History

- ZC-18-112: from unzoned to "A-5" One-Family
- ZC-16-085: from unzoned, A-43, A-5, R2, C, E, G, I "A-5" One-Family; "D" High Density Multifamily; "E" Neighborhood Commercial; "F" General Commercial; "CF" Community Facilities, "MU-2" Mixed uses (west of the subject property).
- ZC-19-146: from unzoned to "CF" Community Facilities (east of the subject property).

Public Notification

300-foot Legal Notifications were mailed on July 27, 2022.
 The following organizations were notified: (emailed July 27, 2022)

Organizations Notified	
Panther Heights NA	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity
Crowley ISD	

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to zone this property “A-5” One-Family and “E” Neighborhood Commercial. Surrounding properties are primarily undeveloped and residential.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far Southwest

The adopted Comprehensive Plan currently designates the subject property as “single-family” and “neighborhood commercial” on the Future Land Use Map. The policies below apply to this development.

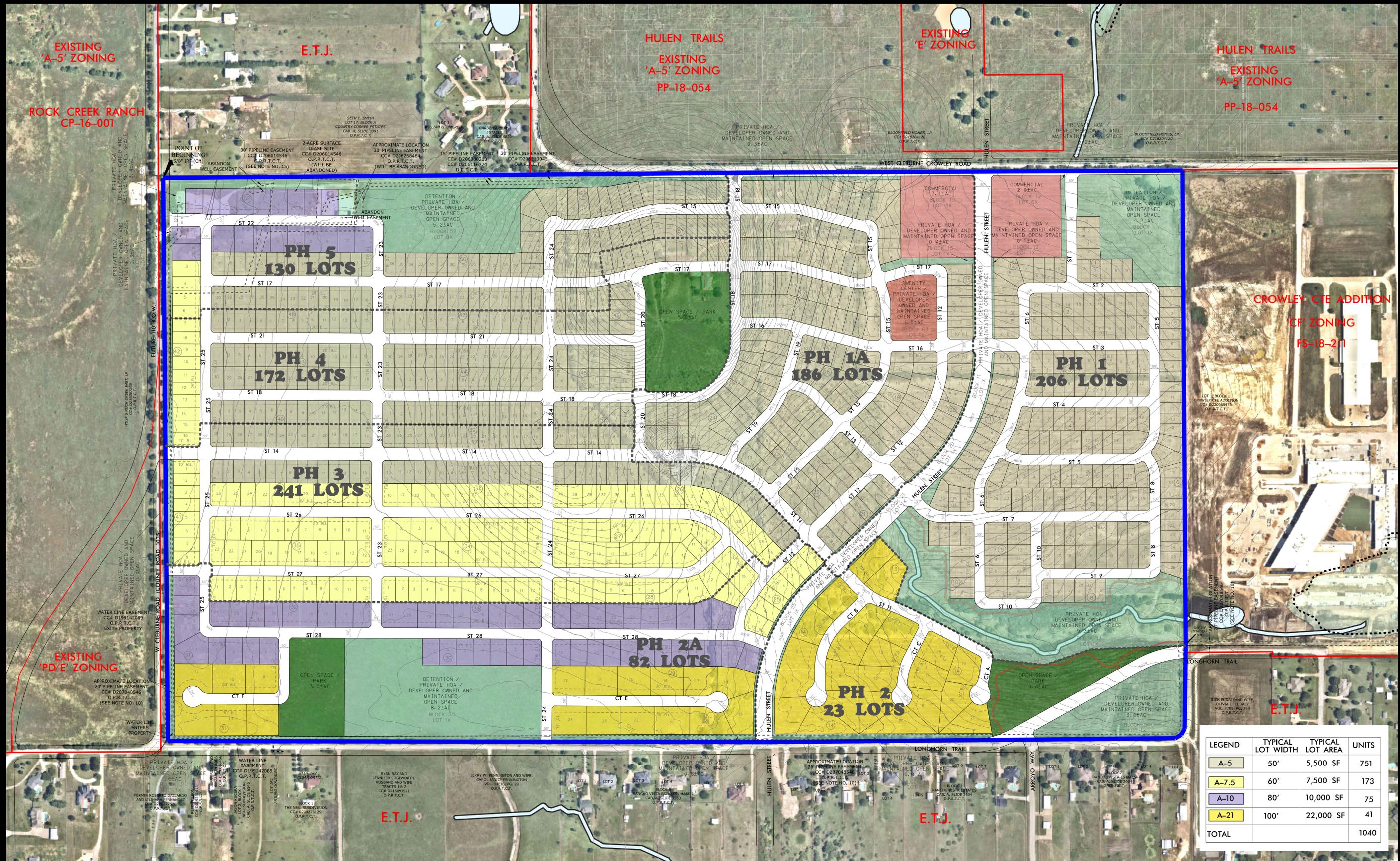
- Promote fiscally sustainable growth on the periphery of the city by encouraging development adjacent to existing adequate infrastructure and discouraging leapfrog development.
- Promote commercial, mixed-use, and urban residential development

Since this is a large zoning case, the Comprehensive Plan Consistency has been divided into tracts. The table below describes the consistency with the Comprehensive Plan:

Tract	Proposed Zoning	Future Land Use	Consistency
1	“A-10” One-family	Single-family/Institutional	Consistent (minor boundary adjustment)
2	“A-5” One-family	Single-family	Consistent
3	“E” Neighborhood Commercial	Neighborhood Commercial	Consistent (minor boundary adjustment)
4	“A-7.5” One-family	Single-family	Consistent
5	“A-10” One-family	Single-family	Consistent

6	“A-21” One-family	Single-family	Consistent
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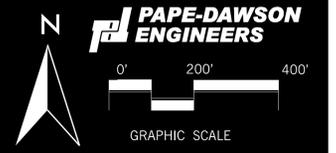




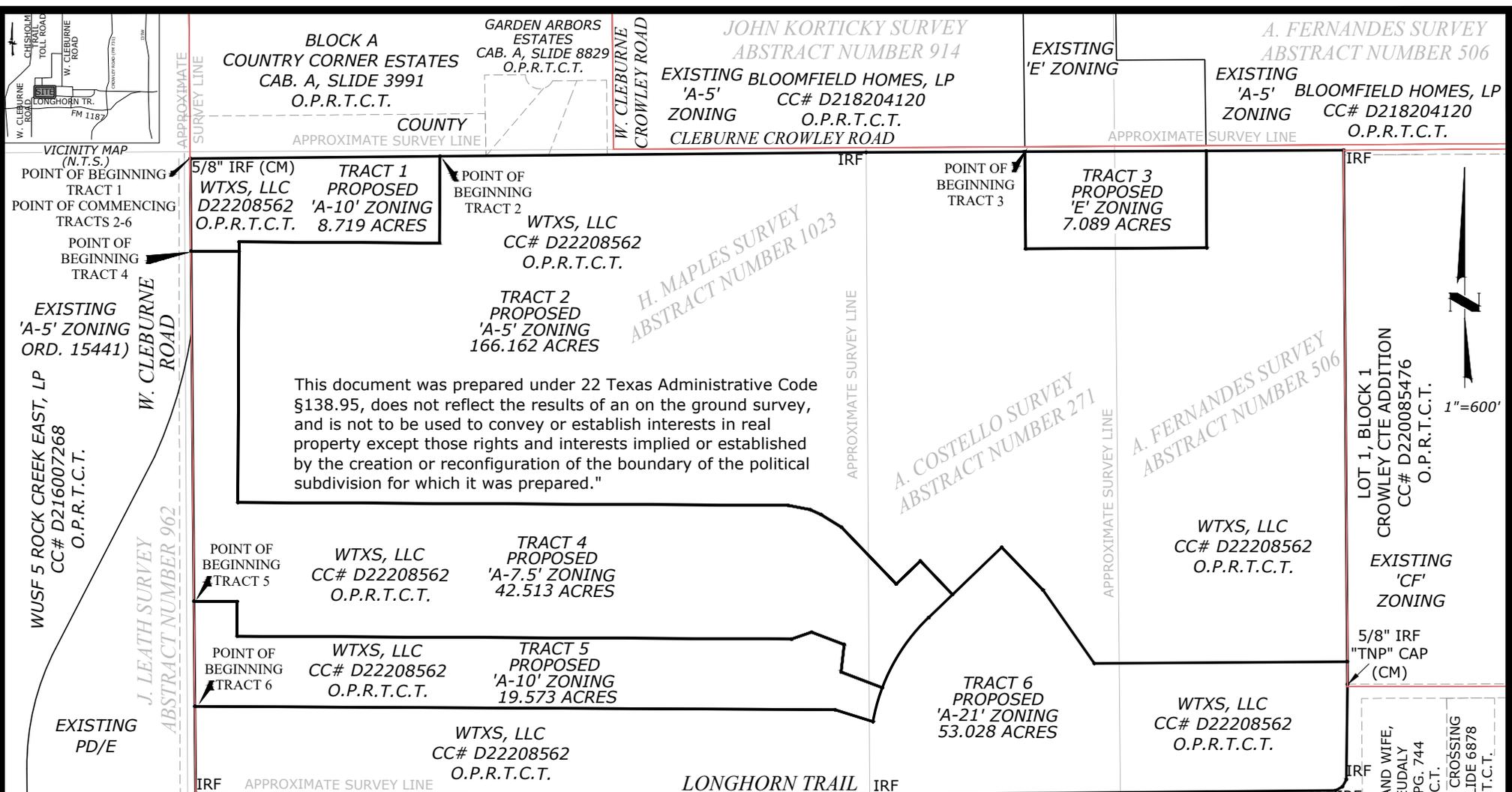
LEGEND	TYPICAL LOT WIDTH	TYPICAL LOT AREA	UNITS
A-5	50'	5,500 SF	751
A-7.5	60'	7,500 SF	173
A-10	80'	10,000 SF	75
A-21	100'	22,000 SF	41
TOTAL			1040

EXHIBIT – 296.0±AC
SEWELL TRACT
 FORT WORTH, TEXAS
 SEPTEMBER 2, 2022

Exhibit B



PAPE-DAWSON ENGINEERS



This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

H. MAPLES SURVEY
ABSTRACT NUMBER 1023

A. COSTELLO SURVEY
ABSTRACT NUMBER 271

A. FERNANDES SURVEY
ABSTRACT NUMBER 506

FERMIN ROBERTO GALLARDO AND LILINANA FERNANDEZ
CC# D21627528
O.P.R.T.C.T.
REED WILSON
CC# D219231413
O.P.R.T.C.T.
JERRY ROSS AND ELIZABETH ROSS
CC# D216006456
O.P.R.T.C.T.

J. COLTHARP SURVEY
ABSTRACT NUMBER 1887

NEAL SUBDIVISION
CC# D209276129
CAB. A, SLIDE 6545
O.P.R.T.C.T.

RYAN RAY AND JENNIFER EDGEWORTH, HUSBAND AND WIFE
TRACTS 1 & 2
CC# D216093521
O.P.R.T.C.T.

JERRY W. PENNINGTON AND WIFE, CAROL JANICE PENNINGTON
VOL. 14616, PG. 29
O.P.R.T.C.T.

APPROXIMATE SURVEY LINE

BLOCK 5 RANCHO VISTA ESTATES PHASE 2
CAB. A, SLIDE 3263
O.P.R.T.C.T.

PROPOSED HULEN STREET (120' PROPOSED ROW)

BLOCK 1 RANCHO VISTA ESTATES
CAB. A, SLIDE 2604
O.P.R.T.C.T.

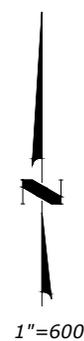
A. COSTELLO SURVEY
ABSTRACT NUMBER 271

ARROYO WAY (60' ROW)

BLOCK 2 RANCHO VISTA ESTATES
CAB. A, SLIDE 2604
O.P.R.T.C.T.

DICK EUDALYAND WIFE, OLIVIA C. EUDALY
VOL. 7709, PG. 744
O.P.R.T.C.T.
LONGHORN CROSSING
CAB. A, SLIDE 6878
O.P.R.T.C.T.

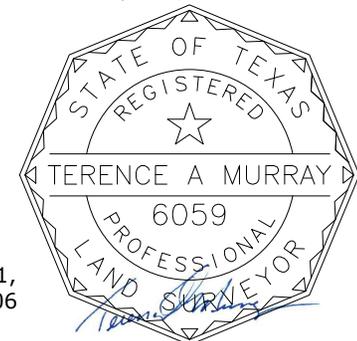
LOT 1, BLOCK 1 CROWLEY CTE ADDITION
CC# D220085476
O.P.R.T.C.T.
EXISTING 'CF' ZONING



LEGEND:
 — PROPOSED ZONING LIMITS
 — EXISTING CITY LIMITS
 — ADJACENT PROPERTY LINE

AN EXHIBIT SHOWING PROPOSED ZONING

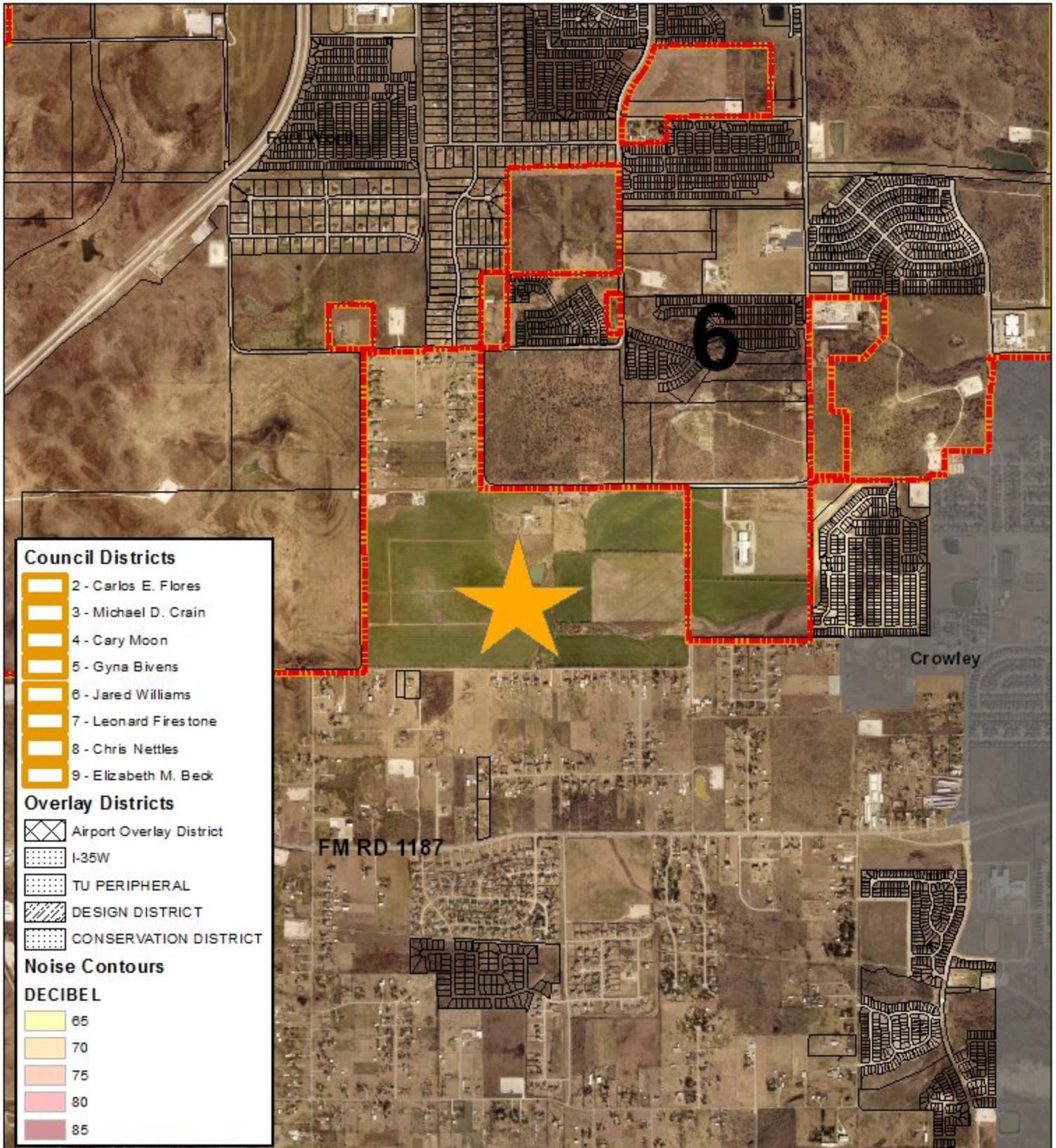
SITUATED IN THE
 H. MAPLES SURVEY, ABSTRACT NUMBER 1023,
 THE A. COSTELLO SURVEY, ABSTRACT NUMBER 271,
 THE A. FERNANDES SURVEY, ABSTRACT NUMBER 506
 TARRANT COUNTY, TEXAS



PIERCE-MURRAY LAND SOLUTIONS
 800 TALLYHO CIRCLE
 TYLER, TEXAS 75703
 (817) 239-5646
 (903) 539-2256
 TBPELS FIRM REGISTRATION NO. 10194437

CM=CONTROLLING MONUMENT
 IRF = IRON ROD FOUND
 IRS = 1/2" IRON ROD WITH CAP STAMPED "PIERCE MURRAY" SET
 BASIS OF BEARINGS IS THE TEXAS STATE COORDINATE SYSTEM,
 NORTH CENTRAL ZONE, NAD83 DATUM, 2011 REALIZATION.

Area Map



Council Districts

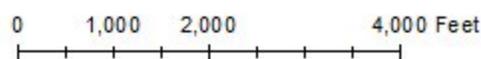
-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

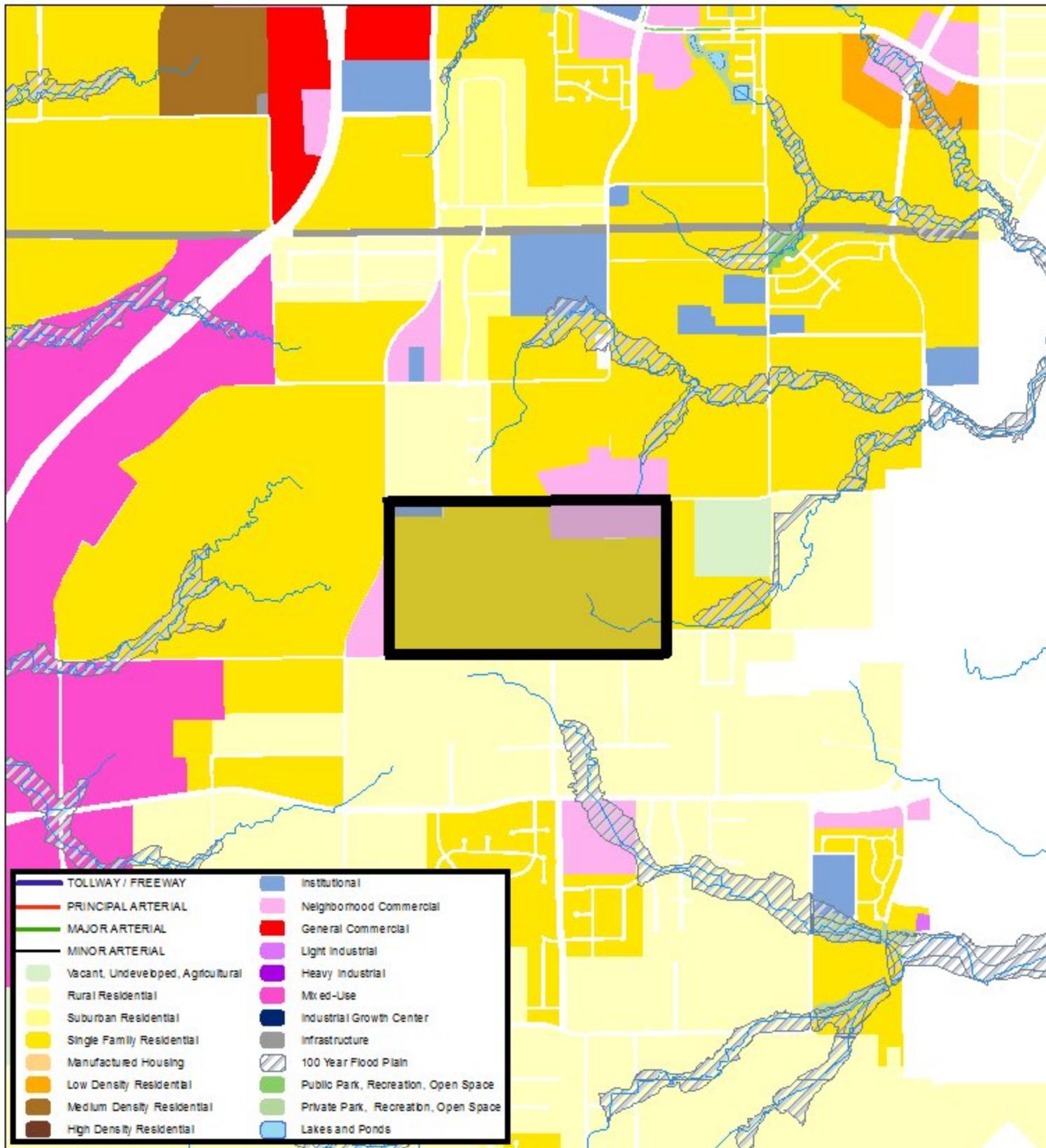
-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

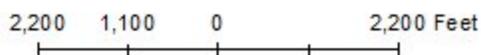
- DECIBEL
-  65
 -  70
 -  75
 -  80
 -  85



Future Land Use



2,200 1,100 0 2,200 Feet



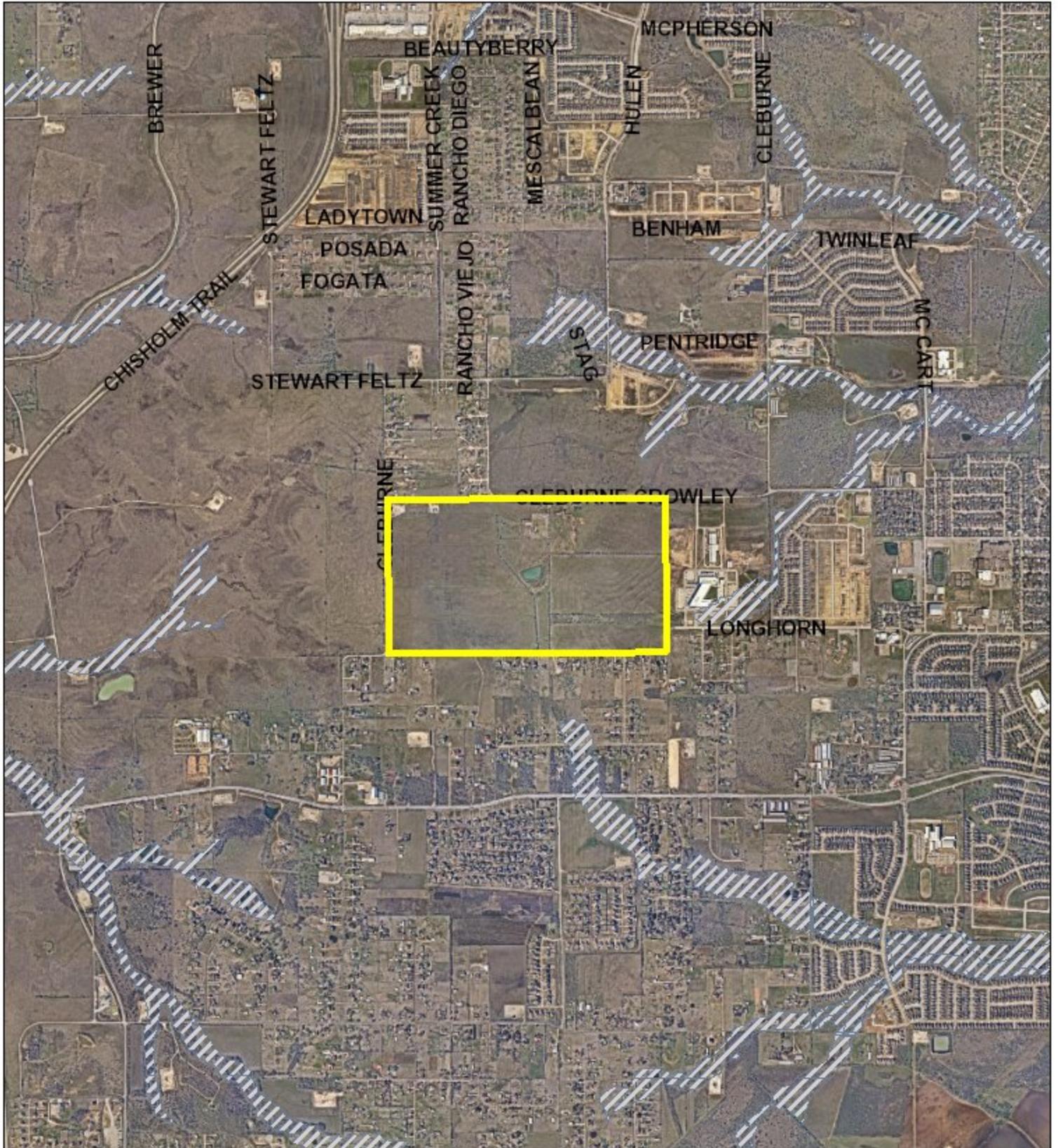
A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





ZC-22-001

Aerial Photo Map



0 1,450 2,900 5,800 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-066

Council District: 5

Zoning Map Amendment

Case Manager: [Monica Lafitte](#)

Owner / Applicant: “AG” portion: Harold & Carolyn Pierce / Ray Abraham, Leon Capital Group
“K” portion: Drennan Commercial Group 5 LLC / Ray Abraham, Leon Capital Group

Site Location: 11300 Block Trinity Boulevard

Acres: 14.85 acres

Request

Proposed Use: Warehouse Distribution & Logistics Facility

Request: From: “AG” Agricultural & “K” Heavy Industrial

To: “PD/E” Planned Development for all uses in “E” Neighborhood Commercial plus certain light industrial uses (see attached exhibit) and a development standard to allow parking for warehouse and industrial uses to be calculated at one (1) space per four (4) employees (four (4) spaces minimum); site plan required

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent (Technically Consistent)**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Neighborhood Commercial (“AG” portion) and Light Industrial (“K” portion)

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 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Exhibit: Proposed Light Industrial Uses
8. Conceptual Plan
9. Area Map
10. Future Land Use Map
11. Aerial Photograph

Project Description and Background

The subject property has two sections bisected by Trinity Boulevard, west of House Anderson Road; the southern section fronts Mosier Valley Road to the south. It is located in the area known as Mosier Valley.

Revised Request

This case has been before the Zoning Commission two previous times; the case was then revised to increase the site and change the requested zoning.

Initial Location



Revised Location



Initial Request:

Rezone from “AG” Agricultural to “J” Medium Industrial to allow a distribution and logistics facility.

- May 11 Zoning Commission: Mr. Ray Oujesky requested a 30 day continuance to address several concerns in the staff report and reach out to impacted stakeholders.
- June 8 Zoning Commission: 90 day continuance.

Current Request:

Rezone from “AG” Agricultural and “K” Heavy Industrial to “PD/E” Planned Development for all uses in “E” Neighborhood Commercial plus certain light industrial uses and a development standard to allow parking for warehouse and industrial uses to be calculated at one (1) space per four (4) employees (four (4) spaces minimum); site plan required.

The lot added to the north is currently zoned “K” Heavy Industrial. The proposed light industrial uses are allowed on this property by right. However, since this parcel is included within the overall project site, staff recommended the applicant include it in the rezoning request so the entire project site is under the same zoning with consistent

requirements. Rezoning the “K” Heavy Industrial site to “PD/E plus certain industrial uses with a parking development standard” is limiting the allowable uses on the site from what would be allowed in “K” Heavy Industrial.

The following explanation was provided on the application:

The applicant is proposing a PD that adds specified light industrial uses that are compatible with surrounding uses and are acceptable to neighborhood stakeholders while retaining the E Neighborhood Commercial base zoning district in order to maintain consistency with the future land use plan. By specifying which light industrial uses are permitted, with a site plan required, the applicant is providing certainty to neighborhood stakeholders that the development and use of the property will be as presented.

Background

Sometime between 2017 and mid-2018 the southern portion of the site along Mosier Valley Road began being used for industrial purposes without the proper zoning in place. The site appears to be utilized for truck and material outdoor storage. Mosier Valley Road is a local county road, which is not designed to support industrial uses. This southern portion of the site that is currently being used for unauthorized industrial use submitted a zoning change in 2019 requesting “K” Heavy Industrial, which was denied, and again in 2020 to request “A-5” but withdrew the case. This 2022 rezoning application includes undeveloped land to the north, which was not included in the previous requests.

Development Standard

The applicant is requesting a development standard for parking of the added light industrial uses. Parking is calculated based on the type of use. Any commercial parking would be based on the type of commercial use (such as retail, restaurant, or office), per Ch. 6 of the Zoning Ordinance. The following is the standard parking requirement for industrial uses:

Use	Requirement
Industrial	
Industrial building	2 spaces per 1,000 square feet gross floor area or 1 space per 3 employees, whichever is greater
Warehouse building	1 space per 4 employees 4 spaces minimum

The applicant is requesting a development standard to park the site at one (1) space per four (4) employees (four (4) spaces minimum), which is the warehouse building calculation. This would mean that parking calculation would be used for all industrial types, not just warehouses.

Staff is supportive of this request, due to the PD site plan. The site plan must show parking that meets this proposed calculation method. If the Zoning Commission and/or City Council feel there is not adequate parking on the site plan, they can require additional spaces be added, even if it is meeting the requirement of one (1) space per four (4) employees (four (4) spaces minimum).

Site Plan

The applicant has requested to submit a site plan at a later date.

The following explanation was included on the Zoning Change Application:

A site plan will be submitted at a future time for the properties. This option is based on the fact that there is surplus TxDOT property along the frontage of Trinity Boulevard. The owner is currently coordinating



with TxDOT to purchase this property and anticipates acquisition in fall of 2022. Once the property is acquired, the surplus property will be submitted to Zoning Commission for rezoning from AG to PD, matching the current request for the existing property. Once all of the property is acquired and zoned, the site plan will be submitted to Zoning Commission and Council for approval.

Staff is supportive of this request. If the request for “site plan required” is granted, nothing can be built on site without a site plan being presented to the Zoning Commission and approved by City Council.

Surrounding Zoning and Land Uses

North “AG” Agricultural / industrial
East “J” Medium Industrial / industrial
South “AG” Agricultural / Mosier Valley Park
“I” Light Industrial / industrial
West “J” Medium Industrial / industrial (construction yard and water treatment facility)

Recent Zoning History

- ZC-20-020 from AG to A-5; Withdrawn; subject site
- ZC-19-097 from AG to K; Denied on 10/15/19; subject site
- ZC-22-053; from AG to I; ZC recommended denial on 4/13/22, goes to City Council on 5/10/22; south of subject site
- ZC-19-027; from AG to A-5; effective 2019; south of subject site
- ZC-17-014; from PD/I with development standards to PD/E excluding alcohol sales; effective 4/27/17; southeast of subject site
- ZC-17-149; from AG to PD/I; denied 11/7/17; southeast of subject site
- ZC-18-033 from A-10 to A-5; effective 5/5/18; south of subject site
- ZC-20-141; from AG to A-43; effective 1/31/21; southeast of subject site
- ZC-19-033; from AG to PD/I; effective 6/20/19; west of subject site
- ZC-19-120; from AG, AR, CF, and K to A-5; effective 10/24/19; east of subject site

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.

The following organizations were notified: (emailed September 2, 2022)

Organizations Notified	
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	Hurst Euless Bedford ISD

* Not located within a registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is requesting to change the zoning of this property from “AG” Agricultural District and “K” Heavy Industrial District to a Planned Development based on “E” Neighborhood Commercial with certain light industrial uses added and a development standard for parking. The surrounding land uses include residential, industrial, undeveloped, commercial, and a city park dedicated in 2014.

The proposed Planned Development’s base district of “E” Neighborhood Commercial is compatible with the surrounding land uses, particularly the residential, agricultural, and parkland uses. The requested addition of light industrial uses is compatible with the surrounding industrial uses in the immediate vicinity, such as warehouses, outdoor storage, and a water treatment facility. However, the light industrial uses are not explicitly compatible with the surrounding residential, agricultural, and parkland that are in the greater area. In adding particular selected light industrial uses, the Zoning Commission and City Council can approve uses they deem acceptable for this location.

Overall, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2022 Comprehensive Plan currently designates the “AG” zoned property as Neighborhood Commercial and the “K” zoned property as Light Industrial on the Future Land Use Map. Below is a portion of a table in Ch. 4 Land Use from the Comprehensive Plan.

FUTURE LAND USE AND ZONING CLASSIFICATIONS (Updated 5/26/2022)

FUTURE LAND USE	DEFINITION	ZONING
COMMERCIAL		
Neighborhood Commercial*	Retail, services, offices and mixed uses serving daily needs for a local market area	ER, E, MU-1
General Commercial*	Retail, services, offices and mixed uses serving occasional needs for a larger market area	All Commercial, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, All Commercial, MU-1, MU-2, Form-Based Codes
<i>*Multifamily has been removed as an encouraged land use and applicable zoning districts in accordance with current Zoning policies.</i>		
INDUSTRIAL		
Light Industrial	Warehousing, transportation, light assembly, outside storage	MU-2, I, All Commercial
Heavy Industrial	Heavy manufacturing, outside storage, recycling centers, concrete batch plants	All Commercial & Industrial
Industrial Growth Center	Industrial and commercial uses serving a large region	All Commercial & Industrial

The Comprehensive Plan for the “AG” area was changed in 2017 from Light Industrial to Neighborhood Commercial to support the residential growth of the historic Mosier Valley community.

The proposed base zoning of “E” Neighborhood Commercial is consistent with the Neighborhood Commercial and the Light Industrial Future Land Use designations, which allows for all commercial districts.

However, the requested addition of eighteen light industrial uses, while consistent with the portion of the site with the Light Industrial Future Land Use designation, is not consistent with the portion designated as Neighborhood Commercial Future Land Use.

Overall, the proposed zoning is **consistent (technically consistent)** with the Comprehensive Plan.

Economic Development Plan

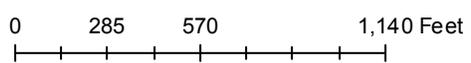
The 2018 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The below recommendations apply to this project:

PERFORMANCE METRICS

2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

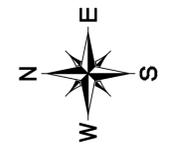
Area Zoning Map

Applicant: Harold & Carolyn Pierce
 Address: 11300 block Trinity Boulevard
 Zoning From: AG & K
 Zoning To: PD/E plus certain light industrial uses and a parking development standard
 Acres: 14.85467671
 Mapsco: 54Y
 Sector/District: Eastside
 Commission Date: 9/14/2022
 Contact: 817-392-2806

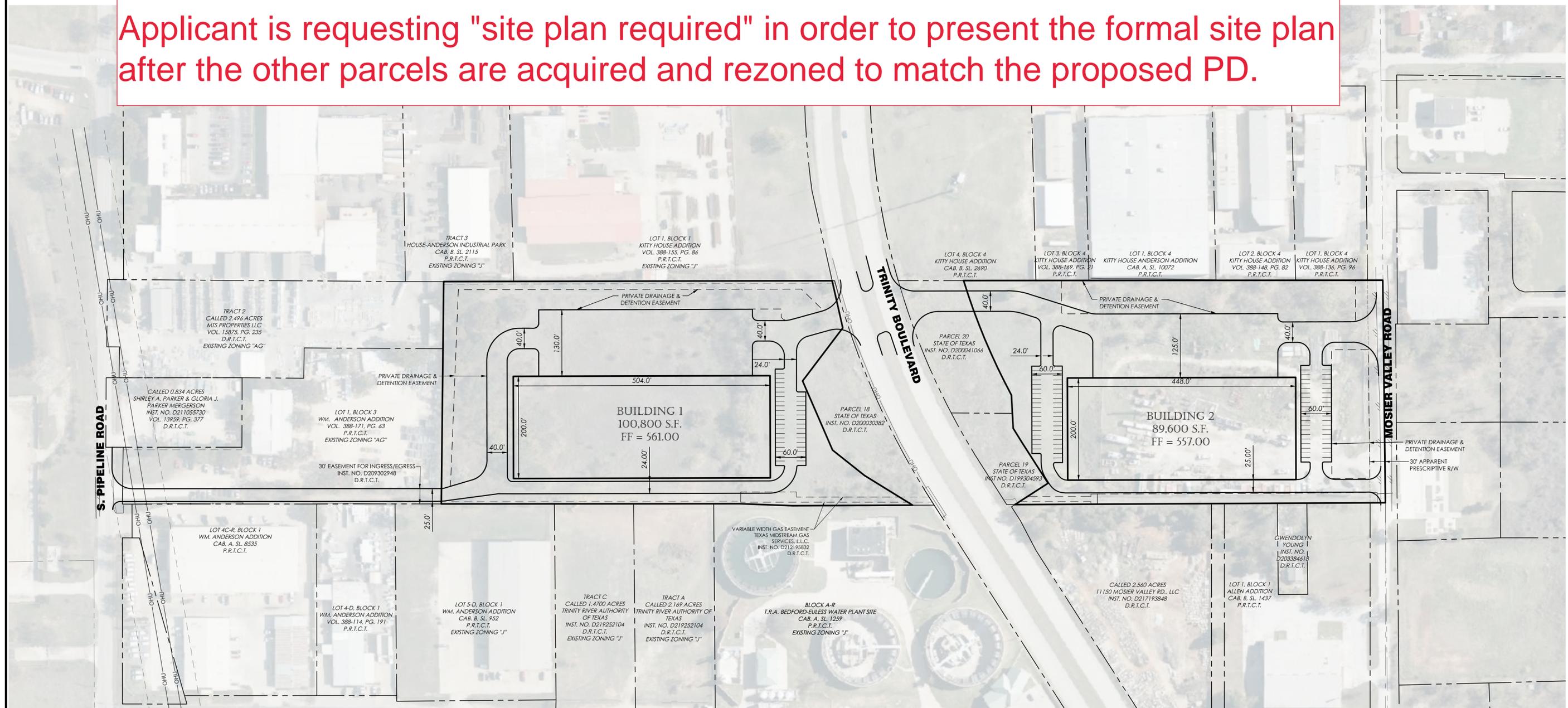


Conceptual Plan showing entire future project site, including the TxDOT parcels currently in acquisition process.

Applicant is requesting "site plan required" in order to present the formal site plan after the other parcels are acquired and rezoned to match the proposed PD.



NO.	REVISION DATE



MOSIER VALLEY
CITY OF FORT WORTH
TARRANT COUNTY, TEXAS



JOB NO.:	10957
DATE:	7/28/22
DSGN/DRFT:	ANB
REVIEW:	JSW

SHEET
1 of 1
SITE PLAN

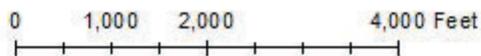
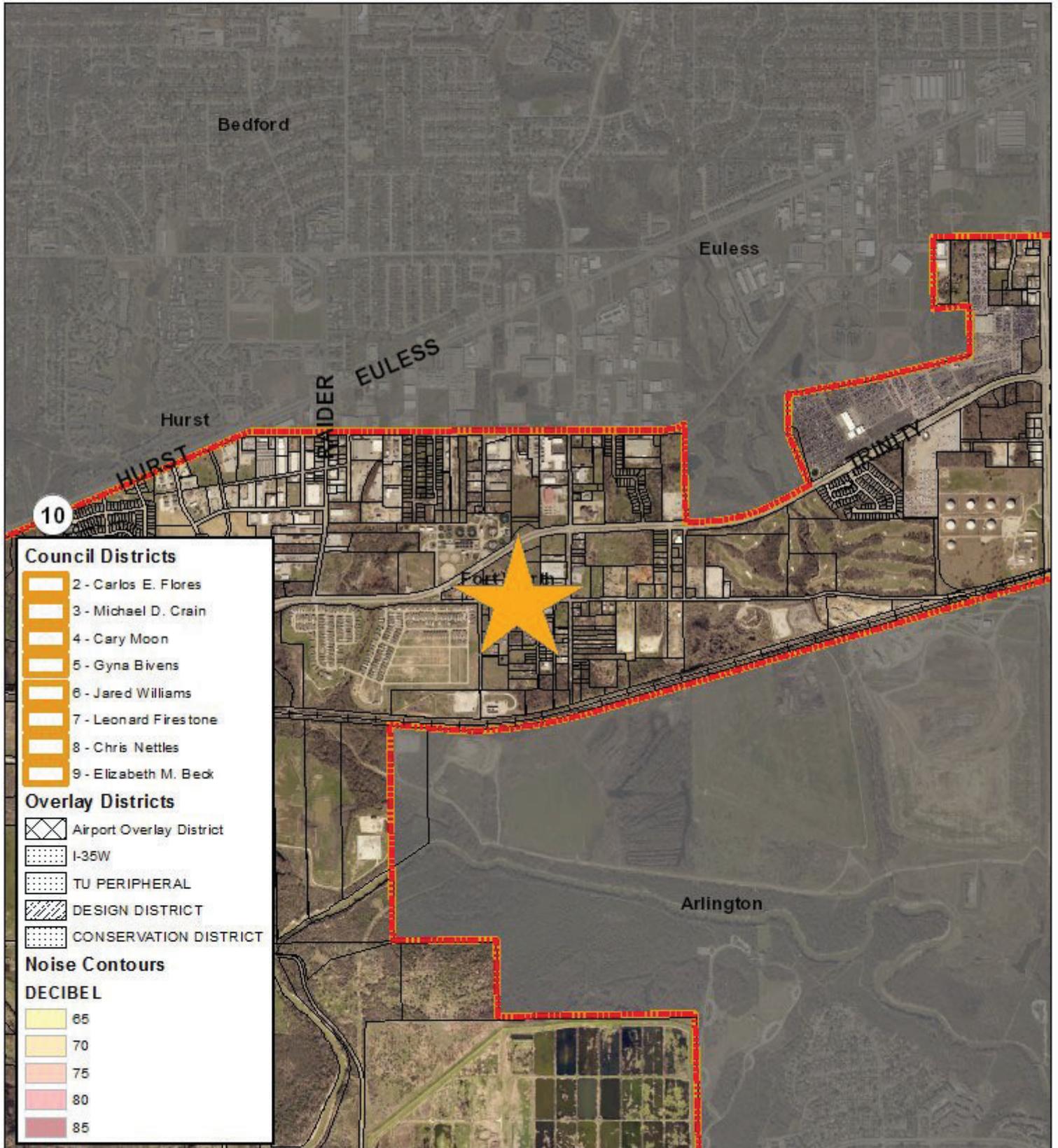
ZC-22-066 Exhibit:

Planned Development – Base District E “Neighborhood Commercial” Added Light Industrial Uses:

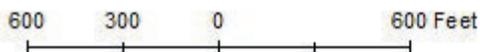
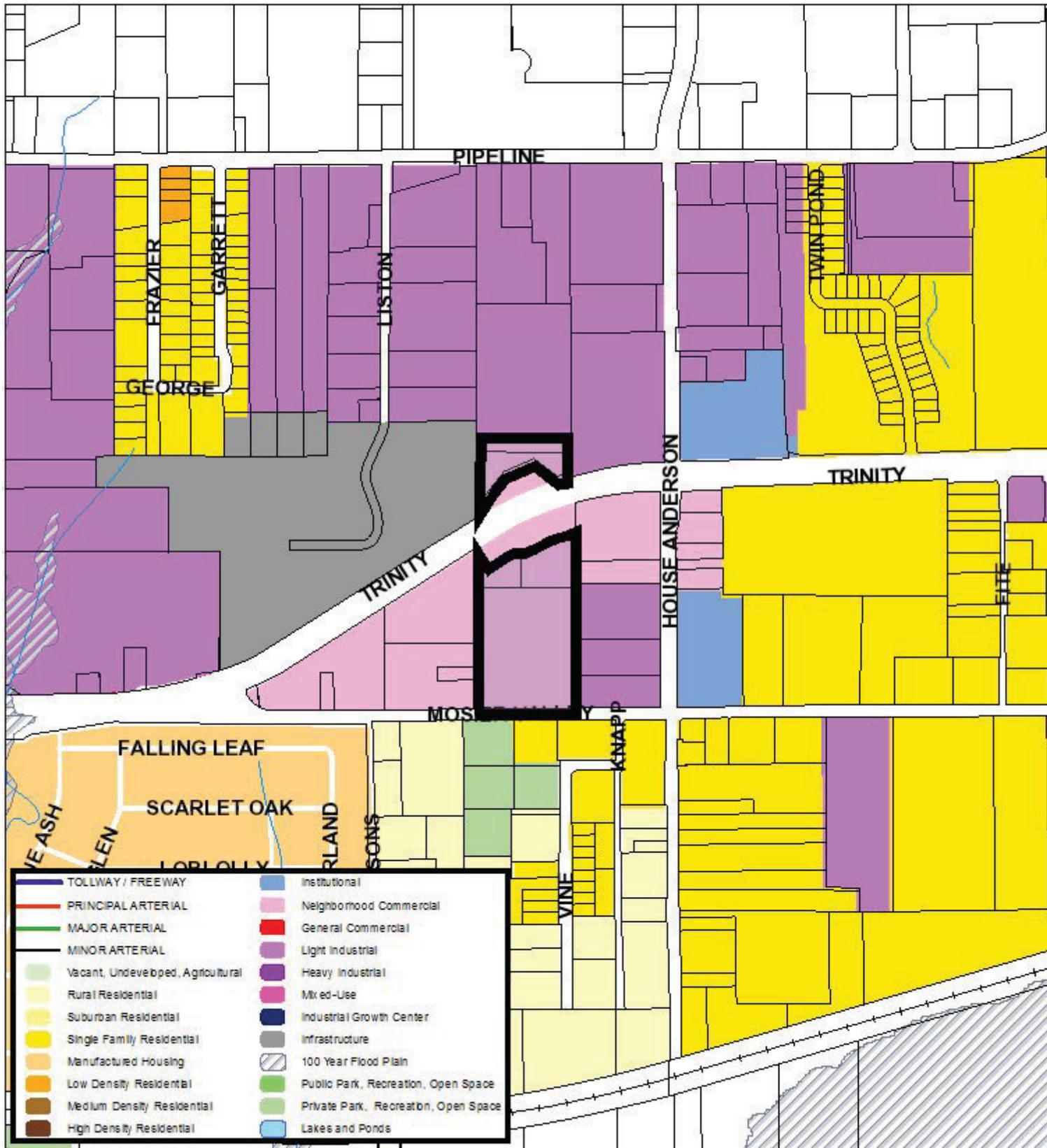
- Assembly of pre-manufactured parts, except for vehicles, trailers, airplanes or mobile homes
- Bottling works, milk or soft drinks
- Data center
- Electroplating
- Fabricating or manufactured housing, temporary or office building
- Food processing (no slaughtering)
- Furniture or cabinet repair or construction
- Furniture sales, with outside storage/display (new/used)
- Galvanizing, small utensils
- Manufacture of artificial flowers, ornaments, awnings, tents, bags, cleaning/polishing preparations, boats under 28 ft. in length, brooms or brushes, buttons and novelties, canvas products, clothing, suits, coats or dresses for wholesale trade
- Manufacture of aluminum, brass or other metals or from bone, paper, rubber, leather and plastics
- Monument/marble works, finishing and carving only
- Monument works, stone
- Paint mixing or spraying
- Paper box manufacture
- Printing, lithographing, book-binding, newspapers or publishing
- Rubber stamp manufacture
- Warehouse or bulk storage



Area Map



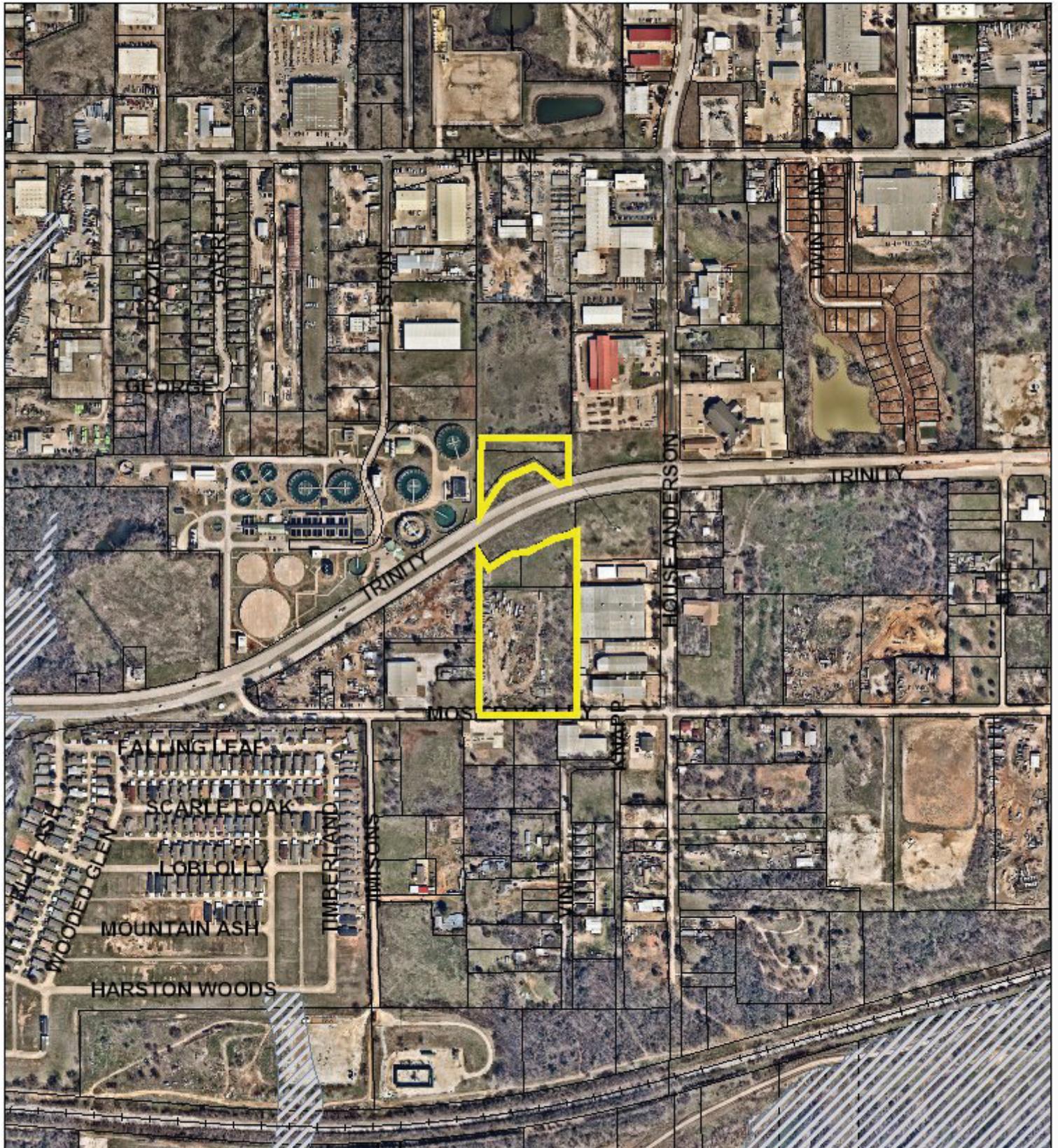
Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 375 750 1,500 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-098

Council District: 6

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Jaimin Patel

Site Location: 4520 Sycamore School Rd

Acreage: 4.72 acres

Request

Proposed Use: Multifamily

Request:
From: "F" General Commercial
To: "PD/D" Planned Development for "D" High Density Multifamily excluding Community Home, Group Home 1 &2, and Country Club uses with development standard for parking, site plan included.

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change is **not consistent (Significant Deviation)**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Neighborhood Commercial

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- b. [Comprehensive Plan Consistency](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located near the northeast corner of Hulen Street and Sycamore School Road. The site is currently vacant and is zoned “F” General Commercial. The applicant is requesting rezoning to "PD/D" Planned Development for all uses in "D" High Density Multifamily with a development standard for parking. The attached site plan shows a three (3) story multifamily complex, with a total of 146 units. Parking will be provided at a ratio of one space per bedroom plus additional spaces for the common areas, and will include a mix of surface parking and carport spaces.

The table below provides the “D” standards vs. the proposed multifamily.

Requirement	Existing “D” Standards	Proposed “PD/D” Standards (per attached site plan)
Density	Maximum 32 units/acre	32 units per acre (Complies)
Height	Maximum height 36’	Complies
Required Yards	<u>Front Yard</u> : 20’ minimum <u>Rear Yard</u> : 5’ minimum <u>Interior Side Yard</u> : 5’ minimum <u>Corner Lot Side Yard</u> : 20’ minimum adjacent to side street	Complies
Minimum Parking Requirements	1 space per bedroom; 1 space per 250 square feet of office/amenity area	Complies
Open Space	Minimum 35%	35% Complies

Fences	Fences shall not be located in the area between building facades and the property line; Exterior security fences and gates that are located along public streets, along a public access easement, or along publicly accessible open space shall not extend beyond building facades.	Complies
Building Orientation	Buildings located on public streets must face the street with the longest length of the building parallel / adjacent to the street.	Complies
Parking	Located behind front of building	Complies
Parking	Required Parking/225 spaces	Provided/181 spaces <i>Development Standard Requested</i>
Multifamily Design (MFD) Standards	MFD Submittal Required prior to building plan review	Will comply

Surrounding Zoning and Land Uses

North "C" Medium Density Multifamily / multifamily
 East "A-10" One-Family / residential, Candleridge Park
 South "F" General Commercial / church, commercial
 West "F" General Commercial; "C" Medium Density Multifamily / commercial, multifamily

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on July 1, 2022.

The following organizations were notified: (emailed June 24, 2022)

Organizations Notified	
Glenwyck HOA	Hulen Heights HOA
CandleRidge HA*	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	Crowley ISD

* *The subject property lies within this Neighborhood Association.*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing a zoning change to “PD/D” Planned Development for “D” High Density Multifamily with development standard for parking, site plan included. Surrounding land consist of a church to the south, Candleridge Park and single-family uses to the east, multifamily to the north, and commercial and multifamily to the west. The rezoning is located on nearly five (5) acres and the propose improvements will not infringe on the nearby residences. The structures are located within the interior of the overall lot. The proposed multifamily is also located next to a park and within close proximity of bus routes 66x and 52, which will provide access to alternative modes of transportation.

As a result, the proposed zoning request is **compatible** at this location.

Comprehensive Plan Consistency –Wedgwood

The Comprehensive Plan designates the subject property as “Neighborhood Commercial”. The requested zoning change is not consistent with the following Comprehensive Plan policy:

- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.

Multifamily has been removed as an encouraged land use in commercial districts in accordance with current Zoning policies. Based on the lack of conformance with the future land use map and policy stated above the proposed zoning is **not consistent (Significant Deviation)** with the Comprehensive Plan.

Economic Development Plan

The adopted Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The City desires to have a more sustainable tax base, driven less

by residential property valuation and more by commercial and industrial investment. The proposed multifamily does not meet this purpose.

Site Plan Comments

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)

1. If there is one continuous building, the Emergency Access easement won't need to be named and the building can be addressed from Sycamore School Road. The street name can remain as is, if there are no plans to alter the EAE.
2. The platted EAE doesn't match the one shown in the site plan with regard to access points.
3. The access shown on the site plan has been previously approved for Fire based on limited space available for additional. With limited access, one of the driveways must align with the median cut for eastbound traffic.
4. Hose lay must be provided to all exterior walls within 150', measured in a 5' wide unobstructed path. The distance MAY be increased from 150 to 300'. Hose lay is measured from the edge of a marked fire lane or public street. Standpipes may be required to provide hose lay to the walls of the courtyard area.
5. Minimum fire lane (EAE) width is 26'. Minimum fire lane (EAE) turn radii: 25' inside and 51' outside

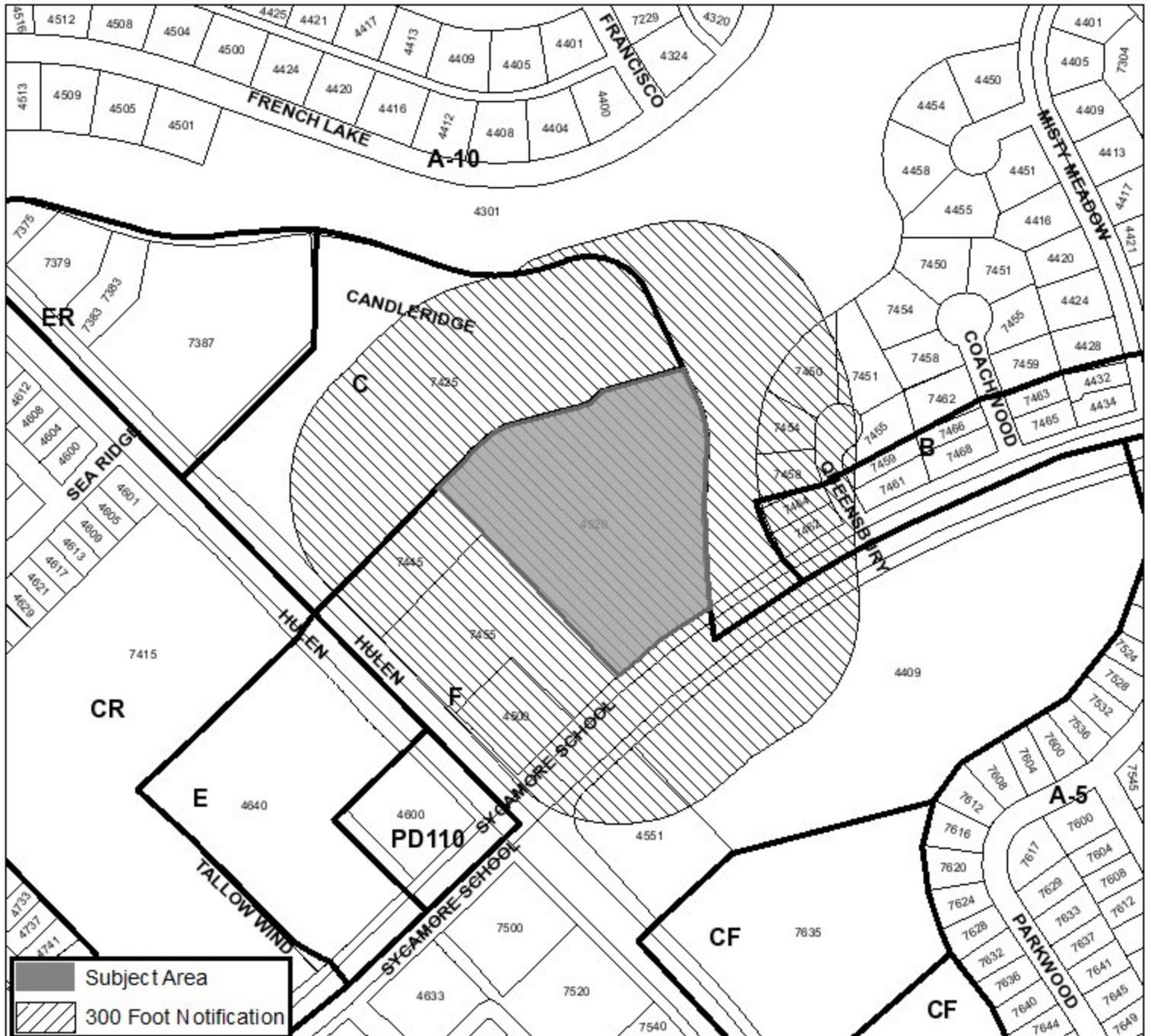
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



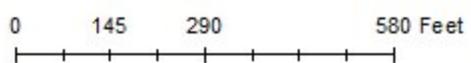
ZC-22-098

Area Zoning Map

Applicant: Jaimin Patel
 Address: 4520 Sycamore School Road
 Zoning From: F
 Zoning To: PD for D uses with development waivers to setbacks, parking, building height
 Acres: 4.72614826
 Mapsco: 103F
 Sector/District: Wedgwood
 Commission Date: 7/13/2022
 Contact: 817-392-8047

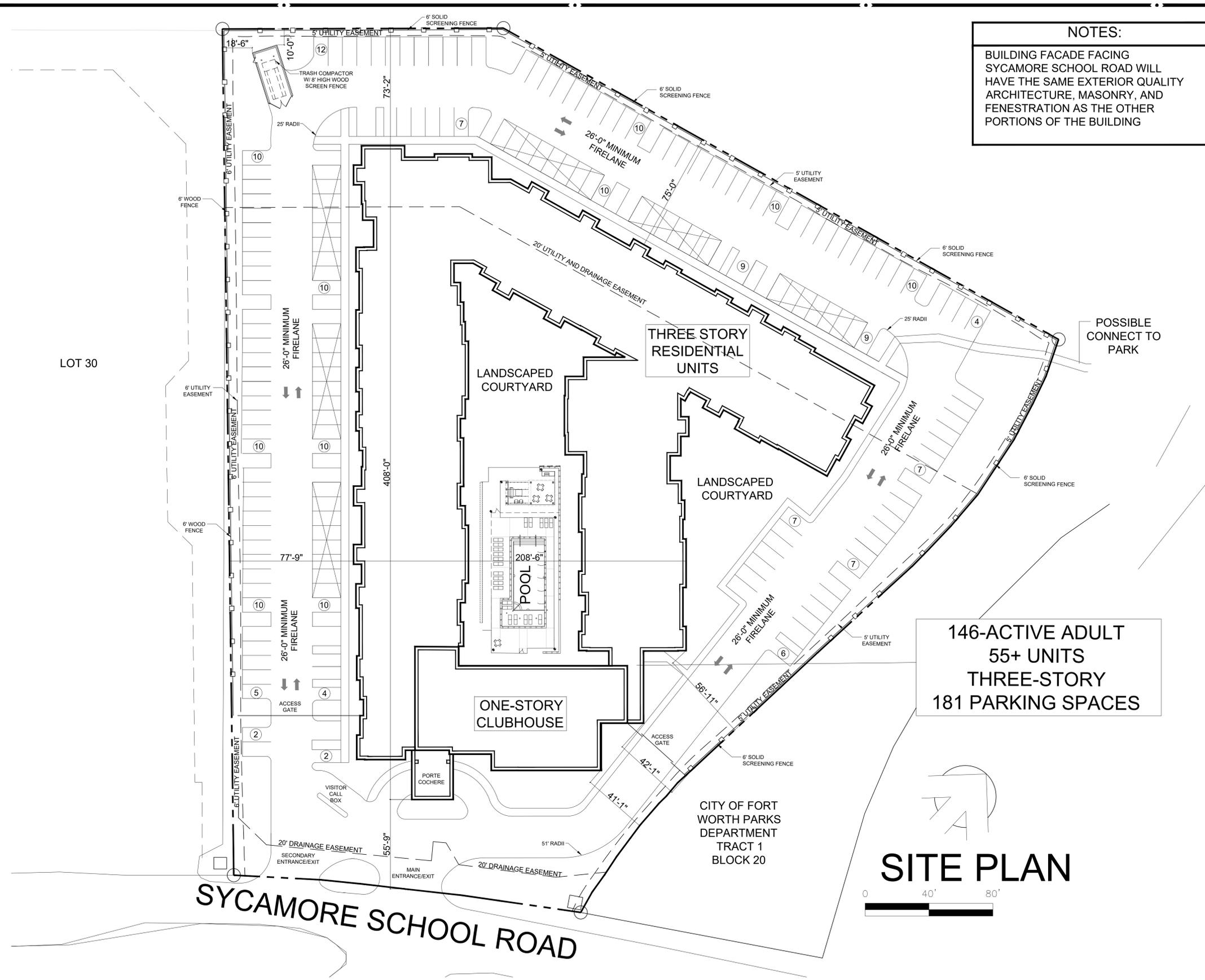


 Subject Area
 300 Foot Notification



Thursday, July 7, 2022 1:20:30 PM

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NOTES:
 BUILDING FACADE FACING SYCAMORE SCHOOL ROAD WILL HAVE THE SAME EXTERIOR QUALITY ARCHITECTURE, MASONRY, AND FENESTRATION AS THE OTHER PORTIONS OF THE BUILDING

PROJECT DATA:
 ACRES: 4.6 ACRES (200,376 SQ.FT.)
 -3 STORY ACTIVE ADULT APARTMENTS APPROX: 53,182 S.F.
 -1 STORY CLUBHOUSE APPROX.: 8,000 S.F.
 146 TOTAL UNITS:
 UNIT A1 - 644 S.F. = 39 UNITS
 UNIT A2 - 720 S.F. = 42 UNITS
 UNIT A3 - 887 S.F. = 18 UNITS
 UNIT B1 - 967 S.F. = 36 UNITS
 UNIT B2 - 1,112 S.F. = 11 UNITS
 TOTAL UNITS = 146 UNITS
 UNITS PER ACRE = 31.7 UNITS
 CONSTRUCTION TYPE:
 R-2 USE TYPE VA
 HEIGHT OF PROPOSED BUILDING:
 3RD FLOOR PLATE: 30'-5"
 MID-POINT ROOF: 36'-4"
 PEAK: 41'-8"

PROJECT OPEN SPACE (35%-70,901SQFT)
PARKING DATA:

TOTAL PARKING REQUIRED: 225 SPACES	TOTAL PARKING PROVIDED: 181 SPACES 45 CARPORTS 181 TOTAL SURFACE PARKING SPACES
---------------------------------------	---

AMENITIES:
 - OUTDOOR RESORT STYLE POOL
 - GATED / FENCED COMMUNITY
 - CLUBHOUSE
 - 2 ELEVATORS

- PROJECT WILL COMPLY WITH THE MULTIFAMILY DESIGN STANDARDS AND AN MFD SHALL BE SUBMITTED FOR THIS PROJECT.
 - ALL PROVIDED LIGHTING WILL CONFORM TO LIGHTING CODE.
 - ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
 - PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING
 - PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY

**146-ACTIVE ADULT
 55+ UNITS
 THREE-STORY
 181 PARKING SPACES**

SITE PLAN



DIRECTOR OF PLANNING AND DEVELOPMENT

DATE

SYCAMORE SQUARE
 SEE SURVEY PLAT FOR ADDITIONAL INFORMATION

SYCAMORE SQUARE

Fort Worth, Texas

ARRIVE ARCHITECTURE GROUP
 Architecture Planning Project Management
 2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arriveag.com
 PH 817.514.0584 - FX 817.514.0694

SEAL

REVISION	DATE	BY	APP'D

OWNER
 JD DESIGN & DEVELOPERS, LLC.
 2316 SHACKLEFORD TRAIL, GRAND PRAIRIE, TX 75052
 P: 817.307.6722

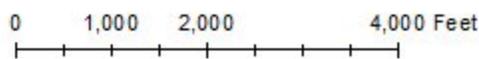
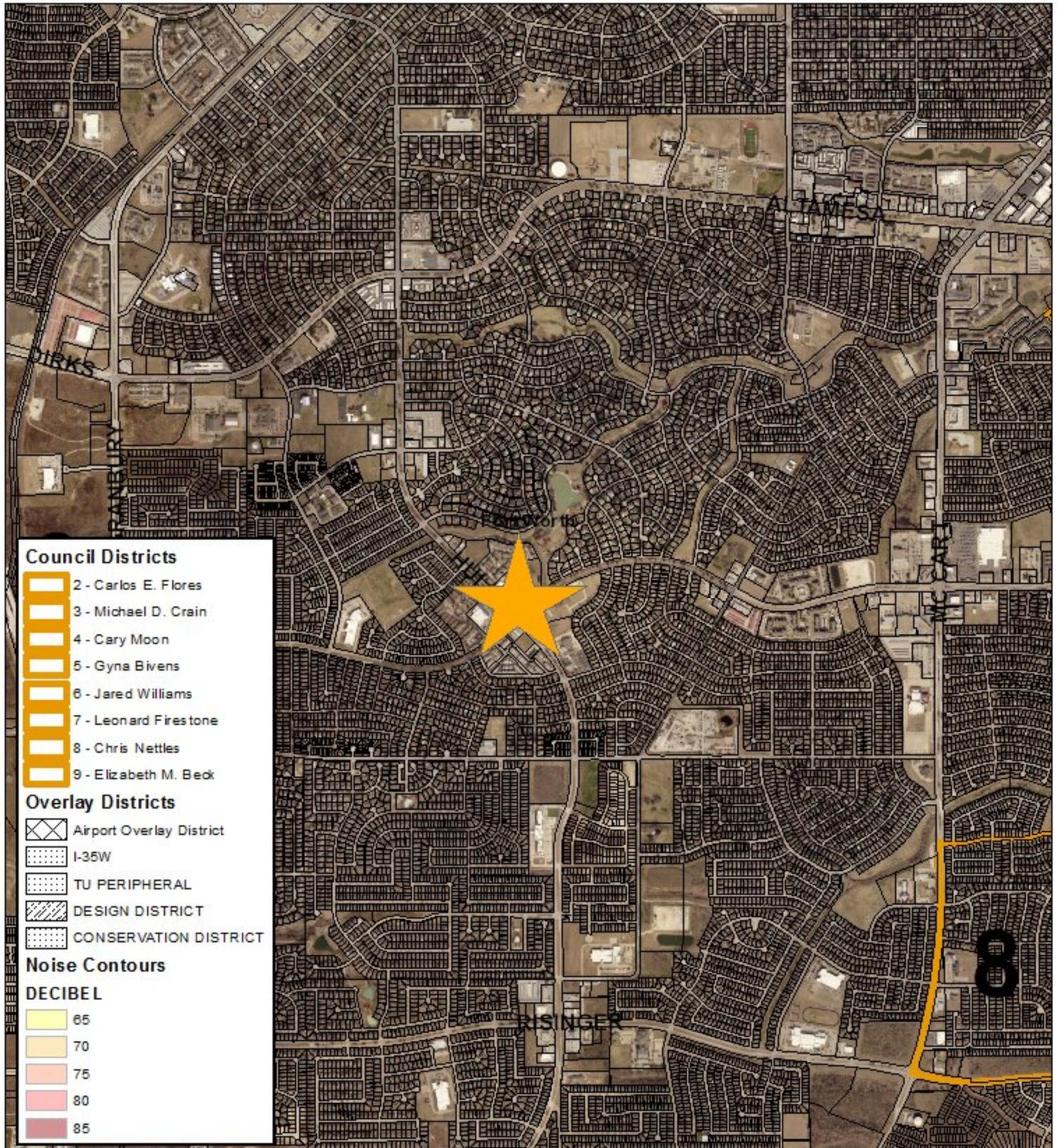
ARCHITECT
 ARRIVE ARCHITECTURE GROUP
 2344 HIGHWAY 121, SUITE 100, BEDFORD, TX 76021
 P: 817.514.0584

ENGINEER
 CIVIL POINT ENGINEERS, INC.
 9101 LBJ FREEWAY, SUITE 300, DALLAS, TX. 75243
 P: 972.554.1100

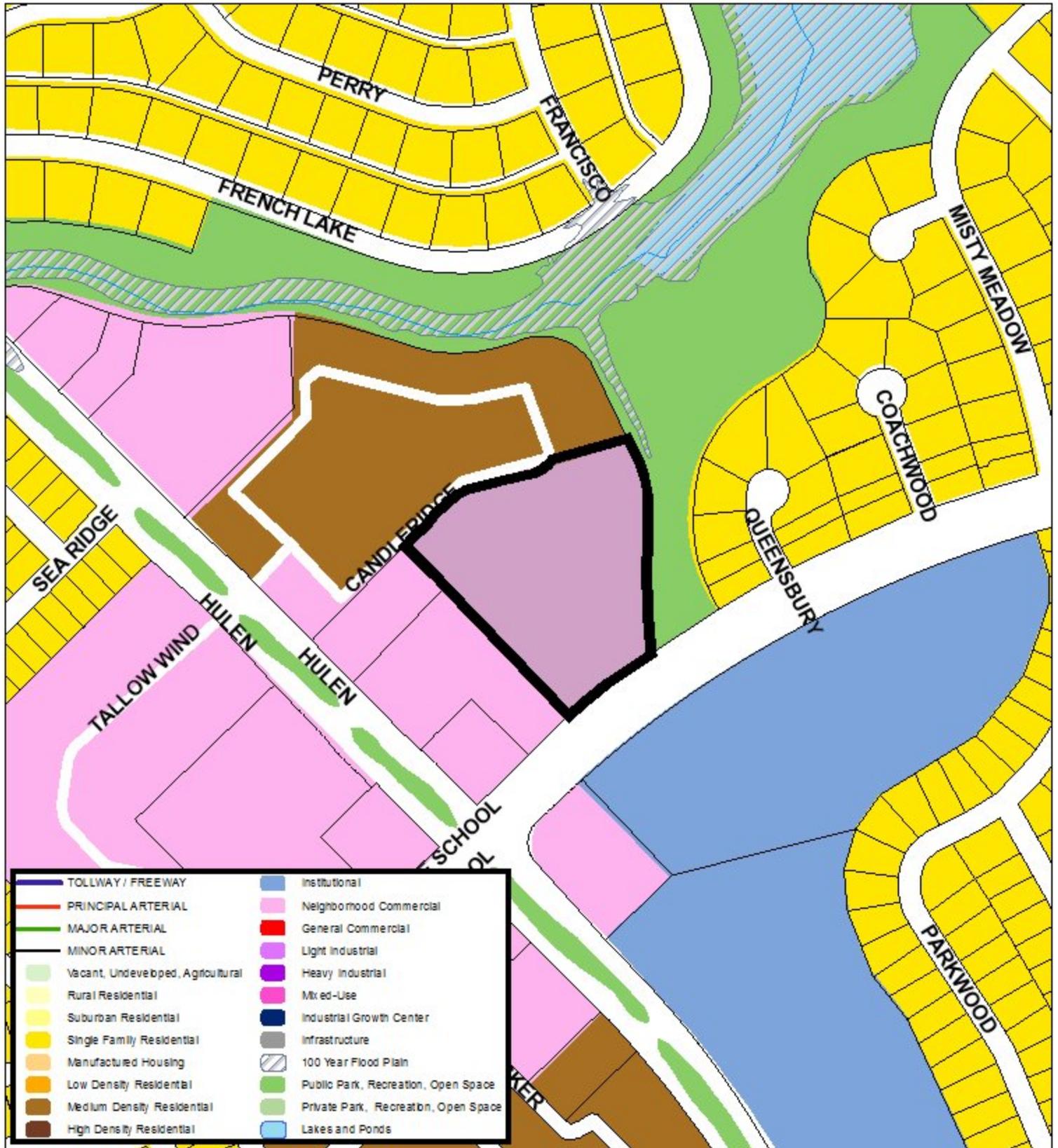
SURVEYOR
 JBI PARTNERS
 2121 MIDWAY RD. SUITE 300, CARROLLTON, TX 75006
 P: 972.248.7676

2018 ARRIVE ARCHITECTURE GROUP. This design is the property of ARRIVE ARCHITECTURE GROUP and is subject to copyright protection as an "ARCHITECTURAL WORK" under U.S.C. sect. 102 known as the Architectural Works Protection Act of 1990 (including form and arrangement of space). Date and other aspects of the design will subject the copyright to damages under the provisions of the Federal Law.

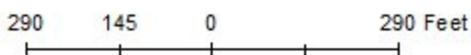
Area Map



Future Land Use



290 145 0 290 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 187.5 375 750 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: SP-22-010

Council District: 9

Site Plan

Case Manager: [Monica Lafitte](#)

Owner / Applicant: Riokim Montgomery LP / KIMCO Realty Corporation

Site Location: 300-400 blocks Carroll Street

Acreage: 17.81 acres

Request

Proposed Use: Amend Required Site Plan of PD574 for lots 1R and 3R for multifamily and mixed-use

Companion Cases: ZC-03-320A; SP-03-055

Request: To: Amend Site Plan for PD 574 Planned Development for all uses in "MU-2" Mixed-Use with "DD" Demolition Delay

Recommendation

Staff Recommendation: **Approval**

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8. Exhibit of Public Access Easements
9. SP-03-055 Site Plan 1 (Blurry)
10. SP-03-055 Site Plan 2 (Legible, revised)
11. Area Map
12. Future Land Use Map
13. Aerial Photograph

Project Description and Background

The subject site is located north of West 7th Street and east of Carroll Street, within the Planned Development PD574, which encompasses the Montgomery Plaza development. This case is for the northeast portion of the Planned Development along the railroad tracks. The Planned Development has a Demolition Delay overlay. It is located within the West Seventh Urban Village.

The purpose of the “MU-2” High Intensity Mixed-Use base zoning is to provide areas in which a variety of higher density housing types exist among commercial, institutional, and selected light industrial uses. The “MU-2” District is designed to accommodate and encourage compact, walkable development forms that are more land-efficient, cost effective, and revenue positive for the City than low-density, single-use developments. In addition to the purpose statements above, the intent of the “MU-2” District is to: promote a pedestrian-oriented urban form; require excellence in design of the public realm and of buildings that front public spaces; encourage creativity, architectural diversity, and exceptional design; promote sustainable development that minimizes negative impacts on natural resources; promote walkability; maximize connectivity and access; and promote affordable housing and mixed income communities.

As the main street running through this Mixed-Use area, West 7th Street is listed on the Master Thoroughfare Plan (MTP) as a Commercial Mixed-Use Street, which is designed to accommodate pedestrian, bicycle, and commuter traffic, as well as promote low traffic speeds, to provide for a mix of commercial, retail, and residential living. These districts are purposefully designed so individuals have multiple options for transportation, thus reducing the vehicular traffic count and traffic impacts. Due consideration should be given to the nature of the district and the nature of the MTP.

In the 2022 Comprehensive Plan of the City of Fort Worth, the Future Land Use designation of the area is Mixed-Use.

Because there is an approved site plan for PD574, any major changes to the site plan must go through the public hearing process. This northeast portion of the Planned Development is submitting a new site plan for their portion of the Planned Development. The site will remove the existing retail buildings and redesign the site with two new buildings, one entirely residential multifamily and one mostly residential with some commercial use located on the ground floor.

The existing PD574 was established via ZC-03-320A was adopted on 6/8/04. The below screenshot is from Ordinance 16001, which created the Planned Development.

2601 W. 7th Street

Description: Lot 1, Block 1, Montgomery Ward & Company Addition.

Zoning Change:

From: “J” Medium Industrial

To: “PD/MU-2” Planned Development for High Intensity Mixed Use with Outdoor Sales and Storage of Masonry/Paving Materials; Fencing; Plants/Landscaping; Tool Shed; Lawn Equipment, and Outdoor Furniture permitted for both Large Retail Development. Site Plan required. (See SP-03-055)

The associated SP-03-055 was approved at the same time as the Zoning Case. Since 2003, several minor amendments have been made to the overall site plan; these minor amendments have been handled administratively, as they were not large enough items to necessitate coming back through the public hearing process. No cases to revise the site plan have come to the Zoning Commission until this case. The original approved site plan and a 2010 amended site plan are both included as attachments to this report.

As this is a Site Plan case, it is not changing any of the development standards of the Planned Development. This case is only for the approval of the new proposed site plan for that footprint of PD574.

If the project is greater than 90% residential use, a proximity test must be completed and submitted to staff prior to building permits. Refer to 4.1302(b)(4) of the “MU-2” High Intensity Mixed-Use Ordinance.

This site was initially heard at the July 13 Zoning Commission and was continued for 60 days to allow more time to meet with the surrounding neighbors and to allow time to work out site plan items with staff; the case now returns for the September Zoning Commission. The applicant has worked with staff to revise the site plan to bring it into compliance with the “MU-2” High-Intensity Mixed-Use standards.

The proposed residential and commercial uses are allowed by right at this site. With the site plan in compliance with the requirements for the “MU-2” High-Intensity Mixed-Use district, this project is allowed; it is only due to the established Planned Development Site Plan that this case is now coming before the Zoning Commission and City Council for approval of the proposed site plan.

Surrounding Zoning and Land Uses

North “I” Light Industrial / Commercial and Industrial
East “MU-2” High Intensity Mixed-Use / Residential Apartments
South PD574 / Mixed Use
West PD574 / Mixed Use

Recent Zoning History

- ZC-22-091 from A-5 to UR; west of subject site; current zoning case continued to today's docket
- ZC-22-047 from C to E; went to ZC April 2022; west of subject site
- ZC-21-193 from C to MU-1; effective 5/3/22; west of subject property
- ZC-21-026 from A-5 to PD/UR with development standards and site plan; effective 7/2/21; west of subject site
- ZC-21-069 from F to MU-2; effective 11/1/21; west of subject site
- SP-10-005 amend PD574 site plan for lot 4R; site plan with waiver requests for Chick-Fil-A which was denied without prejudice by City Council 8/3/10 because Chick-Fil-A submitted a site plan to staff that met the standards of the ordinance and no longer needed to site plan case; west-adjacent of subject site
- ZC-07-144 Council-initiated rezoning of 28 acres in Linwood from B, C, D, ER, I to A-5, R2, MU-1; effective 9/4/07; northwest of subject site
- ZC-06-195 creating Trinity Uptown District (now Panther-Island); northeast of subject site

Public Notification

300-foot Legal Notifications were mailed on July 1, 2022.

The following organizations were notified: (emailed June 26, 2022)

Organizations Notified	
West 7 th Neighborhood Alliance	Inter-District 2 Alliance
Fort Worth Downtown Neighborhood Alliance	SO7 Townhome Association
Montgomery Plaza Residential Condominium Association*	Linwood NA*
Tarrant Regional Water District	Streams and Valleys Inc
Trinity Habitat for Humanity	Montgomery Plaza Master Condominium Association, Inc.
Cultural District Alliance	Fort Worth ISD

* *These Neighborhood Associations are located closest to the subject property*

Development Impact Analysis

Site Plan Comments

Zoning and Land Use

The site plan is in general compliance with the Zoning Ordinance. The below comments are intended to provide further information and clarity for the record of this case. There are not conditions of the site plan that must be revised in order to be brought into compliance with the zoning requirements.

- Plat was not provided with the application documents, but an exhibit of existing and proposed access easements was provided. Platted Public Access Easements affect requirements of the MU-2 Ordinance, such as, but not limited to, the following:
 - 4.1302(g)(5) Buildings must have their main entrance from a public sidewalk or plaza, or from a private sidewalk or plaza that is publicly accessible through a public use easement. Primary entrances shall not be from a parking lot. Secondary entrances from parking lots are permitted.

- 4.1302(g)(5)(e)(1) Apartments, condominiums, and manor houses with street level units must provide individual street-oriented entries for each unit along the primary street frontage
- 4.1302(g)(5)(f)(1) Each retail use with exterior ground level exposure along a street or public space shall have an individual public entry from the street or public space.
- Setbacks
- To obtain the height bonus for the 7-story building, project must meet requirements of 4.1302(d)(8). Applicant has expressed intent to meet 4.1302(d)(8)b for the Structured Parking height bonus (providing 100% of all off-street parking within the structured parking) and 4.1302(d)(8)c for Open Space (providing a publicly accessible pocket park).
- MU-2 has a maximum parking permitted of 100% of the calculated requirement. Parking calculations provided by the applicant provide for the calculated required parking.
- Surface parking must meet the landscape requirements of 4.1302(f)(3).
- As applicable, any fence or structure that is located within an easement will require permission of the easement holder(s) to encroach. Underground or aerial utilities include electricity, gas, water, sewer, telephone, etc. Awnings that encroach the right-of-way require an encroachment agreement.
- Enhanced Landscaping is not shown on the site plan, but it should be noted that it will be required to meet the Street Trees and Pedestrian Scaled lighting along all Rights-of-Way and all Public Access Easements that are acting as ROW. This note is shown on the site plan.
- Urban Forestry plantings are not shown on the site plan. Project must comply with Urban Forestry requirements per MU-2 standards. This note is shown on the site plan.
- Signs are not shown on the site plan. All signs will conform to Article 4, Signs, and the additional provisions of the MU-2 Ordinance in 4.1302(h)(1). This note is shown on the site plan.
- Many items of the MU-2 Ordinance are not able to be determined with a site plan and will be reviewed upon building permit submittal: façade variation, entrance locations, fenestration, entrance awnings, etc.
- Plans must be designed to comply with the MU-2 Ordinance. Any items that do not meet the Ordinance must be added as a Development Standard/Waiver to the PD. The item would first need to go before the Urban Design Commission (UDC) for a recommendation and then to Zoning Commission (ZC) with the final decision coming from City Council.
- Parking is being calculated per the requirement established via the original SP-03-055, rather than the current MU-2 standard. This note is shown on the site plan.

Fire Department

- FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)
- Firefighter Air Replenishment Systems (FARS) are now required for any new building construction with 5 or more floors, 2 or more floors below grade, or 500,000 square feet or more.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Appendix L
- Emergency Responder Radio Coverage Systems (ERCCS) may be required per Section 510. Signal strength testing required for any new building construction having 3 or more floors or anything over 50,000 square feet, or any basements, or any facility having Low-E or RF blocking windows.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 510
- Open parking garages may require fire sprinkler systems dependent on their height, size, etc.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 903
- All dry pip fire sprinkler systems must meet the 60 second trip time requirement, regardless of volume.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 903

- A building where the topmost occupied floor level is more than 55' in height above the lowest level of fire department vehicle access shall be accessible by a public street or fire apparatus access road that is not less than 15' nor more than 25' from the inside curb to the building face along at least 1/2 of the length of 2 sides of the building. The measurement does not need to be contiguous.
Such buildings shall also be provided with 2 separate and approved fire apparatus access roads. IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.4 Buildings Taller Than 55'
- Buildings greater than 55 ft. in height and Group E and H occupancies: the two access roads shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.2
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.1.7 Secondary Access-Multiple-family Residential
- Emergency Access/Fire Lane requirements IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022. This includes all fire access roads.
Minimum turn radius: 25' inside and 51' outside (Section 503.2.4)
Where divided by a median, the minimum width on either side of the median is 20' (Section 503.2.1)
Minimum of 26' wide for multi-family or for buildings over 55' in height (Section 503.2.1)
Minimum overhead clearance is 14' (Section 503.2.1)
- Existing hydrants may need to be relocated to meet requirements for hose lay to FDC:
The Sprinkler and Standpipe FDC shall be located within 50 ft. of a dedicated street or fire apparatus access road shall be within 150 ft. of the fire hydrant. Each building shall be equipped with its own FDC, unless otherwise approved by the fire code official.
IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Reference Sections 507.5.1, 507.5.4, 5, and 6 Fire Hydrants
- General information:
Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.
It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.
- The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022

Park & Recreation Department

- PARD/PDP: This development is within the boundaries of Park Planning District 4; the Neighborhood & Community Park Dedication Policy applies.
- There is a required \$1225.50 fee due for each residential unit.
- All fees must be paid in full, at or before the time of applying for a building permit.
- No City permits will be issued until the PDP fees have been paid.
- Call or email Lori Gordon at 817-392-5743 or lori.gordon@fortworthtexas.gov for additional information.

TPW Engineering

- TDR (Armond Bryant, 817-392-8702, Armond.Bryant@fortworthtexas.gov)
- (Subdivision Ordinance) Traffic Assessment Study (Ch. 31-106.K.1.) - Submit a Traffic Impact Analysis (TIA) for TPW approval.

TPW Stormwater

- Contact: sds@fortworthtexas.gov
- Site will require an accepted drainage study prior to final plat recording, final grading permit, and building permit issuance.

Development Services – Water Section

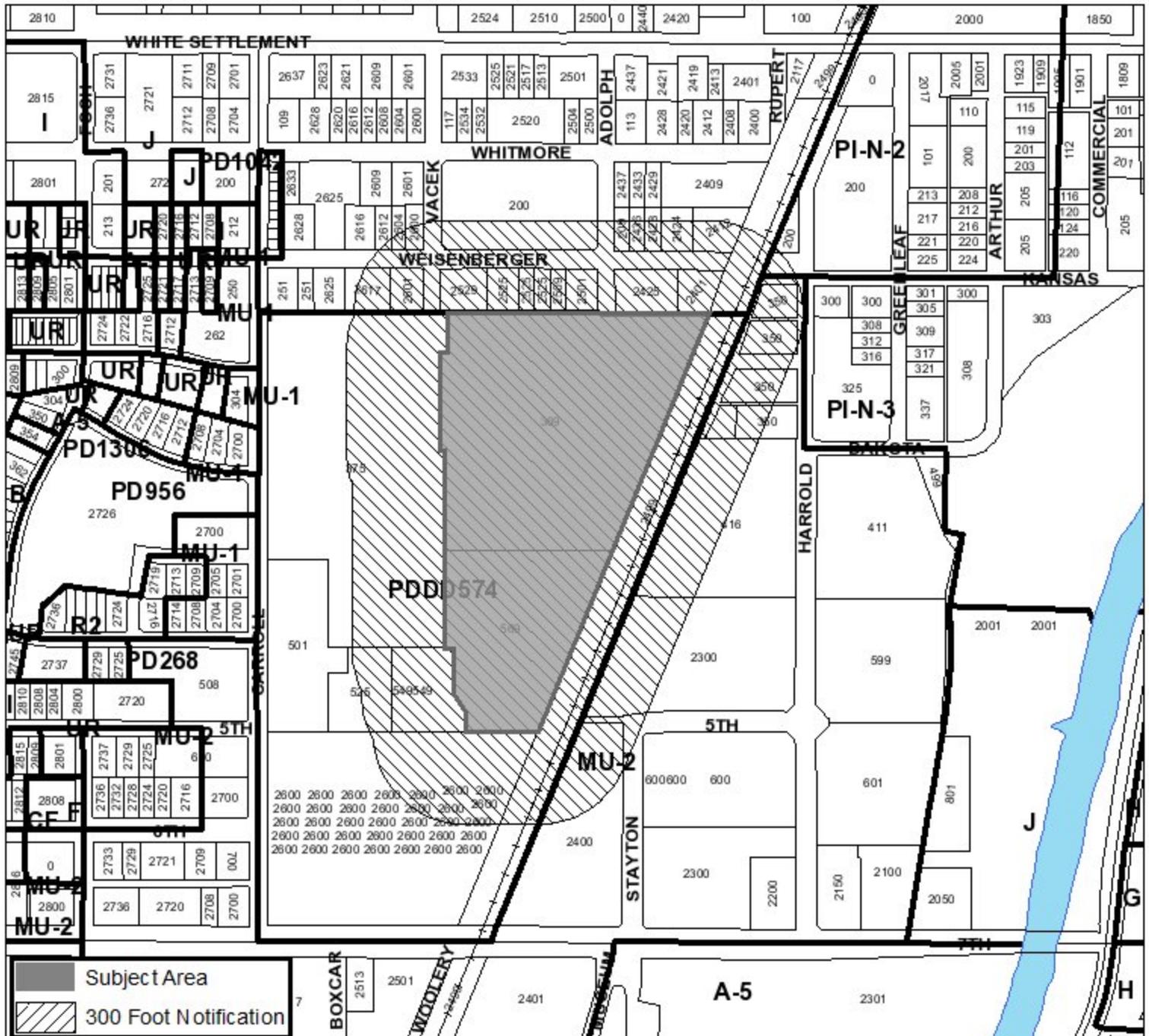
- Water Department Comments
Plat case review Performed On: 7/13/2022
You may inquire about comments by emailing: DSWS@fortworthtexas.gov
- FYI Comments:
- Construction Prohibited over Easements
No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, drainage, gas, electric, cable or other utility easement of any type.
- No private plumbing allowed to cross property lines
- Cut and plug existing services prior to demolition

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

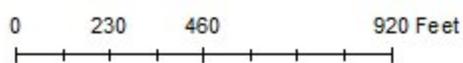


Area Zoning Map

Applicant: Riokim Montgomery LP
 Address: 300 - 400 blocks Carroll Street
 Zoning From: PD 574 for MU-2 uses with Demolition Delay
 Zoning To: Amend Site Plan for PD 574
 Acres: 17.8151612
 Mapsco: 62X
 Sector/District: Arlington Heights
 Commission Date: 7/13/2022
 Contact: 817-392-2806

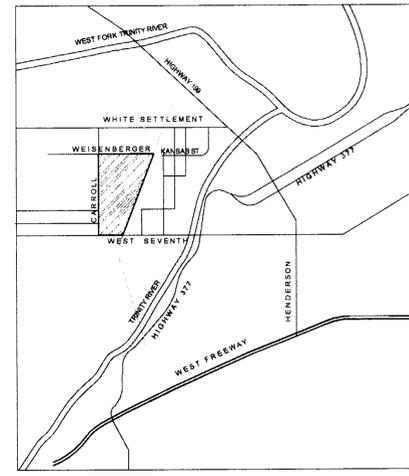


Subject Area
 300 Foot Notification

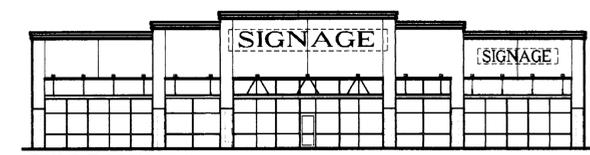


Staff Note for SP-22-010:

The original case file SP-03-055 has several different versions of the Site Plan. This is the latest date in the file that appears to be signed after the case went to City Council and appears similar to the layout that was constructed. This scan is blurry; see next map for legible version.



VICINITY PLAN



EXAMPLE OF BUILDING ELEVATION FOR SIGNAGE
SCALE: N/A

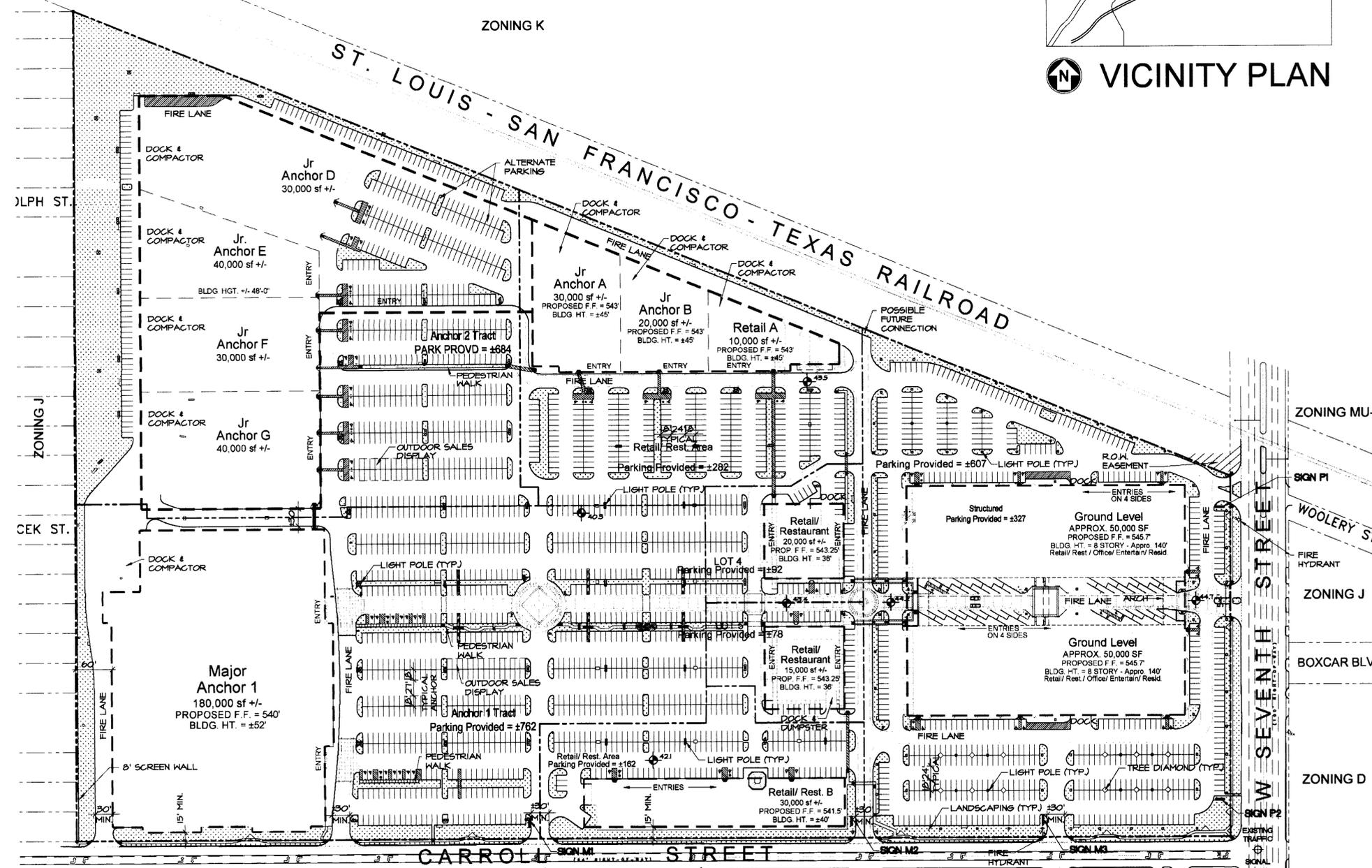
MAXIMUM SIGNAGE AREA WILL BE AS FOLLOWS:
ANCHOR STORES: 50,000 SQ. FT. OR LARGER- 15% OF WALL SURFACE UP TO 1,000 SQ. FT. PER WALL
JR. ANCHOR STORES: 15,000 SQ. FT. TO 49,999 SQ. FT.- 15% OF WALL SURFACE UP TO 500 SQ. FT. PER WALL
ALL OTHER TENANTS: - 15% OF WALL SURFACE UP TO 300 SQ. FT. PER WALL
EACH TENANT IS ALLOWED TO HAVE MULTIPLE SIGNS. SIGNS ARE ALLOWED ON MORE THAN ONE WALL OF THE BUILDINGS.

TABULATIONS	APPROXIMATE BLDG AREA	CITY PRK'G REQ'D	
Anchor/Jr.	370,000	4:1,000	1480
Retail/ Rest./Assembly (ASSUME 16,000 SF REST./ASSEMBLY)	75,000	4:1,000 / 10:1000	396
Exist. Mont. Wards (1st Floor) (ASSUME 18,900 SF REST./ASSEMBLY/ENTERTAINMENT)	100,000	4:1,000 / 10:1000	514
(2nd - 8th Floor) (W/MULTI-FAMILY/ASSEMBLY/ENTERTAINMENT/RECREATION)	600,000		*604
TOTAL	1,145,000		2994 Total W/ Garage

PARKING PROVIDED 2558 Surface
327 Garage

TOTAL SITE AREA 46.19 ac
2885 Total Surface & Garage

* NOTE: 1. PARKING REQUIREMENT USED IS 1 1/2 SPACES MIN. PER DWELLING UNIT (APPROX. 1 SPACE PER BEDROOM) TOTAL NUMBER OF UNITS ARE APPROX. 224 WHICH REQUIRED 336 PARKING SPACES, PLUS (HEALTH CLUB AND ASSEMBLY/ ENTERTAINMENT/RECREATION) WHICH REQUIRED 268 SPACES FOR A TOTAL REQUIRED OF 604.



GRAPHIC LEGEND

- LANDSCAPE AREA
- PAVERE, STAINED/PATTERNED CONC. OR EXPOSED AGGREGATE PAVING LOT OR WALKWAYS
- STRIPED AREA
- CONCRETE PAVING LOT OR WALKWAYS
- SITE LIGHTING HT. - 41'-0"
- 400-1000H SHROBBOX FIXTURE COLOR, CHAMPAGNE OR DARK BRONZE
- FIRE HYDRANT
- SITE GRADE

Exterior Materials List

Masonry Units
MU-1 Acme Brick/ Blackson Brick
Select Stone/ Amiscraft Masonry Units
Finish: Smooth

MU-2 Acme Brick/ Blackson Brick
Select Stone/ Amiscraft Masonry Units
Finish: Textured

MU-3 Acme Brick/ Blackson Brick
Select Stone/ Amiscraft Masonry Units
Type: Cut Trim Profile

Brick
B-1 Acme Brick - Buff
B-2 Acme Brick - Terra Cotta
B-3 Acme Brick - Teupe

Stone Tile
ST-1 Cantera Stone Tile
Color: Orange
Finish: Hewn/Smooth

ST-2 Cantera Stone Tile
Color: Anoaquin White
Finish: Hewn/Smooth

Clay Tile
RT-1 Clay Roof Tile
Color: Terra Cotta
Type: Barrel

Texture Coat
TC-1 Field Wall
Color: White, Textured

TC-2 Field Wall
Color: Almond, Textured

TC-3 Field Wall
Color: Beige, Textured

TC-4 Accent Color
TC-5 Accent Color
TC-6 Accent Color

EIFS
E-1 Dryvit
Color: Off White
Finish: Sand Blasted

Metal Awnings
MA-1 Pre-Finished Metal Awning
Type: Flat, Rod Supported
Finish: Black, Metallic, Accent Color

MA-2 Pre-Finished Metal Awning
Type: Sloped, Frame Supported
Finish: Black, Metallic, Accent Color

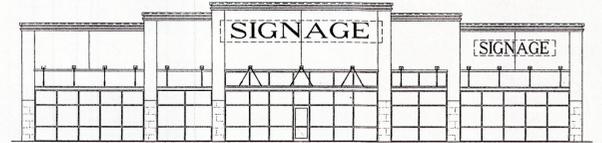
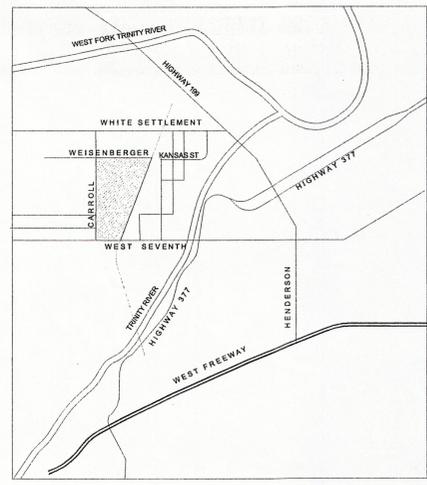
Note: Materials subject to change based on design & availability. Color palette to remain similar.

NOTES

1. All work shall be in accordance with the City of Ft. Worth specifications and standards.
2. All work shall be in accordance with the City of Ft. Worth specifications and standards.
3. All work shall be in accordance with the City of Ft. Worth specifications and standards.
4. All work shall be in accordance with the City of Ft. Worth specifications and standards.

SIGNAGE BLOCK
ZONING CASE # ZC003320
SITE PLAN # SP-03-055
APPROVED BY [Signature] CITY OF FT. WORTH

Staff Note for SP-22-010:
 Text portions of the original case file
 SP-03-055 are blurry. This administrative
 revision site plan from 2010 has all text legible.

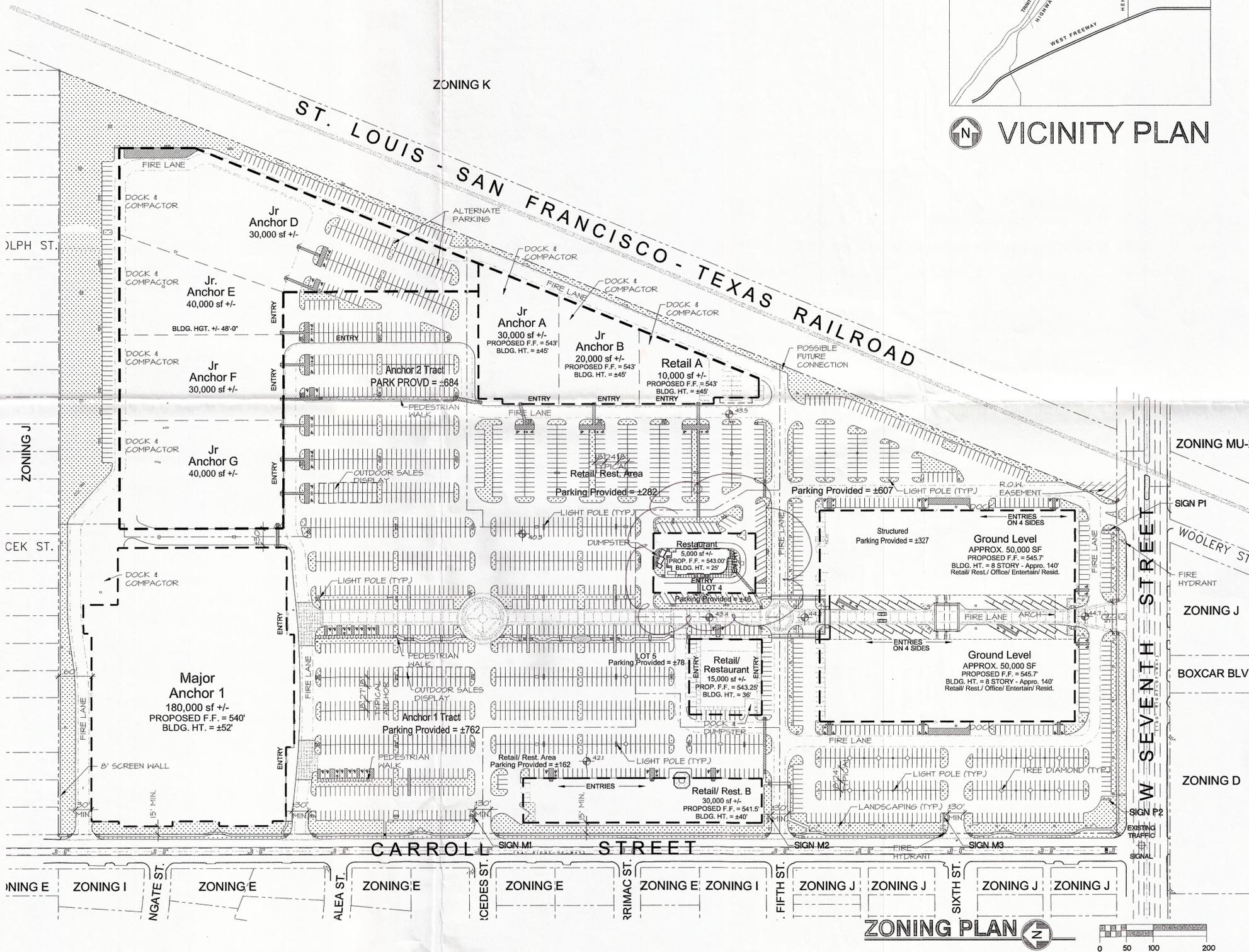


EXAMPLE OF BUILDING ELEVATION FOR SIGNAGE

MAXIMUM SIGNAGE AREA WILL BE AS FOLLOWS:
 ANCHOR STORES: 50,000 SQ. FT. OR LARGER- 15% OF WALL SURFACE UP TO 1,000 SQ. FT. PER WALL
 JR. ANCHOR STORES: 15,000 SQ. FT. TO 49,999 SQ. FT.- 15% OF WALL SURFACE UP TO 500 SQ. FT. PER WALL
 ALL OTHER TENANTS: - 15% OF WALL SURFACE UP TO 300 SQ. FT. PER WALL
 EACH TENANT IS ALLOWED TO HAVE MULTIPLE SIGNS. SIGNS ARE ALLOWED ON MORE THAN ONE WALL OF THE BUILDINGS.

TABULATIONS	APPROXIMATE BLDG AREA	CITY PRK'G REQ'D
Anchor/Jr.	370,000	4:1,000 1480
Retail/ Rest./Assembly	60,000	4:1,000 / 10:1000 336
Exist. Mont. Wards (1st Floor)	100,000	4:1,000 / 10:1000 514
(2nd - 8th Floor)	600,000	*604
TOTAL	1,145,000	2934 Total W/ Garage
PARKING PROVIDED		2512 Surface
		327 Garage
TOTAL SITE AREA	46.19 ac	2839 Total Surface & Garage

* NOTE: 1. PARKING REQUIREMENT USED IS 1 1/2 SPACES MIN. PER DWELLING UNIT (APPROX. 1 SPACE PER BEDROOM) TOTAL NUMBER OF UNITS ARE APPROX. 224 WHICH REQUIRED 336 PARKING SPACES. PLUS HEALTH CLUB AND ASSEMBLY/ ENTERTAINMENT/RECREATION WHICH REQUIRED 268 SPACES FOR A TOTAL REQUIRED OF 604.



GRAPHIC LEGEND

[Symbol]	LANDSCAPE AREA	[Symbol]	SITE LIGHTING
[Symbol]	PAVERS, STAINED/ PATTERNED CONC. OR EXPOSED AGGREGATE PARKING LOT OR WALKWAYS	[Symbol]	FIRE HYDRANT
[Symbol]	STRIPED AREA	[Symbol]	SITE GRADE
[Symbol]	CONCRETE PARKING LOT OR WALKWAYS		

PD Site Plan

- Setbacks as shown on plan
- Building height is approx. as shown on plan with a 60' maximum for all buildings except existing 8 story building. It will remain as is with an added feature in the central element increasing the height approximately 10' above the existing height.
- Proposed Finish Floor elevations are approximate.
- Signage also subject to unlit site plan.
- Existing signs on top of 8 story building to remain & be renovated to say "Montgomery Plaza" or similar.

TE

Landscaping

- Landscape area required on the site shall be 10% of net site area. Calculation is based on total site acreage of 46.19 ac. Individual lot calculation not required.
- Landscape islands in the parking lot will be approximately 5 sq. ft per parking space.
- Parking Area to be screened from right-of-way by landscaping consisting of shrubs to be a minimum 36" mature height.
- Minimum 75% of interior landscape islands within parking lot will have 2 trees, 3" caliper.

8-Story Building to contain the following

- 1st Level - Combination of retail, restaurant, office, entertainment and ancillary residential use.
- 2nd & 3rd Level and Partial Level 4 - parking, retail, entertainment & office.
- Levels 3 thru 8 - residential/hotel/office/entertainment uses. If residential, approximately 224 units.

Parking/ Drives

- Parking requirements may be reduced by 25% for uses. Parking provided will be as shown on the plan with approximately, 327 parking spaces in structured parking within the 8 story building.
- Structured parking within an existing building will have parking spaces that minimum of 8' wide with a one-way drive min. width of 18'-0" at the post and existing columns.

Large Retail Store Ordinance

- The setback and restricted activities within 100' of residential use does not apply, except that Art. 1, Section 5.133, B, 5, b will apply with the following exception: 18 wheeler refrigeration trucks will be allowed to run at any time the truck is docked.
- No truck dock screening is required at the north side of the property except for a continuous 8'-0" tall screen fence along the north property line.
- Texture coated concrete is an acceptable building finish material.
- Display windows and/or storefronts allowed on the West Building faces of major Anchor 1 and Retail/Restaurant B adjacent to Carroll Street.

General Conditions - Uses

MU2 Uses with the following amendments:

- Furniture sales with outdoor storage and display (new)
- Outdoor sales and storage consisting of the following for Major Anchors: masonry/ paving materials, fencing, plants/ landscaping, tool sheds, lawn equipment, outdoor furniture.
- Storage yard, building materials
- Yards, contractors, lumber or storage

Preliminary Schedule

Major Anchor 1	November 2005
Junior Anchors, and Retail/Restaurant Buildings	November, 2006
Existing 8-Story Building, First Level	November, 2005

Exterior Materials List

Masonry Units

MU-1	Acme Brick/ Blackson Brick
	*Select Stone/ Artiscraft Masonry Units
	Finish: Smooth
MU-2	Acme Brick/ Blackson Brick
	*Select Stone/ Artiscraft Masonry Units
	Finish: Textured
MU-3	Acme Brick/ Blackson Brick
	*Select Stone/ Artiscraft Masonry Units
	Type: Cut Trim Profile

Brick

B-1	Acme Brick - Buff
B-2	Acme Brick - Terra Cotta
B-3	Acme Brick - Taupe

Stone Tile

ST-1	Cantera Stone Tile
	Color: Orange
	Finish: Hewn/Smooth
ST-2	Cantera Stone Tile
	Color: Anacquin White
	Finish: Hewn/Smooth

Clay Tile

RT-1	Clay Roof Tile
	Color: Terra Cotta
	Type: Barrel

Texture Coat

TC-1	Field Wall
	Color: White, Textured
TC-2	Field Wall
	Color: Almond, Textured
TC-3	Field Wall
	Color: Beige, Textured
TC-4	Accent Color
TC-5	Accent Color
TC-6	Accent Color

EIFS

E-1	Dryvit
	Color: Off White
	Finish: Sand Blasted

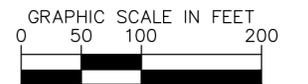
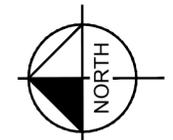
Metal Awnings

MA-1	Pre-Finished Metal Awning
	Type: Flat, Rod Supported
	Finish: Black, Metallic, Accent Color
MA-1	Pre-Finished Metal Awning
	Type: Sloped, Frame Supported
	Finish: Black, Metallic, Accent Color

Note: Materials subject to change based on design & availability. Color palette to remain similar.

SIGNAGE BLOCK
 ZONING CASE # ZC003320
 SITE PLAN # SP-03-055
 APPROVED BY [Signature] CITY OF FT. WORTH

Exhibit of Public Access Easements

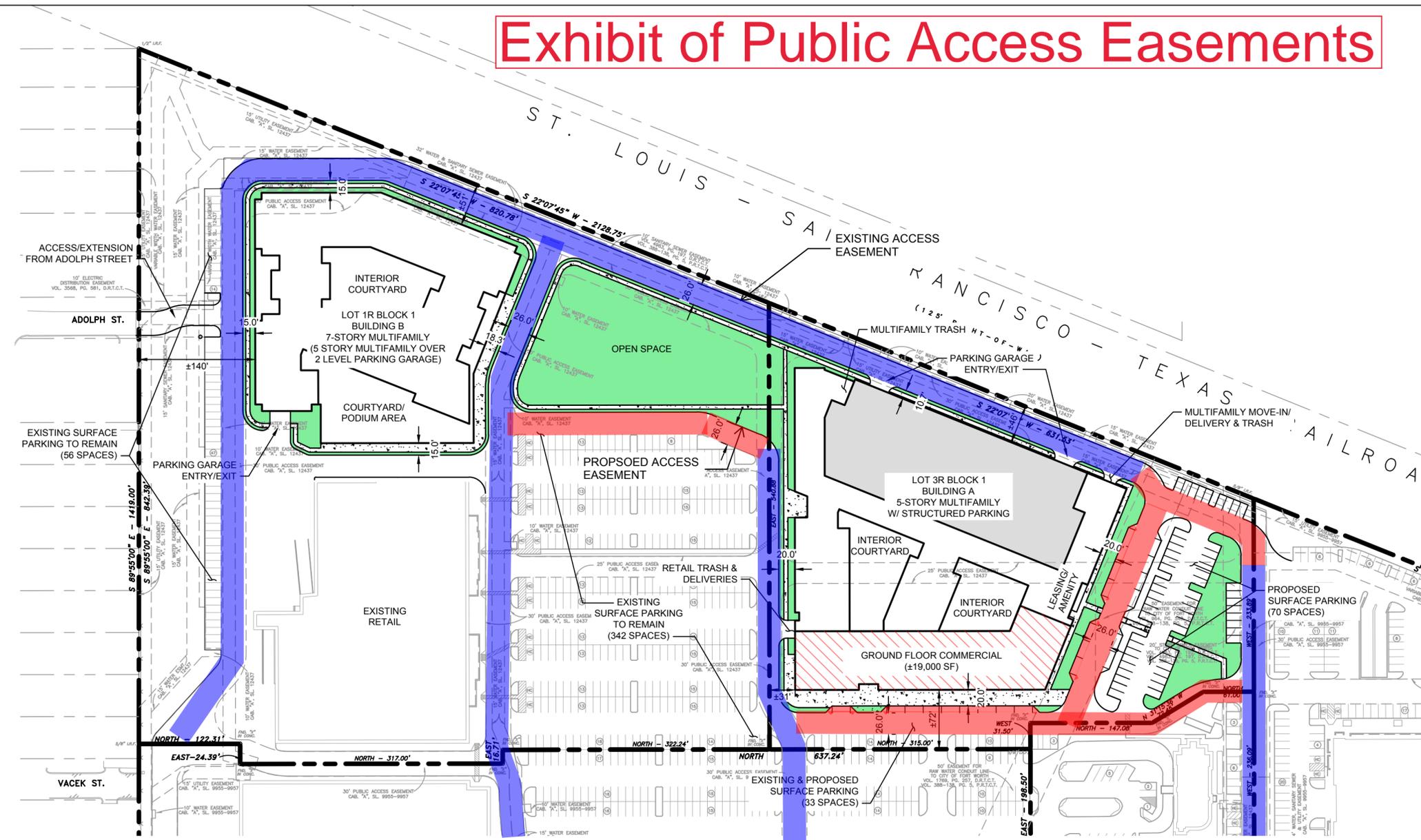


LEGEND

PROPERTY LINES	
PROP. OPEN SPACE / LANDSCAPE / HARDSCAPE AREA	
PROP. GARAGE	
PROP. GROUND FLOOR COMMERCIAL	
PROP. CONCRETE SIDEWALK	

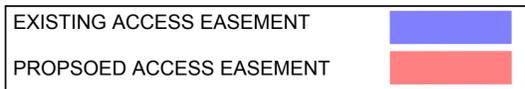
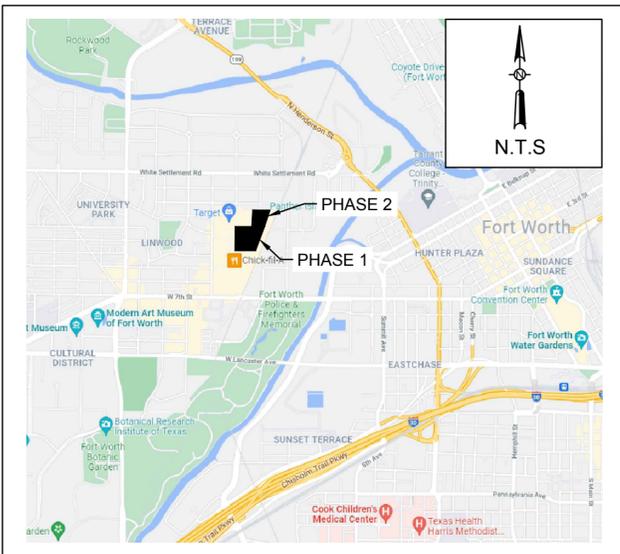
NOTES:

- THIS PROJECT WILL COMPLY WITH URBAN FORESTRY REQUIREMENTS PER MU-2 STANDARDS
- THIS PROJECT WILL COMPLY WITH SECTION 6.204 BICYCLE PARKING.
- ALL PROVIDED LIGHTING SHALL CONFORM TO CITY OF FORT WORTH LIGHTING CODE.
- ALL SIGNS SHALL CONFORM TO ARTICLE 4, SIGNS, THE UNIFIED SIGN AGREEMENT, AND THE ADDITIONAL PROVISIONS OF THE MU-2 ORDINANCE IN 4.1302(h)(1).
- EXTERIOR TRASH RECEPTACLES WILL BE SCREENED WITH A MASONRY WALL ON 3 SIDES AND CONTAIN A GATE.
- THIS PROJECT WILL COMPLY WITH 4.1302(F) BUFFERS, LANDSCAPING, AND PEDESTRIAN LIGHTING, INCLUDING ENHANCED LANDSCAPING 4.1302(F)(2).
- THE POCKET PARK USED TO ATTAIN THE HEIGHT BONUS WILL BE DESIGNED TO MEET THE REQUIREMENTS OF 4.1302(d)(8)c.



SITE DATA TABLE		
ZONING	PD/MU-2 (PD574)	
SUBDIVISION	MONTGOMERY PLAZA ADDITION	
LOT & BLOCK	LOT 1R, BLOCK 1	LOT 3R, BLOCK 1
LOT AREA (AC)	12.2551	5.3919
HEIGHT (MAX)	7 STORIES*	5 STORIES
MULTIFAMILY UNITS	595 (MAX) w/ ±7,500 SF AMENITY/LEASING EACH (15,000 SF TOTAL)	
COMMERCIAL	±68,111 SF (EX. TO REMAIN)	±19,000 SF (PROPOSED)
PARKING RATIOS (PER REQUIREMENT ESTABLISHED ON PREVIOUS SP-03-055)	1.5 SPA PER DWELLING UNIT 4 SPA PER 1,000 SF COMMERCIAL/AMENITY 10 SPA PER 1,000 SF RESTAURANT	
PARKING REQUIRED		
MULTIFAMILY	953	
COMMERCIAL	273	103
TOTAL	1329	
PARKING PROVIDED		
GARAGE*	953	
PROPOSED SURFACE	0	79
EXISTING SURFACE (TO REMAIN)	398	24
TOTAL SURFACE	398	103
TOTAL	1454	

* MULTIFAMILY PARKING WILL BE WHOLLY CONTAINED WITHIN GARAGE FOR HEIGHT BONUS.
 ** ANTICIPATES UP TO 4,400 SF OF RESTAURANT IN THE ±19,000 SF OF COMMERCIAL SPACE IN LOT 3R, BLOCK 1.



CODE COMPARISON TABLE				
	MU-2 (NOV 2021)	PD574	PROPOSED	COMPLIES (Y/N)
HEIGHT - RESIDENTIAL, MAX	7 STORIES*	N/A	7 STORIES (MAX)	YES
SETBACK - PRIMARY STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACK - SIDE STREET	0' MIN / 20' MAX	N/A	0' MIN / 20' MAX	YES
SETBACKS - REAR	5' (MIN)	N/A	5' (MIN)	YES
PARKING - MULTIFAMILY	0.75 TO 1 PER BEDROOM PLUS 2 PER 500 SF LEASING/AMENITY	1.5 PER DU	1.5 PER DU	YES
PARKING - COMMERCIAL	4 PER 1,000 SF \ 10 PER 1,000 SF (RESTAURANT)	4 PER 1,000 SF/10 PER 1,000 SF	4 PER 1,000 SF/10 PER 1,000 SF	YES

* ANTICIPATES HEIGHT BONUSES FOR STRUCTURED PARKING AND OPEN SPACE FOR LOT 1R.

MONTGOMERY PLAZA SITE PLAN

ZONING SITE PLAN
SP-22-010
PD574

RELATED CASES:
ZC-03-320A
SP-03-055

FORT WORTH, TX
AUGUST 29, 2022

Kimley»Horn

801 Cherry Street, Unit 11, Suite 1300
Fort Worth, TX 76102
817-335-6511
State of Texas Registration No. F-928

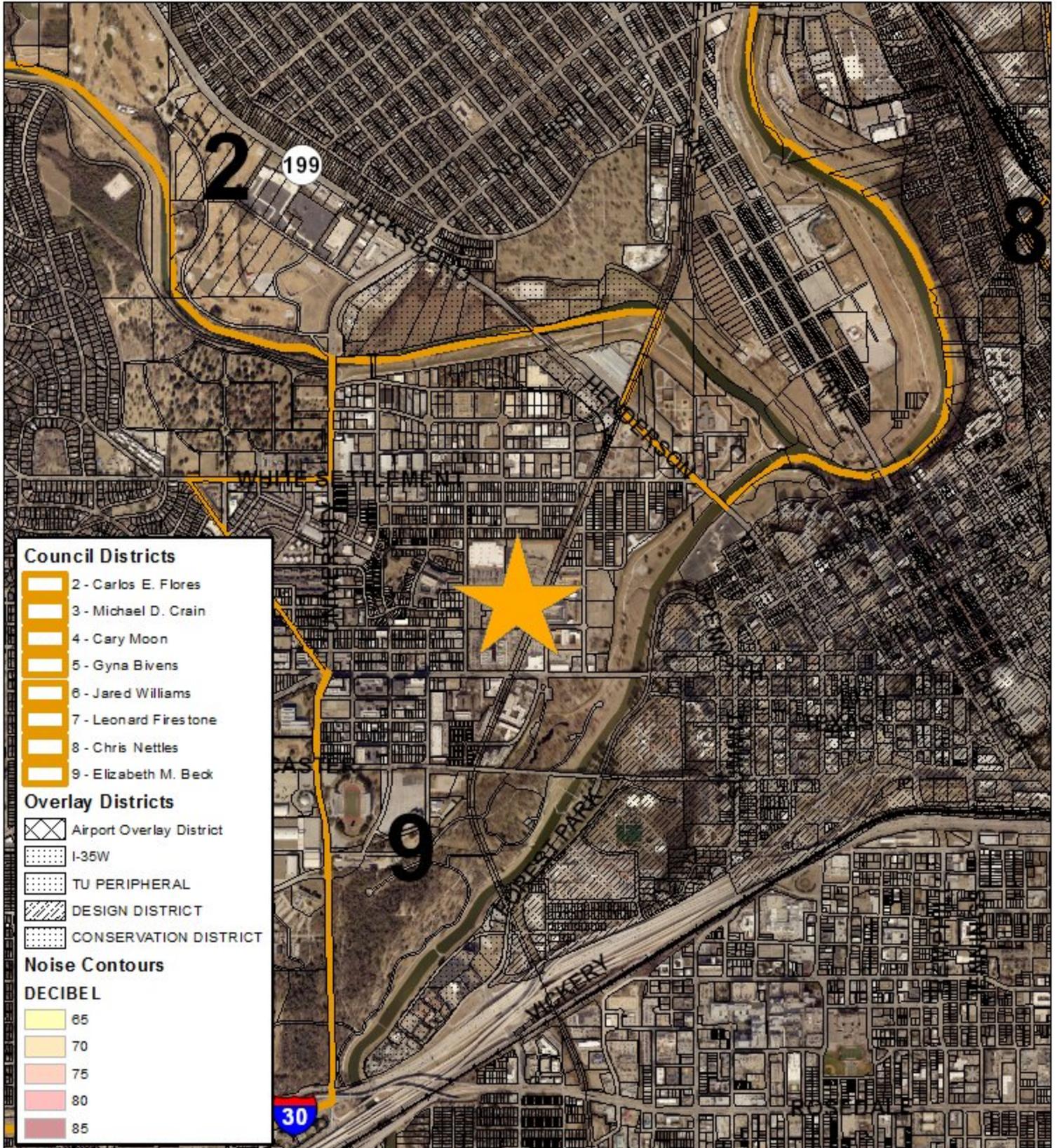
ARCHITECT
GFF
2808 FAIRMOUNT STREET, SUITE 300
DALLAS, TX 75201
CONTACT: BRIAN MOORE, AICP
(214) 303-1500

OWNER/DEVELOPER:
KIMCO REALTY
2600 W 7TH ST
FORT WORTH, TX 76107
CONTACT: CHRISTOPHER HERMAN
(682) 204-9484

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
801 CHERRY ST. UNIT 11, SUITE 1300
FORT WORTH, TX 76102
CONTACT: JOHN AINSWORTH, PE
(817) 335-6511

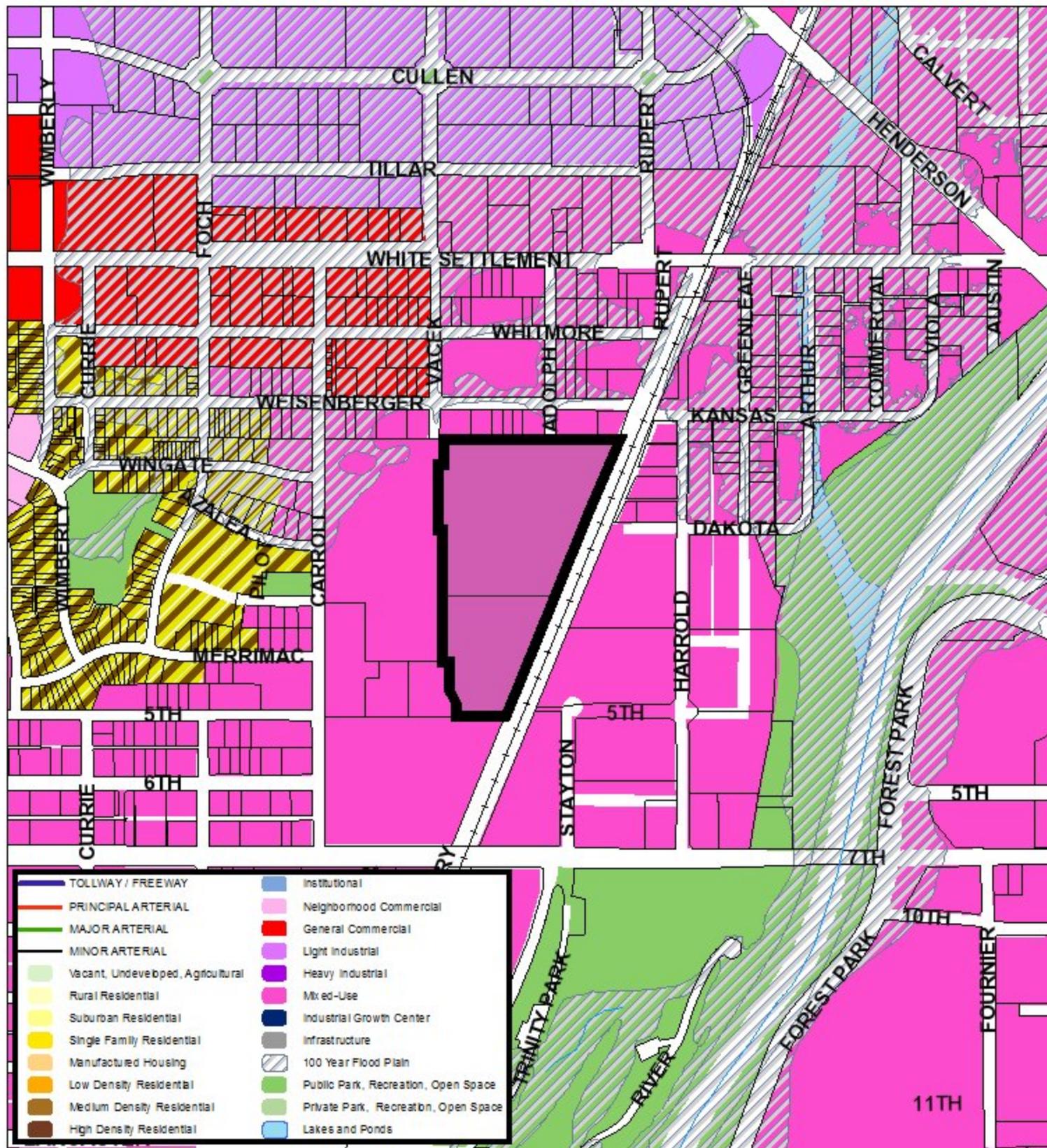
DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

Area Map



0 1,000 2,000 4,000 Feet

Future Land Use



650 325 0 650 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-124

Council District: 6

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Logan Land Development LP

Site Location: 500 W. Rendon Crowley Rd

Acreage: 5.00 acres

Request

Proposed Use: Mini-warehouse

Request: From: “E” Neighborhood Commercial

To: “PD/E” Planned Development for all uses in “E” Neighborhood Commercial, plus mini-warehouse; site plan included.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Neighborhood Commercial

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located on Rendon Crowley Road west of the intersection of Hemphill St. The applicant is requesting to rezone the property from “E” Neighborhood Commercial to “PD/E” Planned Development for all uses in “E” Neighborhood Commercial, plus mini-warehouse, site plan included.

The applicant would like to keep the baseline “E” Zoning and develop mini-warehouses on the site. Mini-warehouses are first allowed by right in industrial districts, however, many have opted to request PD’s and locate in close proximity to residential to capture this market. This is the case for this proposed development.

This case was continued in order for staff to review the proposed site plan provided at the August Public Hearing. Following the review, staff now supports the case for the following reasons: 1. Largest mini-warehouse structure located closer to Crowley Rd and away from the neighborhood 2. Over 50 ft buffer from neighborhood 3. Buildings close to the neighborhood would not impose on existing neighborhood.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single-family homes
East “E” Neighborhood Commercial / vacant
South “E” Neighborhood Commercial / FM 1187 ROW
West “E” Neighborhood Commercial / Wellness and Rehab Center

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on July 27, 2022.
The following organizations were notified: (emailed July 27, 2022)

Organizations Notified	
Coventry HOA*	District 6 Alliance
Streams and Valleys Inc	Trinity Habitat for Humanity
Burleson ISD	Crowley ISD

**Located just south of this registered Neighborhood Organization.*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “E” Neighborhood Commercial to “PD/E” Planned Development for all uses in “E” Neighborhood Commercial, plus mini-warehouse. Surrounding land uses consist of single-family to the north, a wellness center to the west, with vacant land south (Hwy 1187) and east. The proposed rezoning is intended to serve the numerous single-family and multifamily residences that are located nearby. Mini-warehouses typically have minimal impact to surrounding areas due to their height and appearances, operational characteristics, and traffic generation.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far South

The adopted Comprehensive Plan designates the subject property as neighborhood commercial. The proposed zoning change request **is not consistent** with the Comprehensive Plan. However, the policy below applies to this development. Mini-warehouses typically have a lesser impact and would be considered a transitional use for this property.

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Economic Development Plan

The adopted Economic Development Strategic Plan identified four different a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The below recommendations apply to this project:

PERFORMANCE METRICS

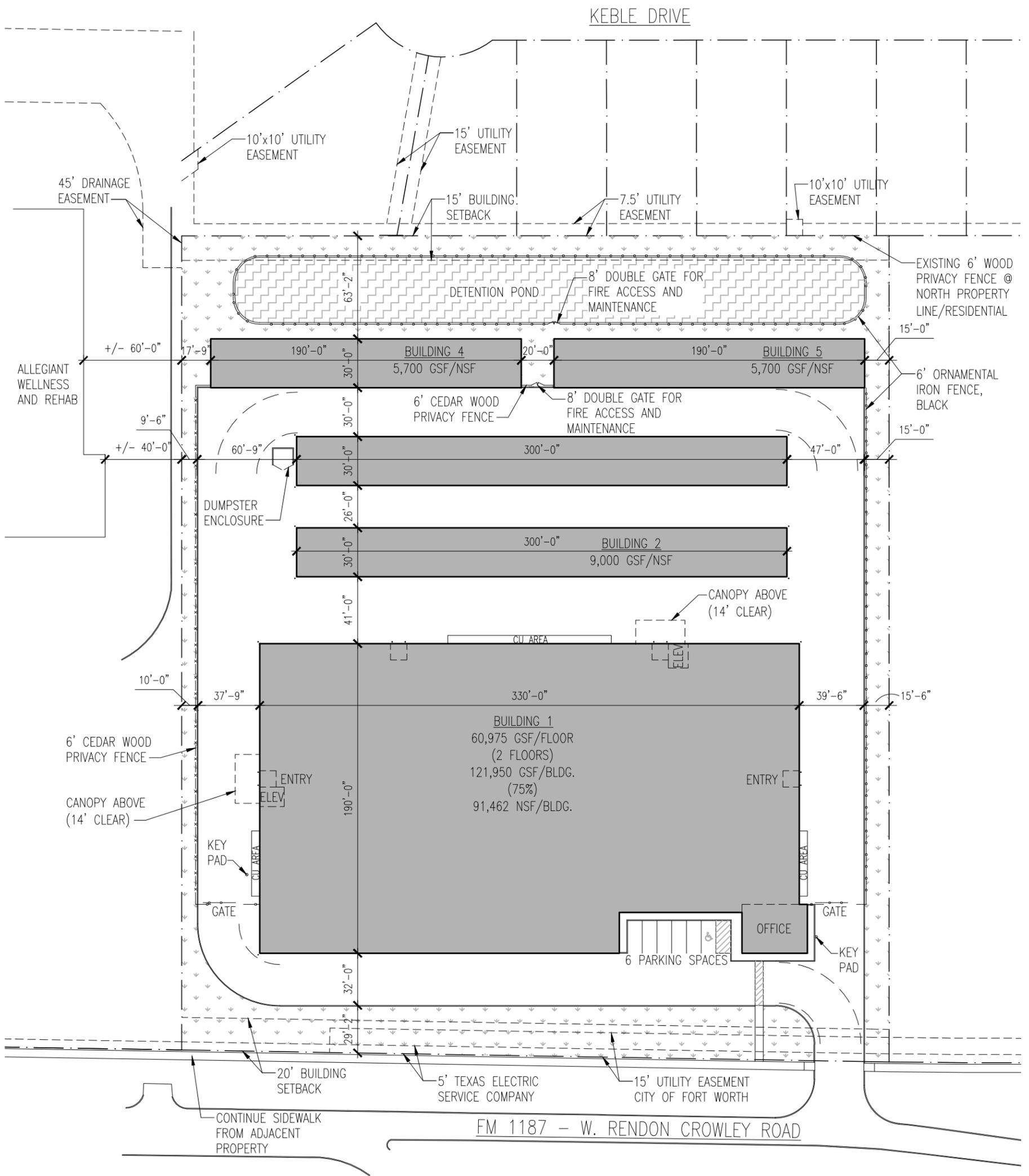
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

Site Plan Comments

Zoning and Land Use

- The site plan is in general compliance with the Zoning Ordinance regulations.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



SITE PLAN

SCALE: 1" = 60'-0"

08.19.2022



CROWLEY STORAGE

FORT WORTH, TX

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

JEFFREY S. DALLENBACH, AIA
TX REGISTRATION NO. 15128

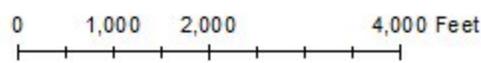
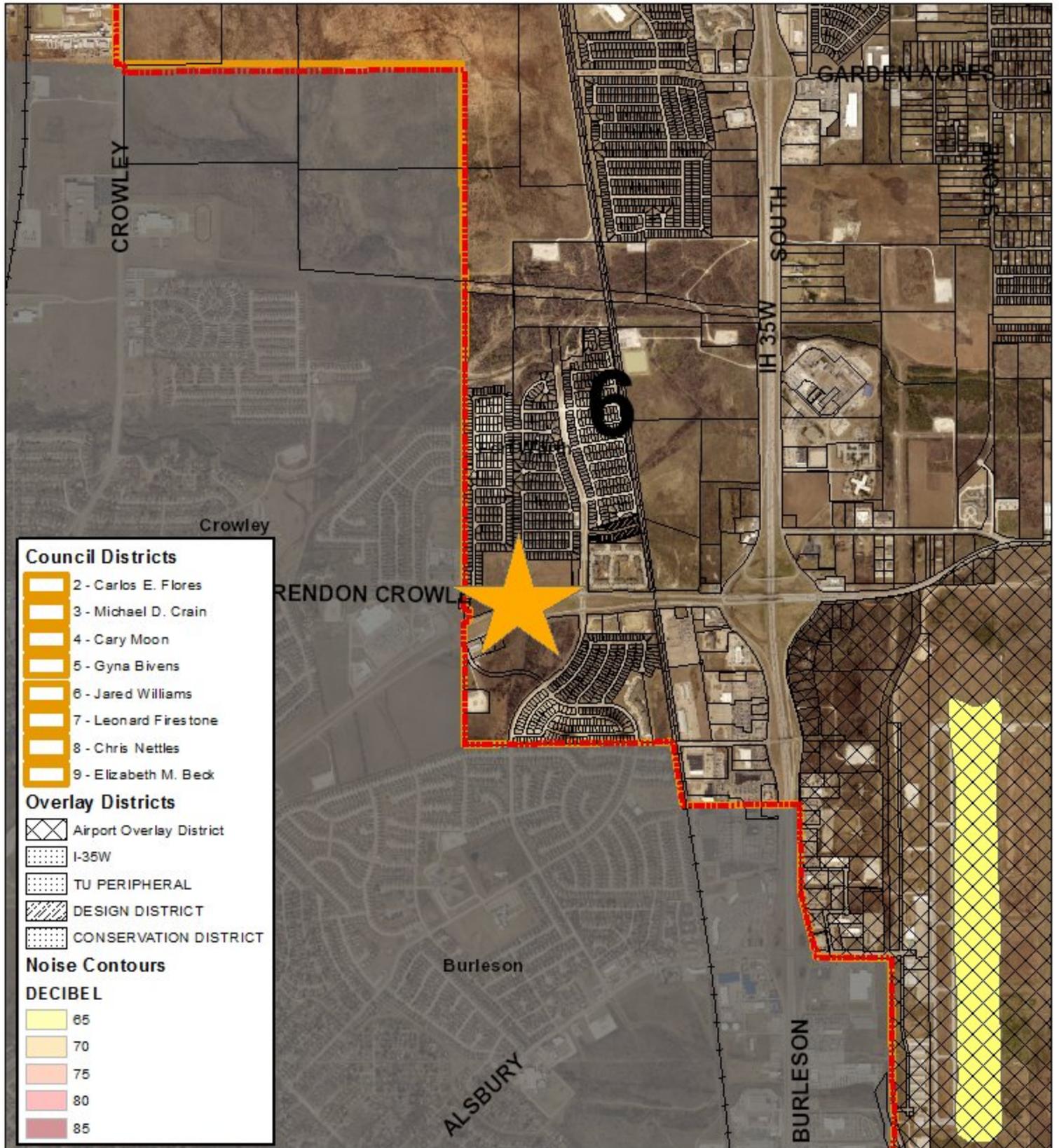
CONCEPTUAL SITE PLAN HAS BEEN DEVELOPED WITHOUT SURVEY, SETBACK, EASEMENT, OR CIVIL ENGINEERING INFORMATION.

DCA 2246

DALLENBACH·COLE
ARCHITECTURE

315 NINTH STREET - SUITE 1
SAN ANTONIO, TEXAS 78215
WWW.DALLENBACHCOLE.COM
P 210.493.2234

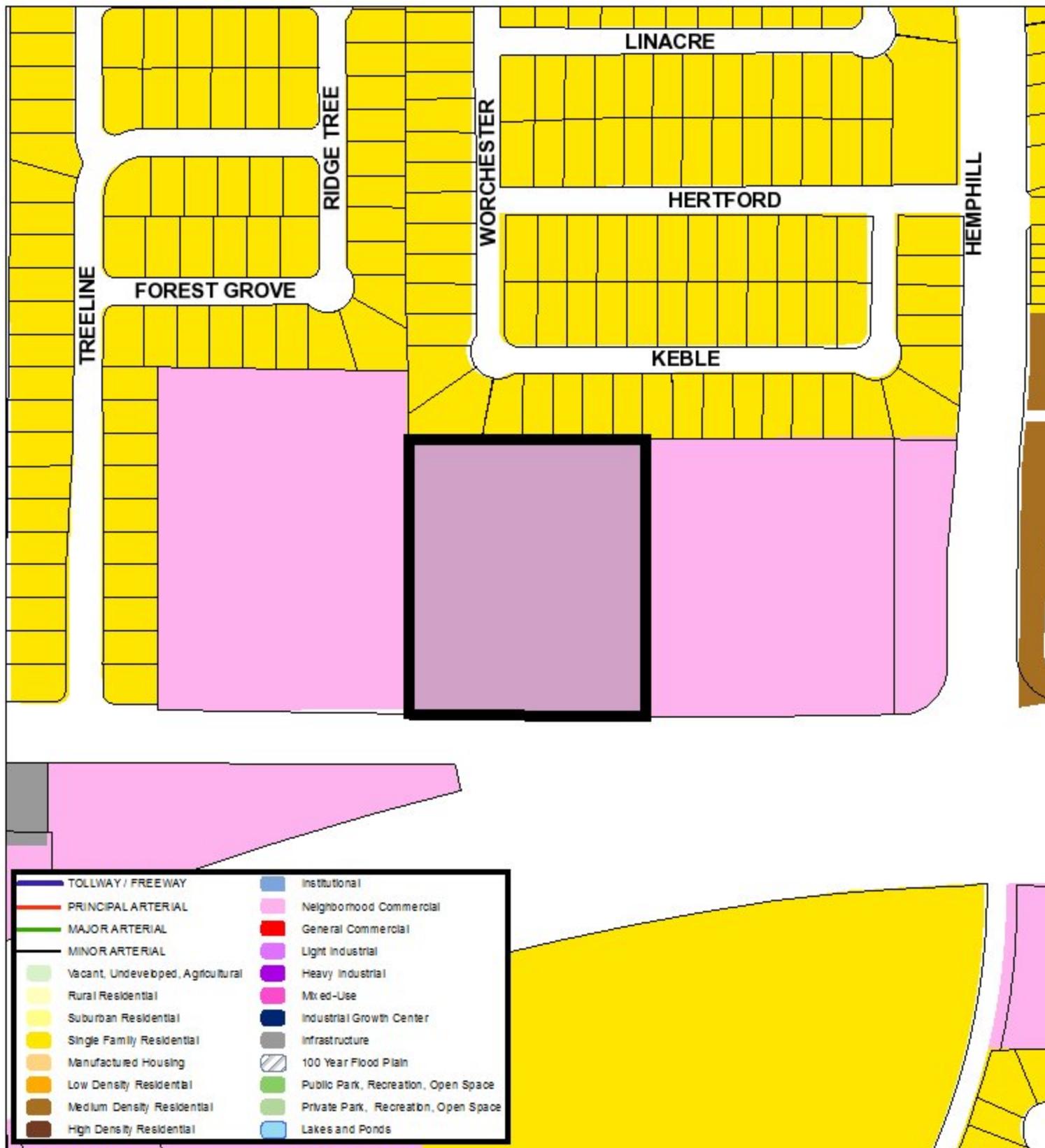
Area Map





ZC-22-124

Future Land Use



240 120 0 240 Feet

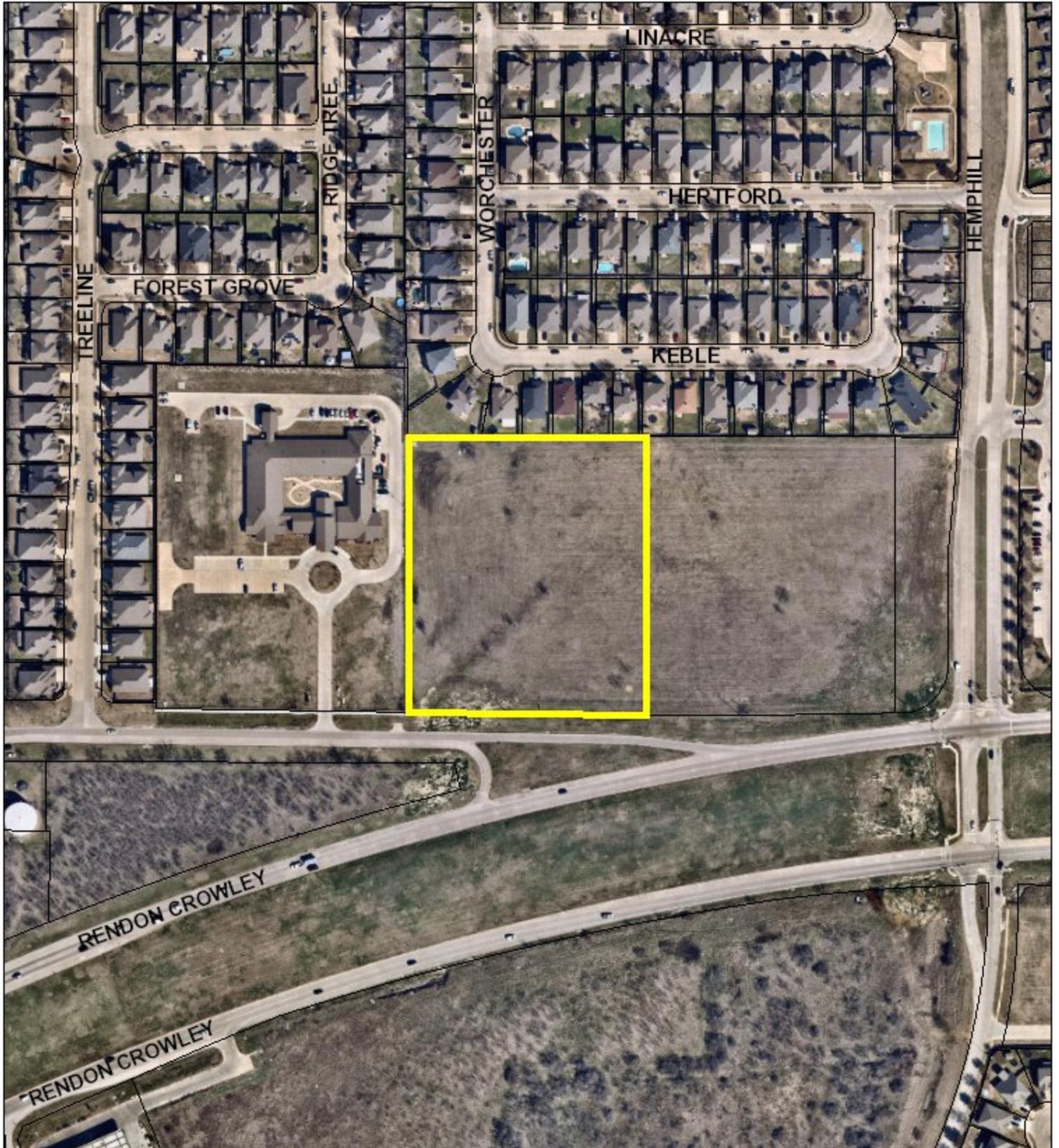
A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





ZC-22-124

Aerial Photo Map



0 155 310 620 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: SP-22-016

Council District: 3

Site Plan

Case Manager: [Stephen Murray](#)

Owner / Applicant: The Fricks Company/Phillip Varughese (TNP)

Site Location: 3001 Alameda Street; 3000 West Loop 820 S

Acreage: 2.78

Request

Proposed Use: New parking and building for existing site

Companion Case: ZC-02-040

Request: To: Amend Site plan for PD 435 Planned Development for all uses in “F” General Commercial plus office, shop, vehicle maintenance and repair (inside only), vehicle washing, material testing, and inside storage (all associated with a general contractor business) and PD 1225 Planned Development for all uses in “G” Intensive Commercial plus car storage facility; site plan included.

Recommendation

Staff Recommendation: **Approval**

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10. Aerial Photograph

Project Description and Background

The subject property is located in between Alameda Boulevard and West Loop 820 South north of Camp Bowie West. The current zoning for the property is PD 435 Planned Development for all uses in “F” General Commercial plus office, shop, vehicle maintenance and repair (inside only), vehicle washing, material testing, and inside storage (all associated with a general contractor business) and PD 1225 Planned Development for all uses in “G” Intensive Commercial plus car storage facility. The applicant is requesting to amend the approved site plan by adding roughly 5,200 sf to an existing building and 27 new parking spaces. Staff supports this proposal.

Surrounding Zoning and Land Uses

North “PD 1225” Planned Development for all uses in “G” Intensive Commercial plus car storage facility; site plan included / auto storage facility
East “F” General Commercial / West Loop 820 S
South “F” General Commercial / vacant
West “FR” General Commercial Restricted / High Ridge Church Central Offices

Recent Zoning History

- ZC-02-040: "PD-SU" for all uses in "F" plus office, shop, vehicle maintenance and repair (inside only), vehicle washing, material testing, and inside storage (all associated with a general contractor business) (subject property)

Public Notification

300-foot Legal Notifications were mailed on August 31, 2022.
The following organizations were notified: (emailed August 26, 2022)

Organizations Notified	
Chapin Rd & Alameda St NA*	Streams and Valleys Inc
Trinity Habitat for Humanity	Fort Worth ISD

* Located 0.30 miles from this registered Neighborhood Association

Development Impact Analysis

Site Plan Comments

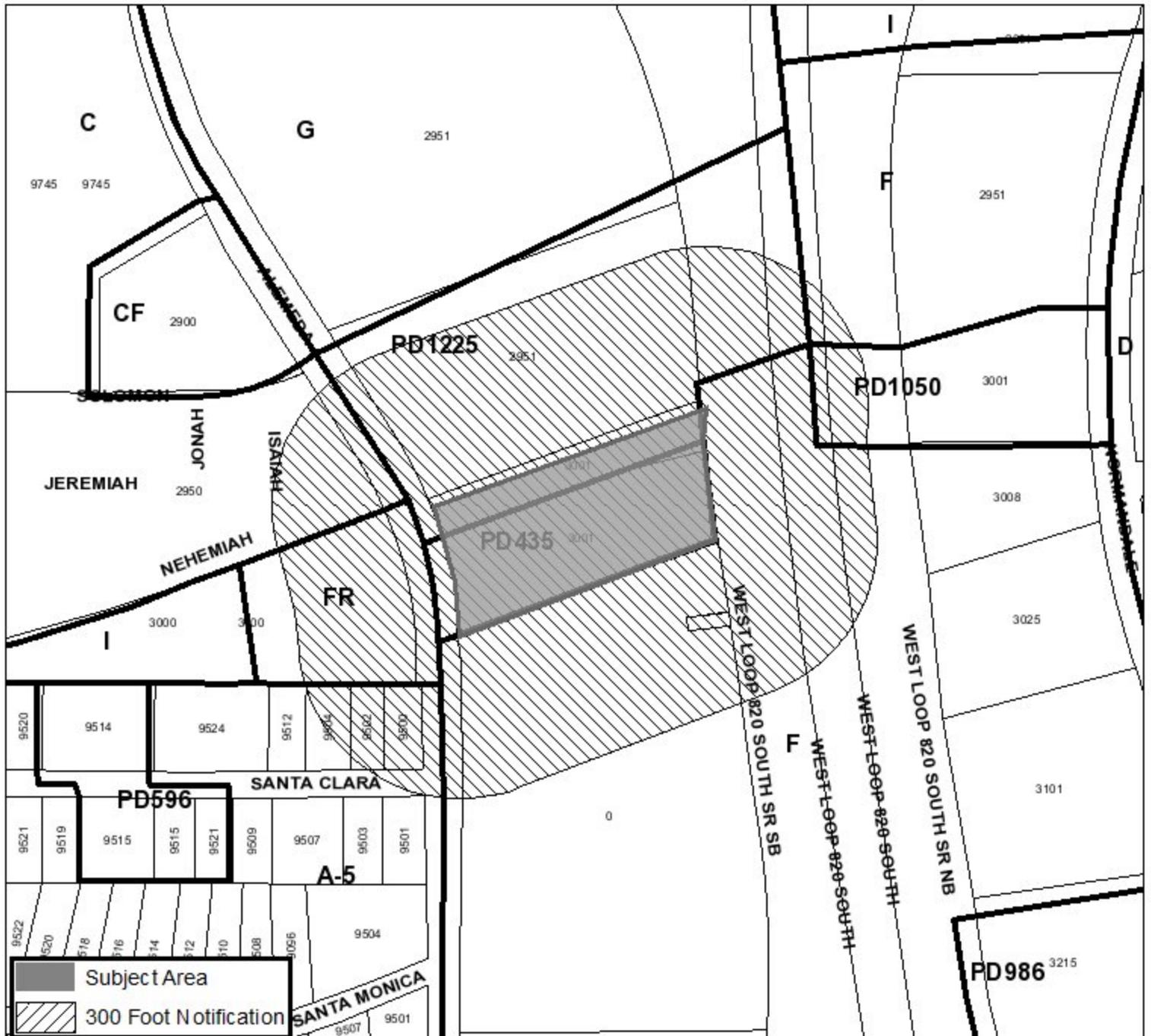
Zoning and Land Use

- Encroachment needed for fence over pipelines
- Remove trees (note for UF compliance is sufficient)

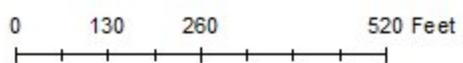


Area Zoning Map

Applicant: TJF LP
 Address: 3001 Alameda Street, 3000 West Loop 820 S
 Zoning From: PD 435 for F uses office and shop facility, PD 1225 for G uses plus car storage
 Zoning To: Amend Site Plan for office and shop facility
 Acres: 2.78799611
 Mapsco: 72M
 Sector/District: Far West
 Commission Date: 9/14/2022
 Contact: 817-392-8047

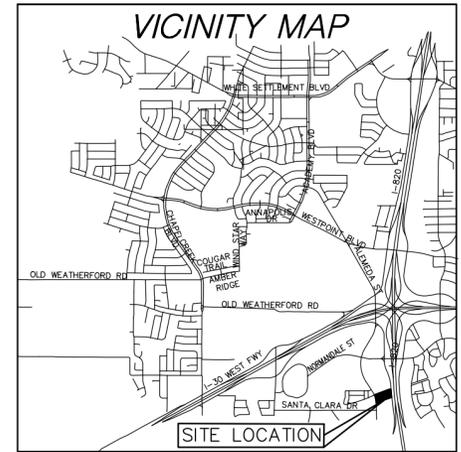


 Subject Area
 300 Foot Notification





ENGINEER/SURVEYOR
teague nall & perkins
 5237 N. Riverside Drive
 Fort Worth, Texas 76137
 817.336.5773 ph 817.336.2813 fx
 TBPE Registration No. F-230
 www.tnpsc.com



PD ZONING SUMMARY
SITE INFORMATION

NUMBER OF STORIES	MAX 1 STORIES
ZONING	CONFORM TO F PLUS OFFICE, SHOP & STORAGE FACILITY
LAND USE	OFFICE BUILDING AND SHOP/STORAGE FACILITY
ADDRESS:	3000 W LOOP 820 S FORT WORTH, TEXAS 76116

BUILDING	GROSS 1ST FLOOR AREA (SQ FT)
EXISTING OFFICE	4,980
EX. WAREHOUSE	8,330
PROP ADDITION	5,211

PARKING DATA

PARKING REQUIREMENT	
OFFICES - 10,191 SF AT 2.5/1,000 SF = 26 SPACES	
WAREHOUSES - 1 PER 4 EMPLOYEES - MINIMUM OF 4 SPACES	
40 EMPLOYEES = 10 SPACES	
PARKING REQUIRED - 36 SPACES	
PARKING PROVIDED - 57 SPACES (54 STANDARD & 3 ADA SPACES)	

OWNER INFORMATION

THE FRICKS COMPANY
 Attn: Greg Fricks
 3000 W Loop 820
 Fort Worth, TX 76116

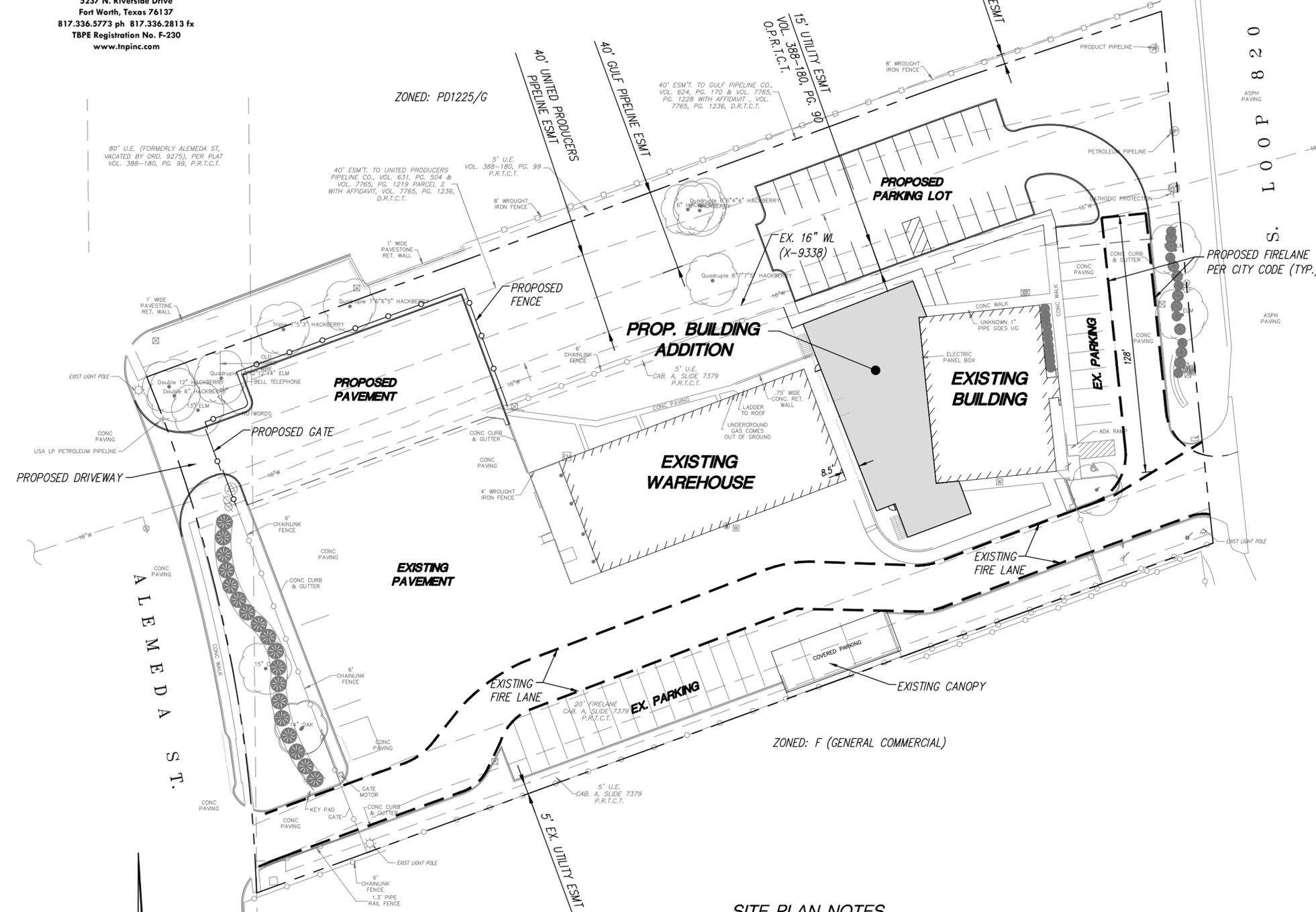
DIRECTOR OF PLANNING AND DEVELOPMENT _____

DATE _____

SITE PLAN AMENDMENT
THE FRICKS COMPANY

(PD 435, SP-02-0002)
 CITY OF FORT WORTH, TEXAS
 AUGUST 1, 2022

ZONING CASE _____

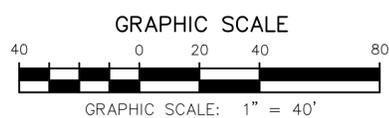


SITE PLAN NOTES

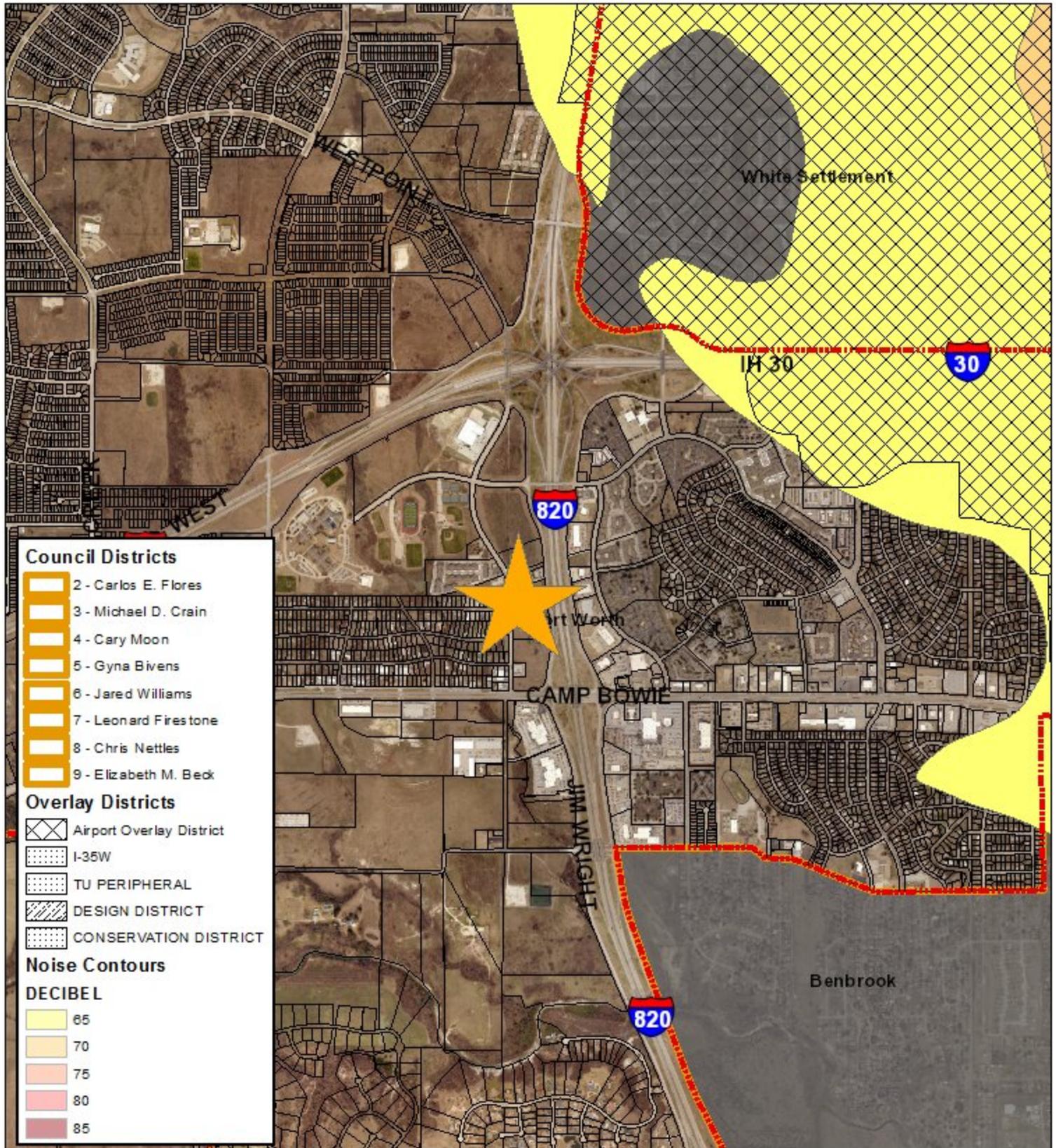
1. NO OFFSITE PARKING IS PROPOSED. ALL REQUIRED PARKING WILL BE ONSITE.
2. ALL PROVIDED LIGHTING WILL CONFORM TO LIGHTING CODE.
3. ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS.
4. DUMPSTER LOCATIONS WILL BE SITED IN THE FUTURE.
5. 45' MAXIMUM BUILDING HEIGHT.
6. ALL OPEN SPACES AREAS SHALL BE SODDED AND IRRIGATED.

LANDSCAPE NOTES

1. THE PROJECT WILL COMPLY WITH SECTION 6.301, LANDSCAPING.
2. THE PROJECT WILL COMPLY WITH SECTION 6.302, URBAN FORESTRY.



Area Map



Council Districts

-  2 - Carlos E. Flores
-  3 - Michael D. Crain
-  4 - Cary Moon
-  5 - Gyna Bivens
-  6 - Jared Williams
-  7 - Leonard Firestone
-  8 - Chris Nettles
-  9 - Elizabeth M. Beck

Overlay Districts

-  Airport Overlay District
-  I-35W
-  TU PERIPHERAL
-  DESIGN DISTRICT
-  CONSERVATION DISTRICT

Noise Contours

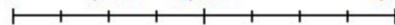
DECIBEL

-  65
-  70
-  75
-  80
-  85

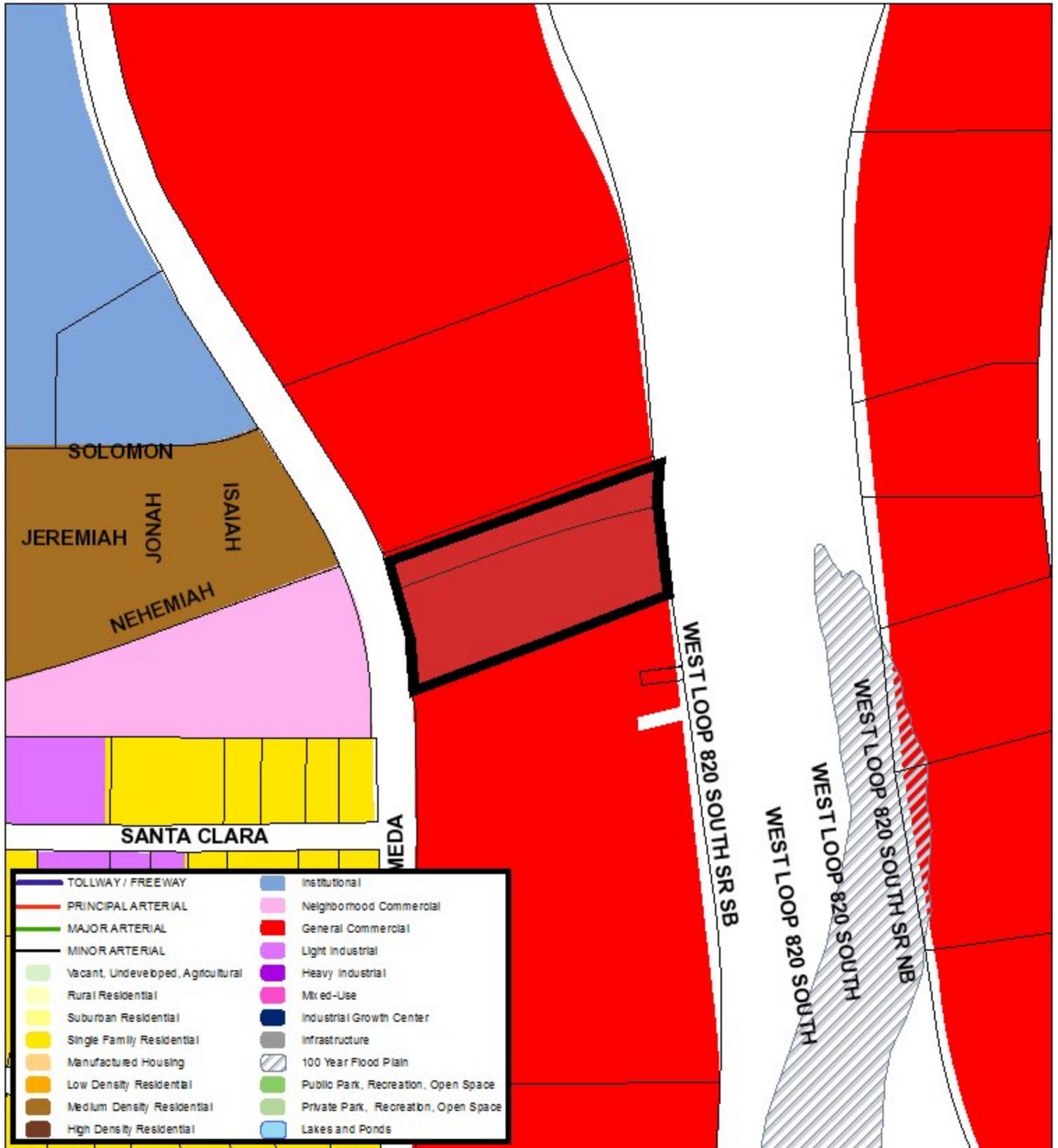
N



0 1,000 2,000 4,000 Feet



Future Land Use



240 120 0 240 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 155 310 620 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-114

Council District: 8

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Stonehawk Capital Partners / Kimley-Horn

Site Location: 2212 E. 4th Street

Acreage: 21.2 acres

Request

Proposed Use: Multi Family

Request: From: “PD 310R” Planned Development/Specific Use for multi-family and commercial subject to 37 acres of multi-family residential at a density of 30 to 36 units per acre, 7 acres of multi-family residential at a density of 30 to 50 units per acre, 12.5 acres of retail restaurant and commercial.

To: Amend “PD 310” to remove the multifamily density per acre restriction to allow 44 acres with a maximum unit count of 1,682 and 12.5 acres of retail, restaurant and commercial.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Mixed-Use

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Project Description and Background

The proposed site is located south of East 4th Street and just north of the TRE commuter rail. A portion of this area falls within the floodplain. The subject property includes a gas compression facility and is adjacent to a gas well pad site with seven (7) active gas wells, tank batteries and a lift compressor. It is just south of the new Top Golf facility.

In 1998 a Zoning request application was submitted to change the zoning from “C” Multi-family, “E” and “F” Commercial and “J” Medium Industrial to “PD/SU” Planned Development/Specific Use for multi-family and commercial subject to 37 acres of multi-family residential at a density of 30 to 36 units per acre, 7 acres of multi-family residential at a density of 30 to 50 units per acre, 12.5 acres of retail, restaurant and commercial.

The PD request 310 zoning on this property was originally approved by City Council in 1998, subject to the following density requirements:

- o 37 Acres 30-36 units/acre
- o 7 Acres 30-50 units/acre
- o 12.5 acres retail, restaurant and commercial

Per the PD, a site plan was to be submitted at the time of development.

Figure 1 – Total area of PD310



In 2017, the PD was amended to add a use for natural gas production for a period of ten (10) years.

In 2021 the applicants submitted a site plan to develop the north portion of the PD. Please see Figures 2 and 3 below:

Figure 2

SITE DATA STONEHAWK 4TH			
	PD 310R : Z-98-117A		
FLOOD ZONE:	SUBJECT PROPERTY LOCATED IN SUMP. FFE REQUIRED TO BE MINIMUM OF 2' ABOVE SUMP ELEVATION OF 520.8'. EXISTING AREA BELOW SUMP ELEVATION TO BE MAINTAINED POST DEVELOPMENT.		
SITE AREA:	9.1171 ACRES		
UNIT MIX:	336 UNITS; 33 STUDIO, 219 (1) BDRM, 84 (2) BDRM		
PARKING CALCULATIONS:	MIN: 1 SPACES PER BEDROOM + 1 SPACE PER 250 SQ. FT OF COMMON AREAS. 420 BEDROOMS + 10000 SQ FT COMMON SPACE = 460 SPACES		
<u>PARKING SUMMARY:</u>	<u>REQUIRED</u>	<u>PROVIDED</u>	
SURFACE PARKING:	460	414 SPACES	
ATTACHED GARAGES:	0 SPACE	58 SPACE	
TOTAL SPACES:	460	472 SPACE	
BUILDING HEIGHT:	47' FROM SLAB TO TOP OF ROOF ± 50' TO TOP OF PARAPET		
PROPOSED DENSITY:	36.85 UNITS PER ACRE		

Figure 4



The only remaining density available is at 30-36 units per acre, limiting the proposed development to under 300 units ($36 \times 8.27 = 298$). This is the reasoning behind the zoning request to remove the density requirement (keeping remaining units available at 1,346), allowing for more flexibility.

Surrounding Zoning and Land Uses

North "A-5" One-Family / HWY 121/ Greenway Park
East "O-1" Floodplain District / Vacant/Trinity River
South "O-1" Floodplain District / Harmon Field Park
West "J" Medium Industrial / I-35 W

Recent Zoning History

- ZC-15-133: From PD 310 for multifamily & commercial uses To PD for F uses plus net poles up to 170 feet in height.
- ZC-17-050: PD/SU for natural gas line compressor
- SP-20-033: Required Site Plan for multifamily

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022

The following organizations were notified: (emailed August 26, 2022)

Organizations Notified	
Fort Worth Downtown Neighborhood Alliance	Riverside Alliance
Vintage Riverside NA	Tarrant Regional Water District
Friends of Riverside Park	East Fort Worth, Inc.
Streams and Valleys Inc	Trinity Habitat for Humanity
Riverside Business Alliance	Oakhurst Scenic Drive Inc.
Oakhurst Alliance of Neighbors	United Riverside Rebuilding Corporation, Inc.
East Fort Worth Business Association*	Fort Worth ISD

**This Neighborhood Association is located closest to the subject property*

Development Impact Analysis

Land Use Compatibility

The existing zoning of this site is “PD 310” PD Planned Development/Specific Use for multi-family and commercial subject to 37 acres of multi-family residential at a density of 30 to 36 units per acre, 7 acres of multi-family residential at a density of 30 to 50 units per acre, 12.5 acres of retail restaurant and commercial.

The amendment request does not intend to change the land use, only to remove the density requirements for this portion of the PD310 district to build the maximum number of units allowed.

Properties to the north are part of the planned development, and multi-family units are currently under construction. A newly constructed Top Golf is located northeast of the proposed amendment.

Trinity trails and river are located to the east, providing recreation and fitness opportunities and using alternate transportation.

Property to the south is zoned “O-1” Floodplain and the location of Harmon Field Community park.

The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Northeast

The 2022 Comprehensive Plan currently designates the subject property as “Mixed Use” on the Future Land Use Map. As shown in the excerpt below from the 2022 Comprehensive Plan, various zoning districts and land uses can be appropriate within the mixed-use designation, including all multi-family residential and commercial uses.

COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1
General Commercial	Retail, services, offices and mixed uses serving occasional needs for a larger market area	Multifamily Residential, ER, E, MU-1, MU-2
Mixed-Use/ Mixed-Use Growth Center	Retail, services, offices, entertainment, mixed uses, and multifamily residential; Community Growth Centers are less intensive, and Regional Growth Centers are more intensive	AR, B, R1, R2, CR, C, D, UR, all Commercial, MU-1, MU-2, Form-Based Codes

Furthermore, the proposed zoning aligns with the following policies in the comprehensive plan:

- Encourage compatible redevelopment along the Trinity River, particularly within the Rock Island Bottoms and Butler Place sites

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

Site Plan Comments

Zoning and Land Use

- Per the current PD a site plan will be required to be submitted at the time of development.

Stormwater Development Services

- Drainage study for site already accepted, DS-21-0133
- Encroachment agreement for private SD crossing Water easement must be approved by all reviewing departments prior to grading permit issuance.
- FDP-21-00274 is for waterline only, FDP for private construction still needed (FDP-22-00096 was approved)
- Post-construction LOMR will be required

Fire Department

- Building Setback radii from the Tank Battery and equipment and label:
- "200' Tank Battery Building Setback for Protected Use, Public Building, or Habitable Structure"
- IFC 2021/CFW Adopted Amendments Ordinance No 25388-03-2022 Section 5706.3.1.3.3 Existing Natural Gas Wells
- According to exhibit, non-permitted well heads and lift compressors do not impact this site. A set of tank batteries exists near the eastern border of the site.

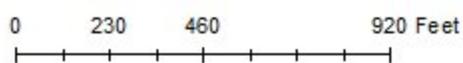
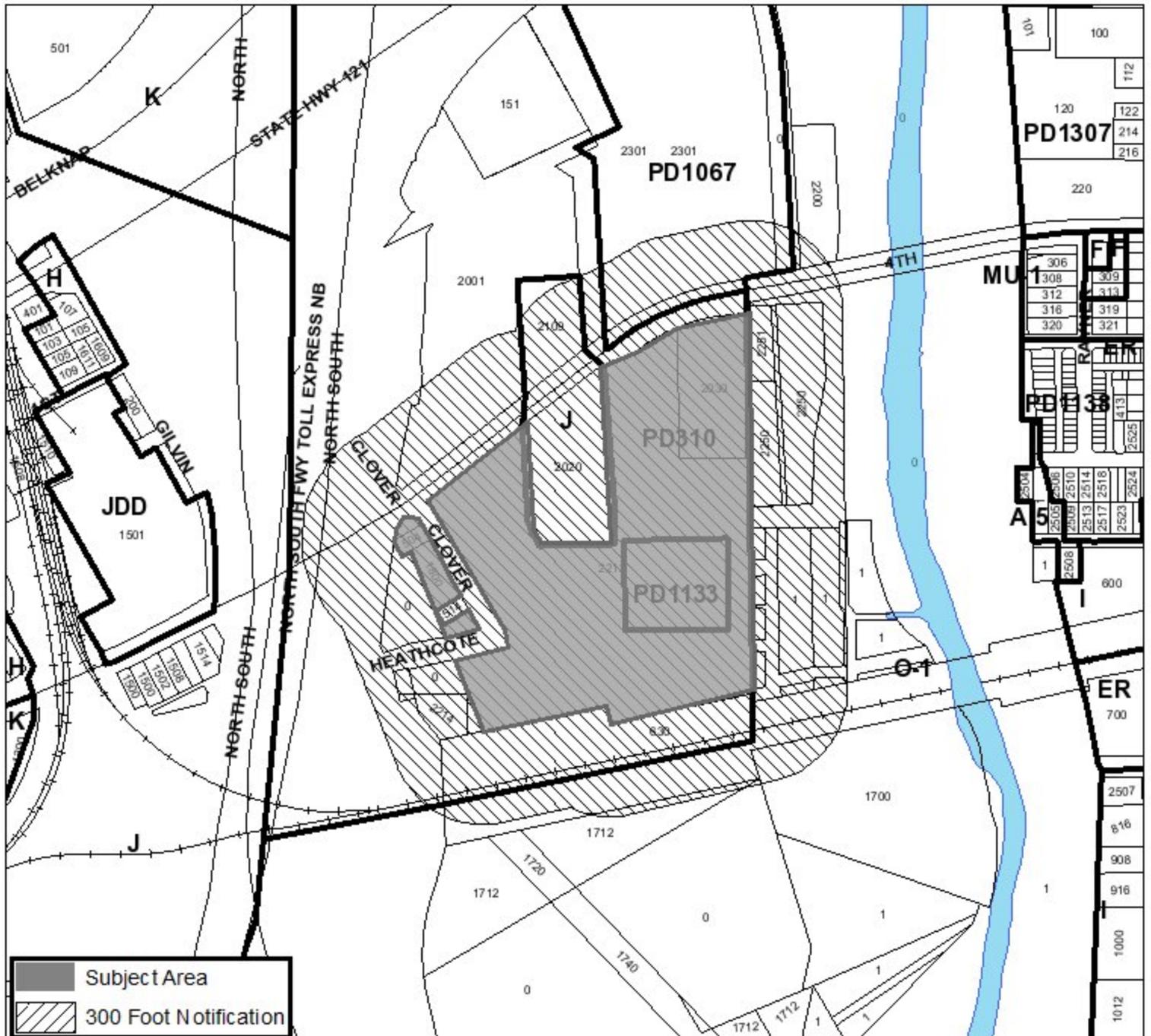
- The lots numbers don't match the exhibit and the zoning case shading in GIS doesn't match the exhibit (east side). If the gas well pad site is included, as shown in GIS, then a lift compressor setback (200') and non-permitted gas well setbacks (300' from well head) will apply.
- Minimum standards for Multi-family developments would apply for each lot with mixed use if any part of the development is multi-family.
- General information:
 - Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.
 - It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.
- The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.CFW

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

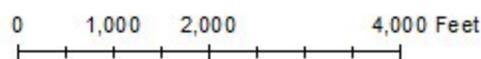
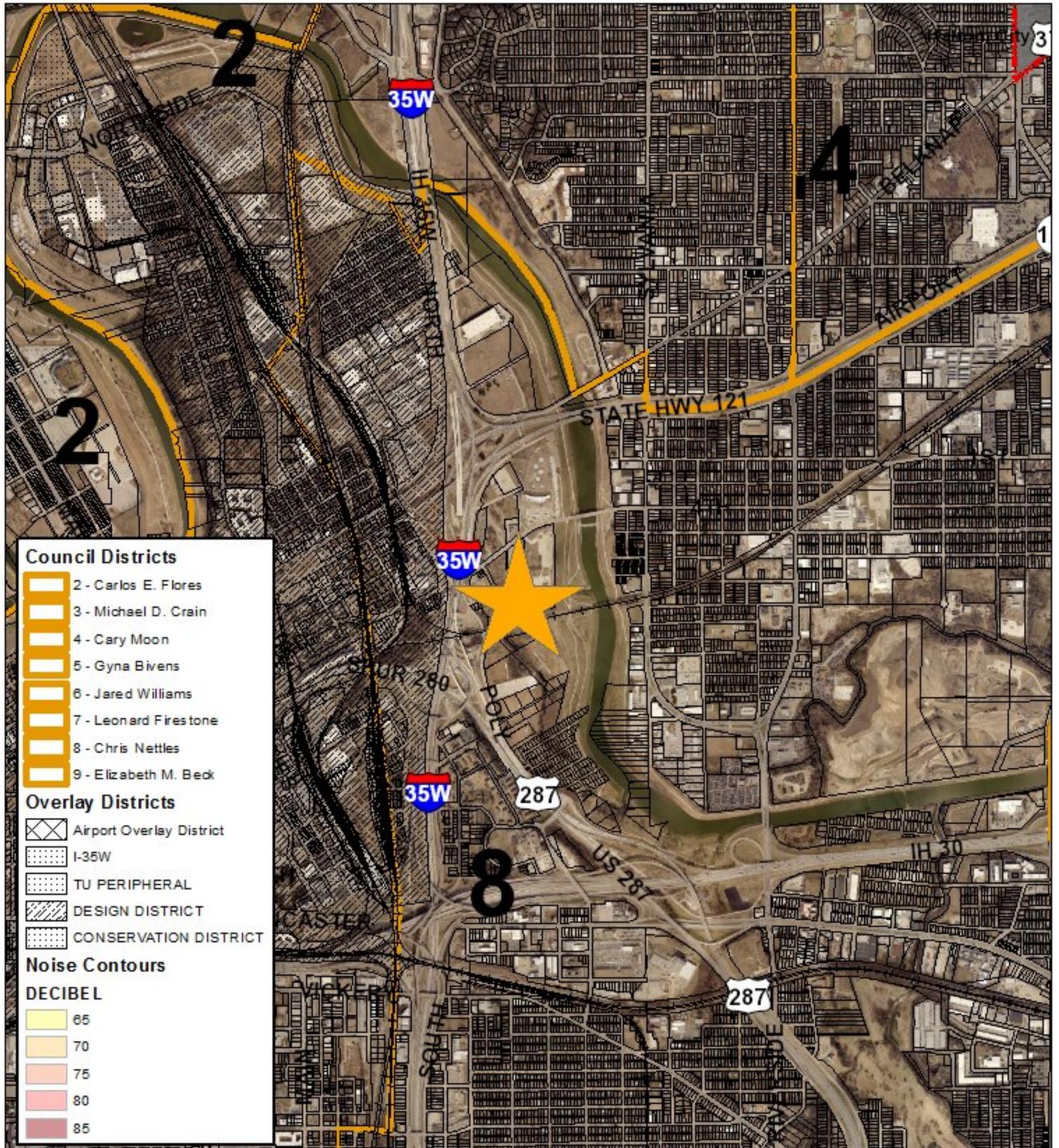


Area Zoning Map

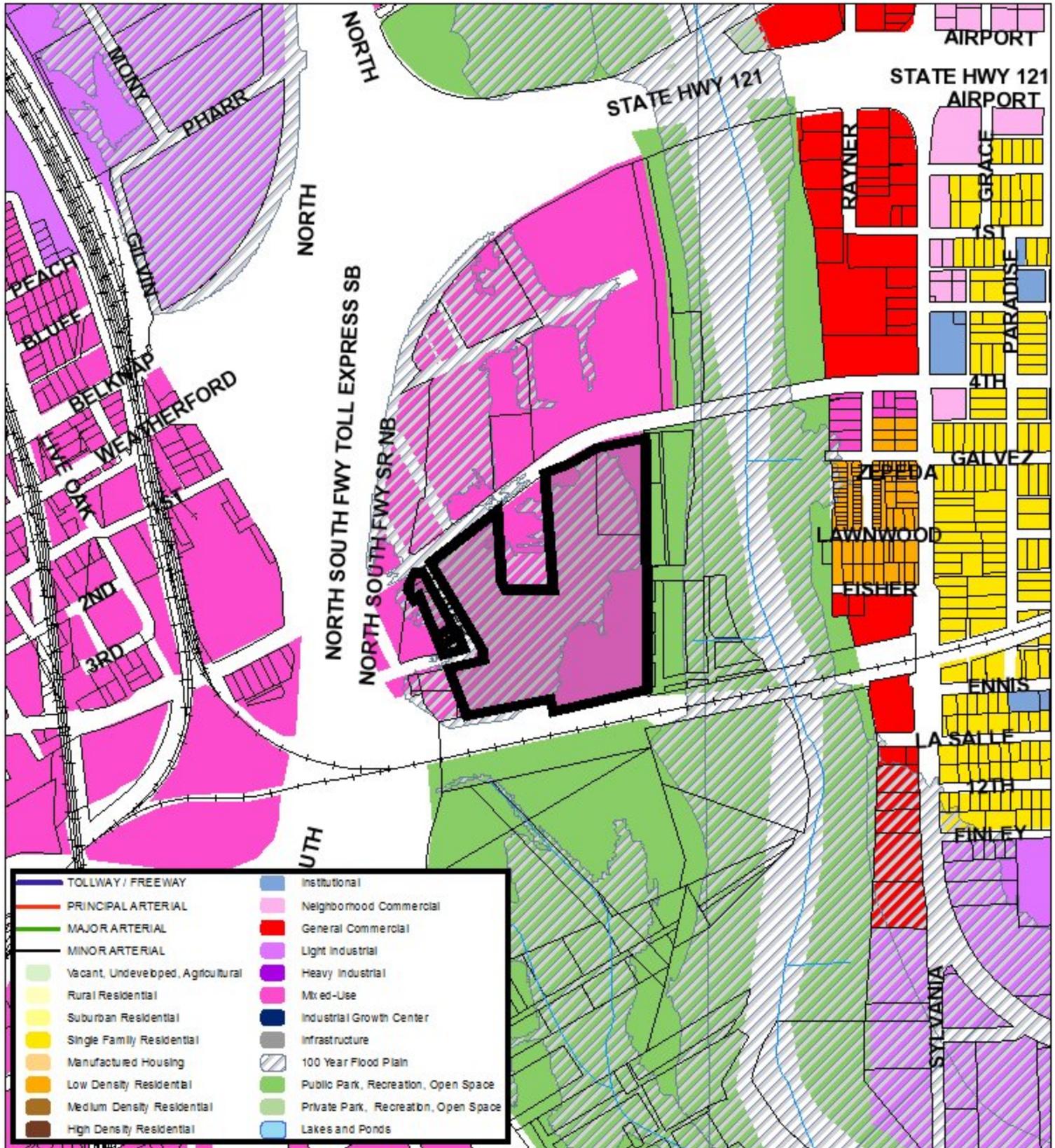
Applicant: TOTAL E&P USA REAL ESTATE LLC
 Address: 2212 E. 4th Street
 Zoning From: PD310
 Zoning To: Amend PD310 to remove density requirements, but maintain max. amount of units
 Acres: 21.20156832
 Mapsco: 63X
 Sector/District: Northeast
 Commission Date: 9/14/2022
 Contact: 817-392-8047



Area Map



Future Land Use

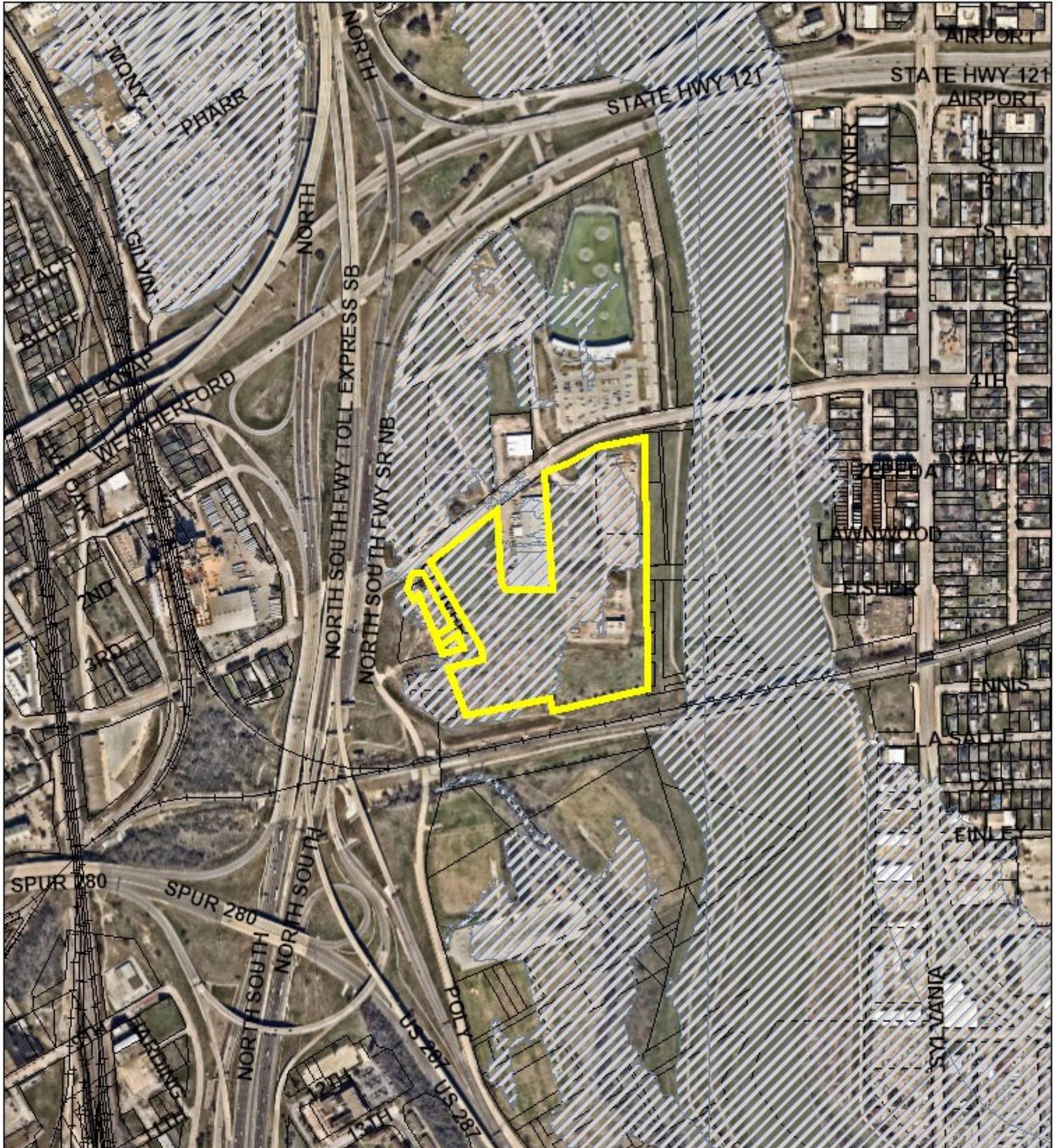


650 325 0 650 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 400 800 1,600 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-045

Council District: 4

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: Ruben Garcia

Site Location: 5900-5915 (evens) Elliott Reeder Rd

Acres: 0.66 acres

Request

Proposed Use: Outdoor storage of construction vehicles

Request: To: Add Conditional Use Permit (CUP) for outdoor storage of construction vehicles in "I" Light Industrial, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent (significant deviation)**

Staff Recommendation: **Denial**

Future Land Use Designation: Future Single-family Residential

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located on Elliott Reeder Rd near Carson Street. The applicant is requesting to rezone the property Add Conditional Use Permit (CUP) for outdoor storage of construction vehicles in “I” Light Industrial, site plan included. The area near the proposed zoning has several existing industrial, salvage yard, and outdoor storage uses.

However, the proposed site is located just south of the Garden of Eden historic district, which was designated by the City Council in 2005 and is the first African-American cultural district in Fort Worth. The district celebrates the history and culture of the Cheney family, members of which have lived on this land for more than 150 years. The future land use for the historic district and nearby property is single-family in order to provide an additional layer of protection for this part of the neighborhood.

Although the use is appropriate at this location, staff is recommending denial in support of the Comprehensive Plan.

Surrounding Zoning and Land Uses

North Haltom City / salvage yard
East “AG” Agricultural / single-family
South “AG” Agricultural / single-family, storage
West “K” Heavy Industrial / salvage yard

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on August 31, 2022.
The following organizations were notified: (emailed August 26, 2022)

Organizations Notified	
Neighborhoods of East Fort Worth	Garden of Eden NA*
East Fort Worth, Inc.	Streams and Valleys Inc
Trinity Habitat for Humanity	East Fort Worth Business Association

This property is located within this registered Neighborhood Organization.

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to Add Conditional Use Permit (CUP) for outdoor storage of construction vehicles in “I” Light Industrial, site plan included. Surrounding uses consist of a salvage yard to the north and west, single-family to the east and south. Both single-family uses near the proposed site appear to have some elements of storage.

The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The adopted Comprehensive Plan currently designates the subject property as “single-family” on the Future Land Use Map. This designation is intended to include single-family development. The base “I” Light Industrial zoning district is not listed as appropriate within this designation:

Therefore, the proposed zoning is **not consistent** with the Comprehensive Plan (**significant deviation**).

Economic Development Plan

The 2018 Economic Development Strategic Plan identified four different a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The proposed project would not facilitate growth for this area.

Site Plan Comments

Zoning and Land Use

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

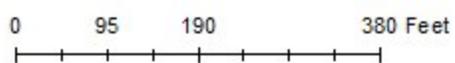
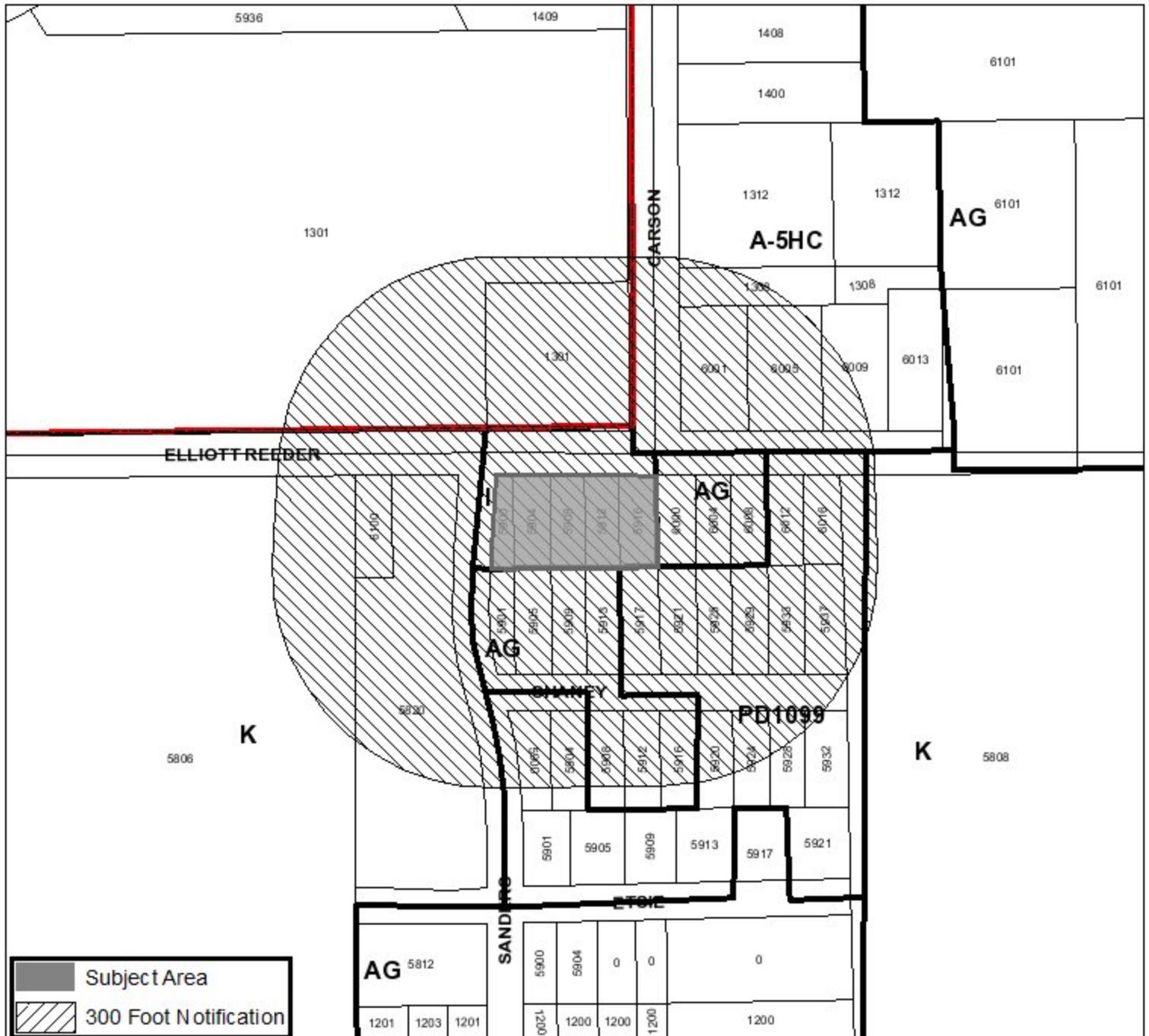
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

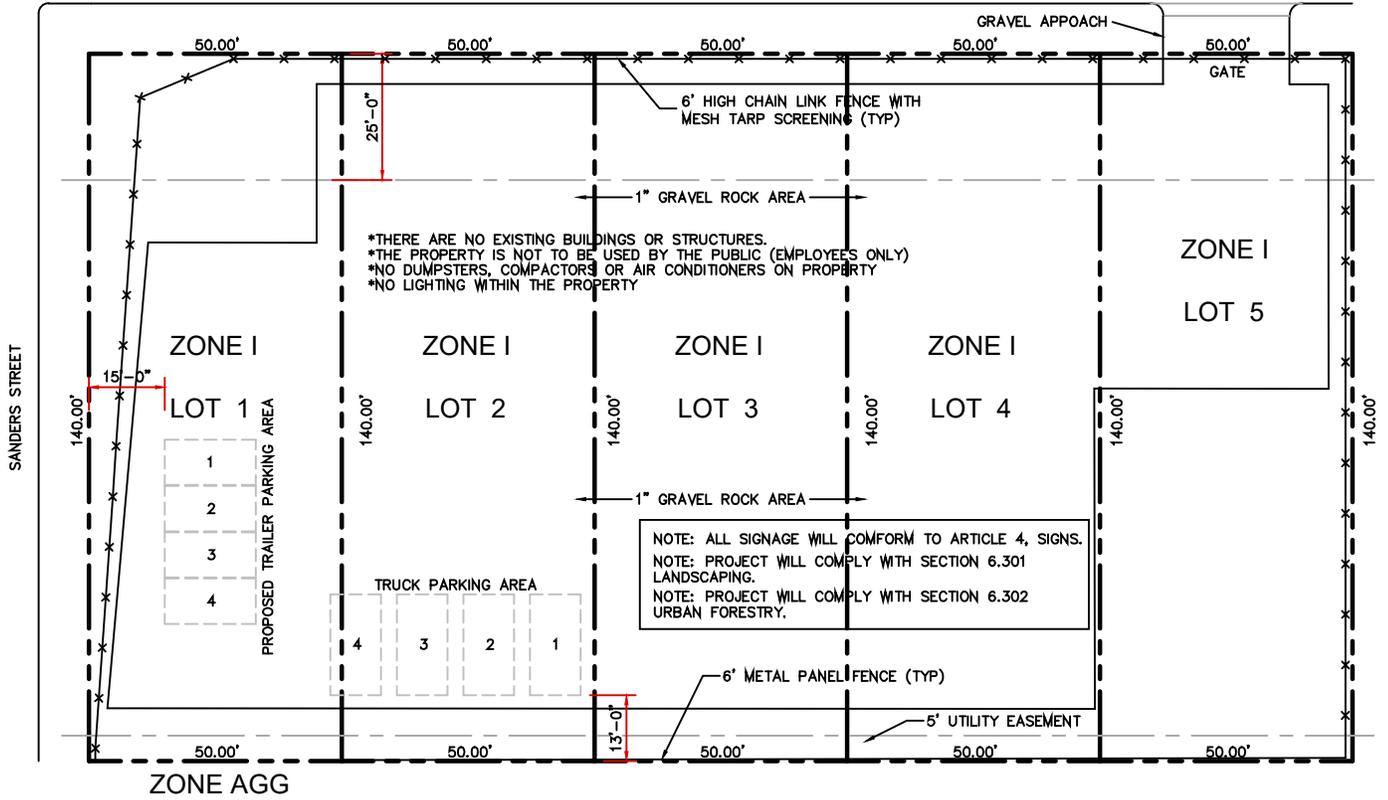


ZC-22-045

Area Zoning Map

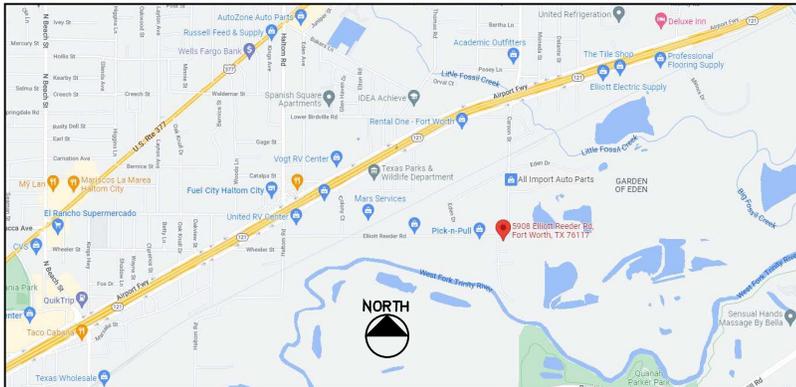
Applicant: Ruben Garcia
 Address: 5900 - 5915 (evens) Elliott Reeder Road
 Zoning From: I
 Zoning To: Add Conditional Use Permit for outdoor storage of 4 construction vehicles
 Acres: 0.66017392
 Mapsco: 65J
 Sector/District: Eastside
 Commission Date: 9/14/2022
 Contact: 817-392-6329



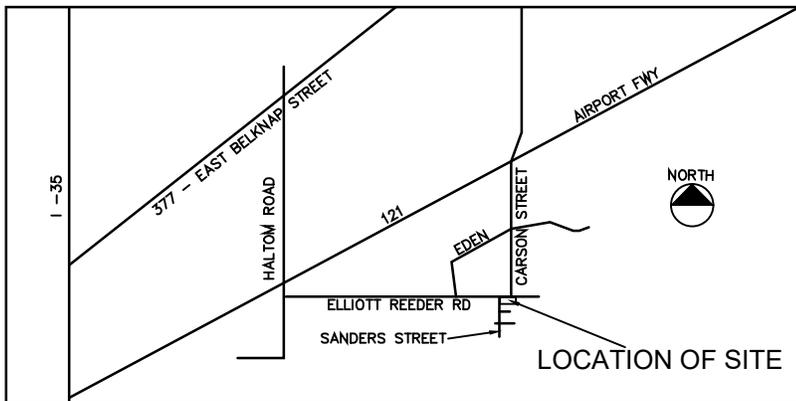


SITE PLAN
1" = 20'-0"

LOTS 1 THRU 5 BLOCK 1
JOE LOUIS ADDITION
FORT WORTH, TEXAS



ZC-22-045 CONDITIONAL USE PERMIT
DIRECTOR OF DEVELOPMENT SERVICES

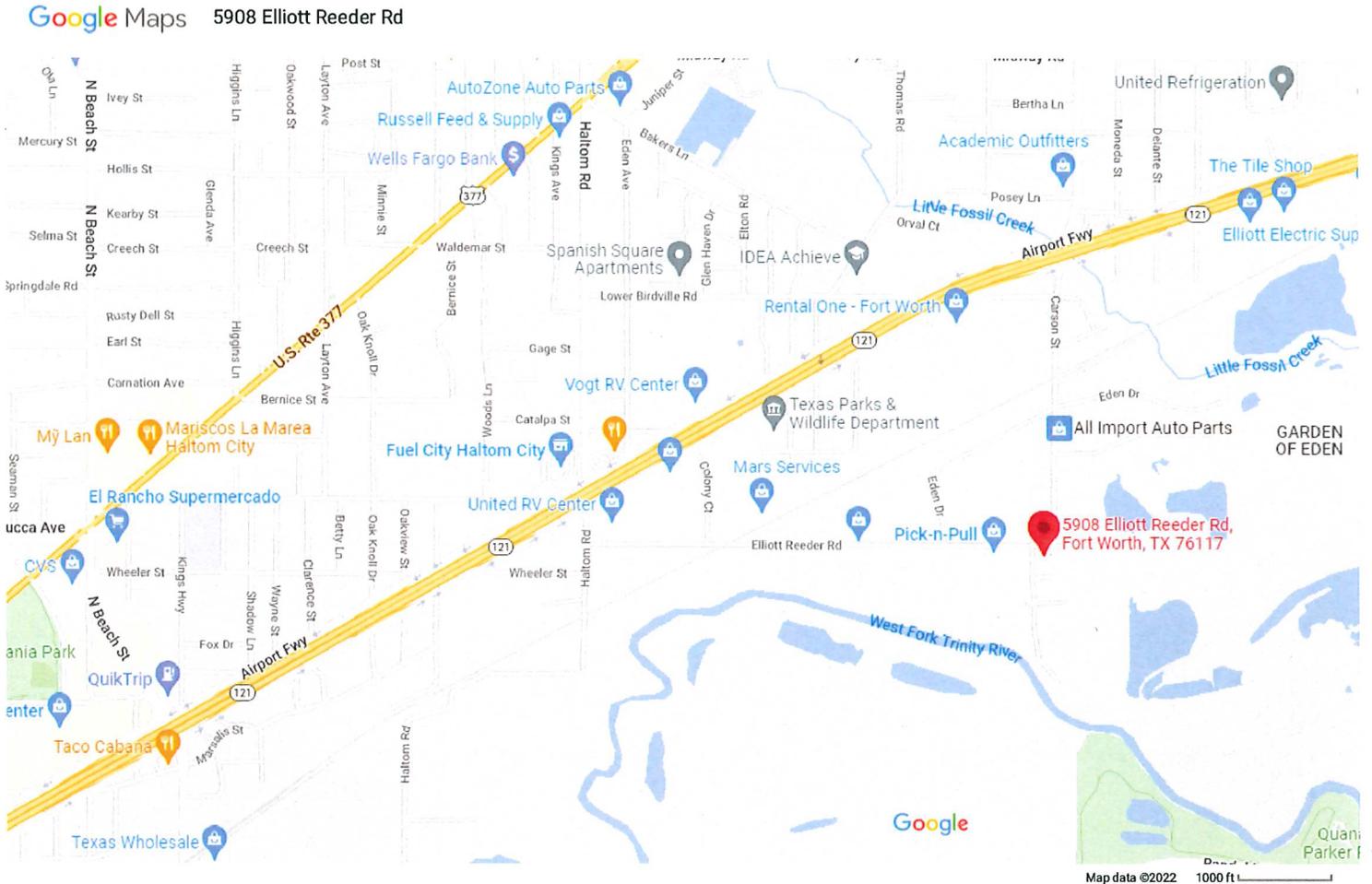


SIGNATURE _____

DATE _____

SITE NAME : LEGENDS CONCRETE PUMPING
REVISED JULY 15, 2022
OWNERS : RUBEN AND MICHAEL GARCIA

REVISION PREPARED BY RAYMOND ARRIAGA
3520 CLINTON AVE FORT WORTH, TEXAS 76106
817 721-1150 - RARRIA2016@GMAIL.COM



ZC-22-045 CONDITIONAL USE PERMIT

PROJECT TITLE : LEGENDS CONCRETE PUMPING

DIRECTOR OF DEVELOPMENT SERVICES

SIGNATURE _____

DATE _____

5908 Elliott Reeder Rd

-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

 5908 Elliott Reeder Rd, Fort Worth, TX 76117

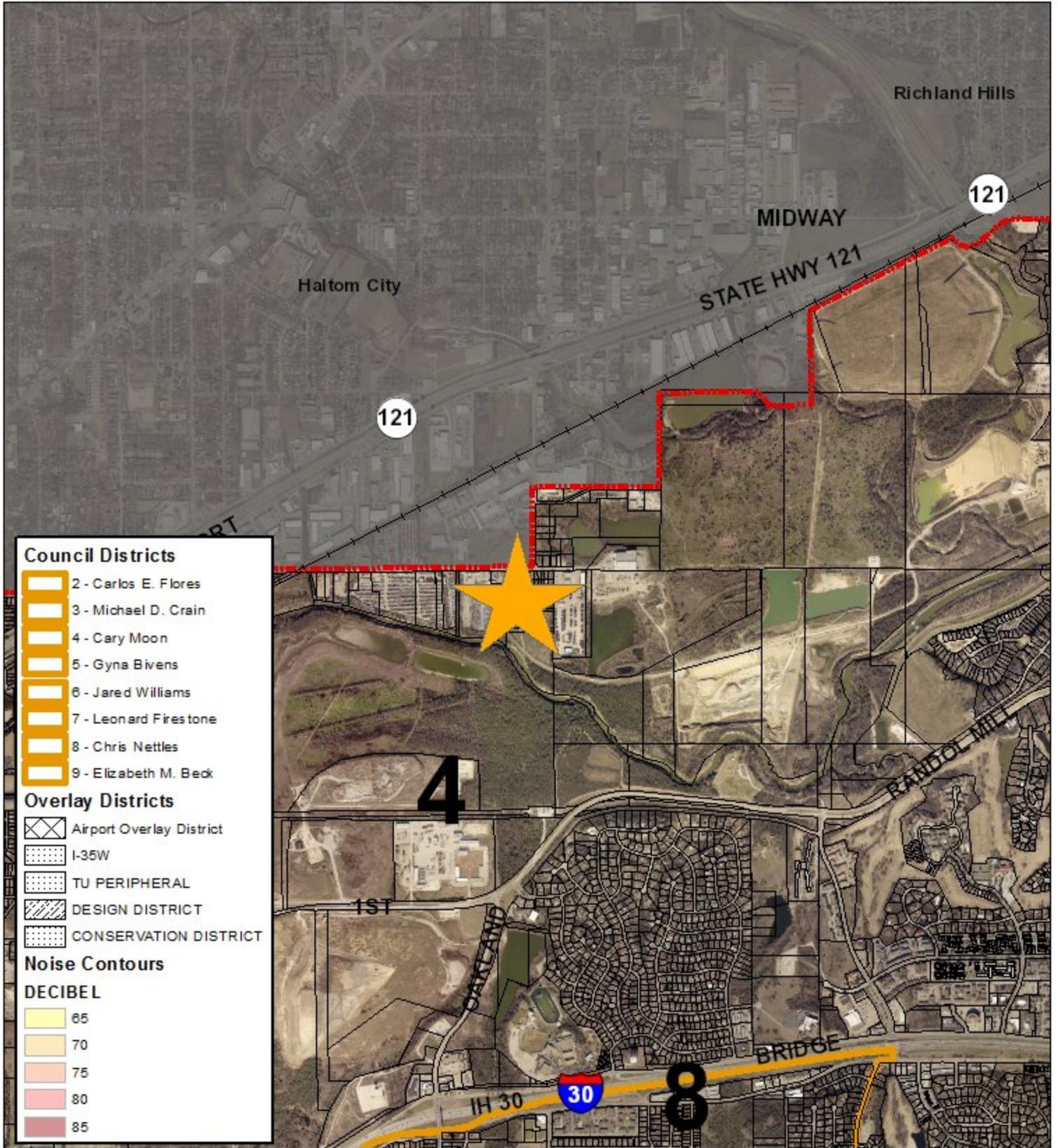
QPJV+34 Fort Worth, Texas

Photos



ZC-22-045

Area Map

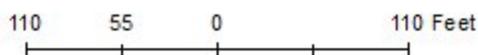
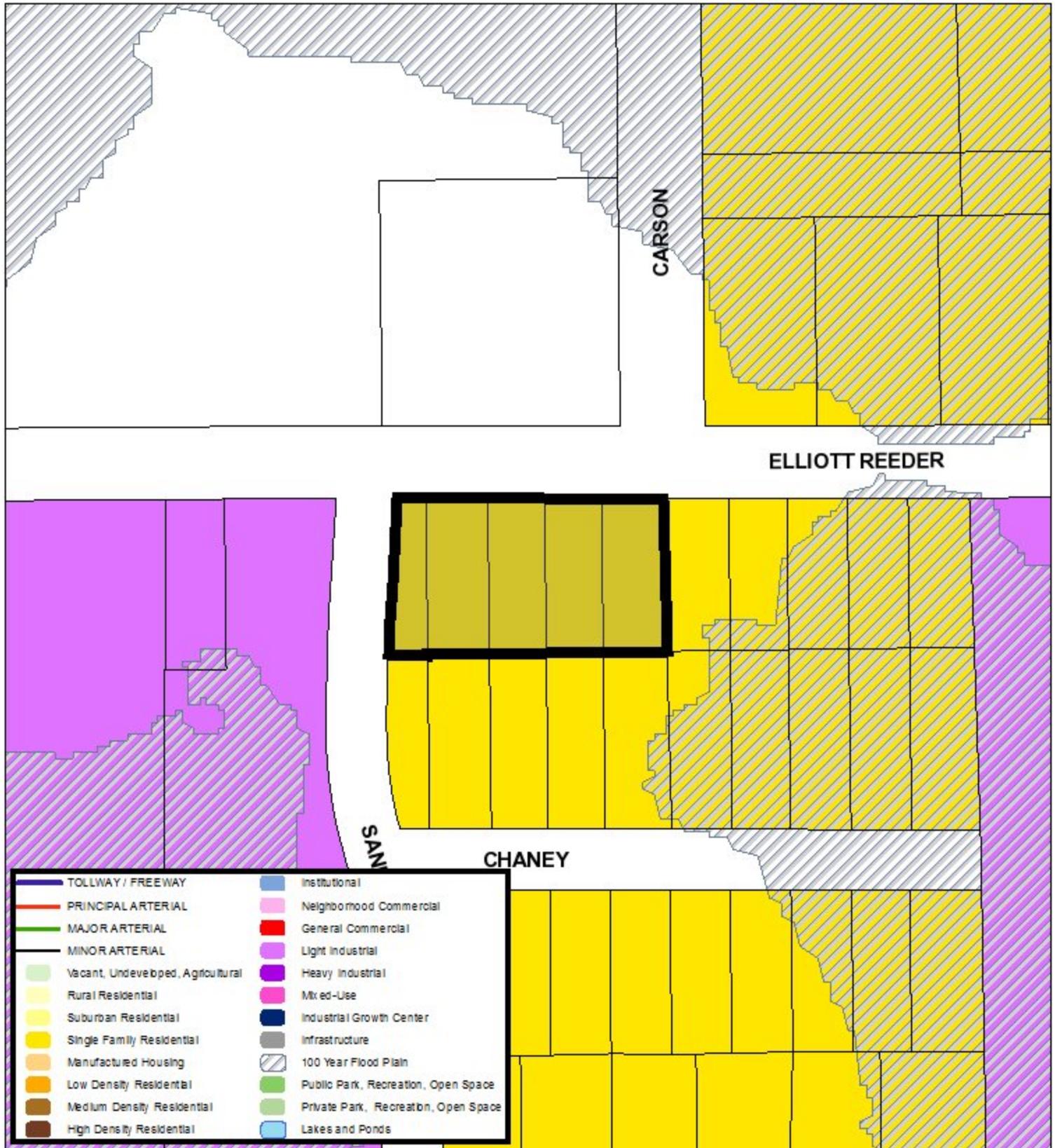


0 1,000 2,000 4,000 Feet



ZC-22-045

Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 70 140 280 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-134

Council District: 8

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Vaquero Binkley Partners, LP (applicant) / Jack Keffler (representative)

Site Location: 2925 E. Berry Street; 2914-2928 Burton Avenue **Acreeage:** 1.17 acres

Request

Proposed Use: Commercial

Request: From: “A-5” One Family Residential

To: “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Denial**

Future Land Use Designation: Future Single Family Residential

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 - b. [Comprehensive Plan Consistency](#)
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6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located in Council District 8, situated on the East Berry Street corridor, opposite Berry Street from the Renaissance Square shopping center. The site is just over an acre and is comprised of seven undeveloped single-family residential lots. The applicant is requesting to rezone from “A-5” One Family Residential to “E” Neighborhood Commercial. The application lists “new commercial development”, and does not identify a specific business or land use that would occupy the site. As a result, the application is more speculative in nature since no end-user is contemplated at this point.

Surrounding Zoning and Land Uses

North “A-5” One Family Residential / residential

East “E” Neighborhood Commercial / drive-thru restaurant

South “PD-720” Planned Development–Neighborhood Commercial / drive thru-restaurants & auto parts retailer

West “A-5” One Family Residential / residential

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.

The following organizations were emailed on August 26, 2022:

Organizations Notified	
The New Mitchell Boulevard NA*	East Fort Worth, Inc
Trinity Habitat for Humanity	Streams and Valleys Inc
Southeast Fort Worth Inc	Fort Worth ISD
United Communities Assn. of S. Fort Worth	Eastland NA

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

Property to the north and west of the subject site is an established single family zoned residential neighborhood. Property to the east is commercially zoned and features a fast food restaurant with a drive-thru. Note that this commercial property is on a corner lot, whereas the subject property is not on a corner. Property to the south is zoned PD-E and is home to the Renaissance Square shopping center, featuring a mix of national and local tenants.

Another consideration to account for when evaluating this rezoning request would be community desires. As of the finalization of this staff report (September 9th), we have not received any returned courtesy notices, legal notices from owners within 300 feet of the subject property, or any other feedback on whether or not the neighborhood is receptive to this rezoning request. If there is a desire for more neighborhood serving commercial areas to accommodate retail and office space, then the request should be considered for approval. However, if the community is opposed to commercial activity in this specific location, then that should be weighed accordingly in any decision.

The proposed zoning **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as future Single Family Residential. Appropriate zoning classifications for this area include “A-10”, “A-7.5”, “A-5”, or “AR” single family residential zones. The proposed rezoning conflicts with two of the stated sector land use policies that are specifically applied to the Southeast planning area.

SOUTHEAST SECTOR FUTURE LAND USE

Sector Land Use Policies

10. Protect residential areas from commercial encroachment adjacent to Mansfield Highway, Wilbarger Street, East Berry Street, and East Rosedale Street.
13. Stimulate the redevelopment of the East Rosedale, East Berry Street, Miller Avenue, and Mansfield Highway commercial districts.

Per policy number 10 cited above, the City should endeavor to protect residential areas from commercial encroachment. If this zoning change is approved, it has the potential to create a ‘domino effect’, allowing more commercial development to intrude further into an established residential area. Additionally, according to policy number 13, the Comprehensive Plan encourages redevelopment of existing commercial districts, including along East Berry Street. Focus should be placed on directing commercial ventures to areas along the East Berry corridor that are already zoned and/or developed for commercial uses, rather than converting residential land to commercial.

The current zoning of “A-5” is consistent with the Comprehensive Plan’s future land use designation. The proposed zoning of “E” **is not consistent** with the Comprehensive Plan. If the rezoning request is approved, City staff recommends that the Comprehensive Plan be updated to reflect this change.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential. The most recent update to the plan was approved by the City Council in January

2022. Two of the economic development strategies included in this update would support denial of the rezoning request. These strategies, listed below, suggest that commercial activity should be directed towards adaptive reuse of existing commercial structures where feasible, and also that commercial development should first occur in existing designated commercial districts, before converting existing residential zones into commercial zones.

- *Encourage renovation and reuse of existing commercial structures throughout commercial districts, where feasible.*
- *Use appropriate incentives to promote development of vacant land and redevelopment or reuse of deteriorated properties within designated commercial districts.*



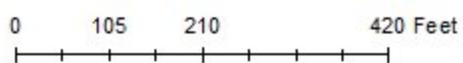


Area Zoning Map

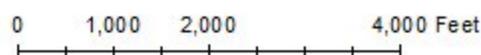
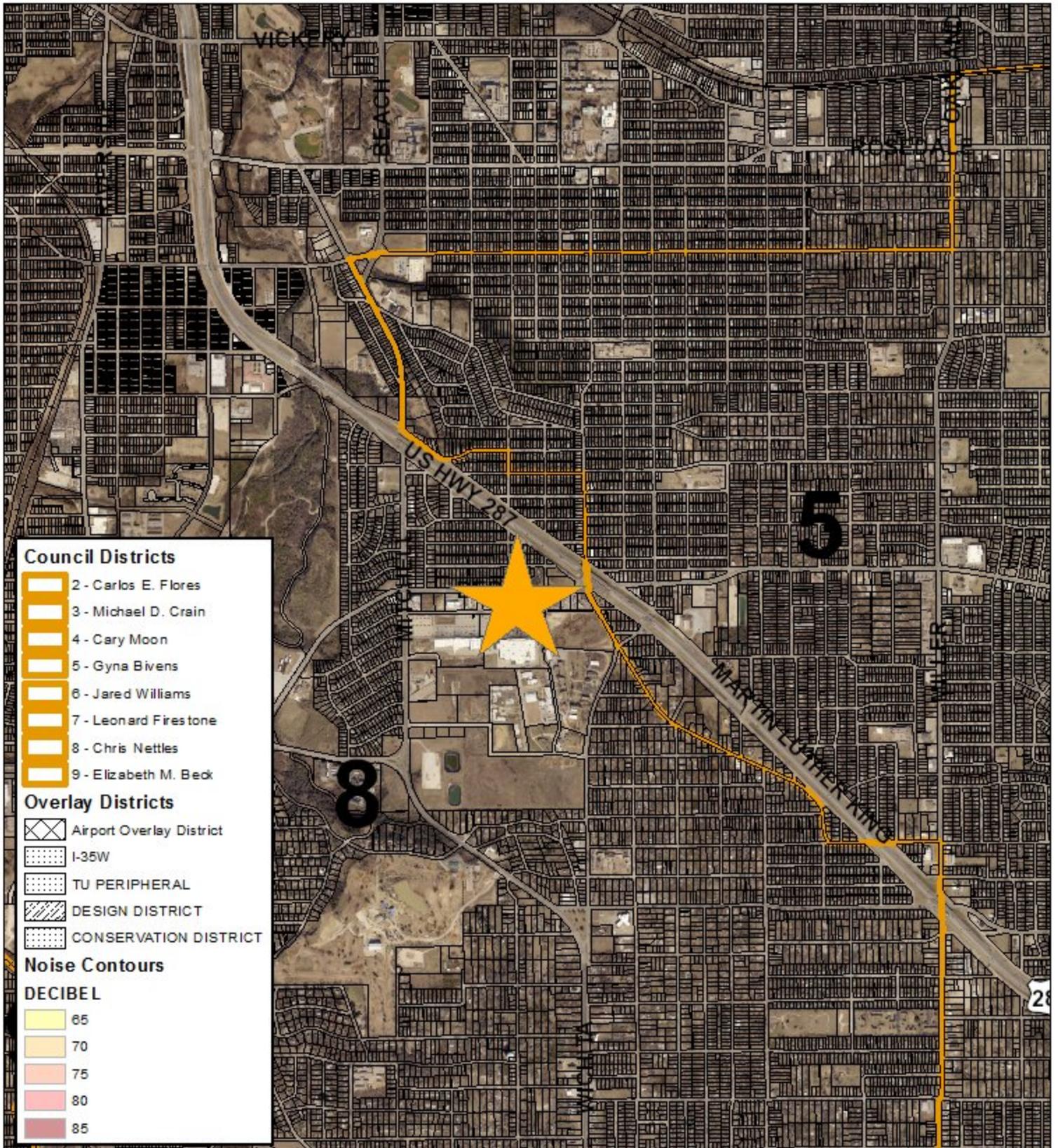
Applicant: Vaquero Binkley Partners, LP
 Address: 2925 E. Berry St.; 2914-2928 Burton Avenue
 Zoning From: A-5
 Zoning To: "E" Neighborhood Commercial
 Acres: 1.16396119
 Mapsco: 78T
 Sector/District: Southwest
 Commission Date: 9/14/2022
 Contact: 817-392-8043



 Subject Area
 300 Foot Notification



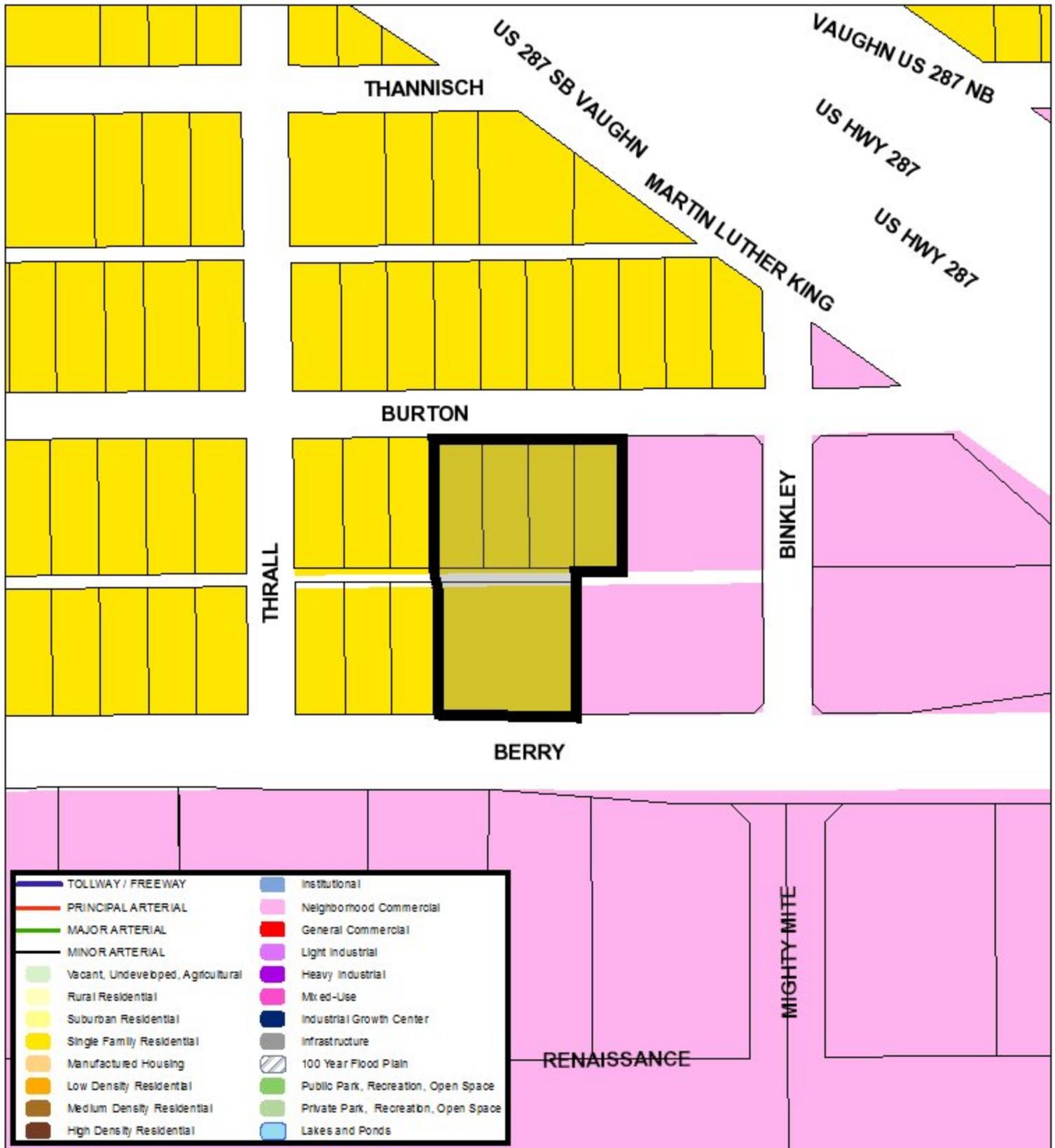
Area Map



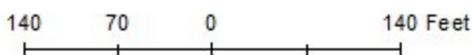


ZC-22-134

Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



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Aerial Photo Map



0 90 180 360 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-136

Council District: 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: SAI E & E Enterprises, Bashu Katel

Site Location: 3700 Ada Avenue

Acreage: 0.35 acres

Request

Proposed Use: Retail / General

Request: From: “ER” Neighborhood Commercial Restricted

To: “E” Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is not compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Denial**

Future Land Use Designation: Future Neighborhood Commercial

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Staff correspondence w/ Applicant–No response
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject site is located on the corner of Ada Avenue and South Ayers Avenue in Council District 5. The property is just over 1/3 of an acre, and is situated in the middle of a residential area, six blocks from the nearest north-south commercial corridor (Miller Avenue). The applicant is proposing to rezone from “ER” Neighborhood Commercial Restricted to “E” Neighborhood Commercial. There is an existing building on the property. Within the building, a food mart occupies one end, with vacant storefronts comprising the remainder of the building.

For reference, select uses not allowed in “ER” but allowed in “E” include: Bakery, Dance studio, Furniture sales, Gasoline sales, Laundromat, Mortuary/Funeral home, Retail sales, Taxidermist shop. In addition, another major distinction between “ER” zoning and “E” zoning is the ability to have alcohol sales for off premise consumption, including Liquor/Package stores. Currently, alcohol sales would not be permitted here under the “ER” zoning.

After being contacted by City staff on two separate occasions (August 16th and August 29th), the applicant did not clarify their intentions for the site or provide an update on community outreach efforts. We have attached the correspondence as an attachment to this staff report. Without additional details or community support for the rezoning, staff is not comfortable moving forward with this application as presented and is recommending denial.

Surrounding Zoning and Land Uses

North “A-5” One-Family Residential / residential
East “A-5” One-Family Residential / residential
South “A-5” One-Family Residential / residential
West “A-5” One-Family Residential / residential

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were emailed on August 26, 2022:

Organizations Notified	
Stop 6/Poly Oversight*	East Fort Worth, Inc
Trinity Habitat for Humanity	Streams & Valleys Inc
Southeast Fort Worth Inc	Fort Worth ISD
Eastland NA	

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The current zoning of “ER” is ideal for neighborhood supporting small commercial type enterprises. A more intensive use, such as retail would not be appropriate for such a small property that is surrounded by residential areas (and residential zoning) on all four sides. The allowance for on-premise alcohol sales that comes with “E” zoning would also not be appropriate for this specific location.

Another consideration to account for when evaluating this rezoning request would be what the community desires. As of the writing of this staff report, we have not received any returned courtesy notices, legal notices from owners within 300 feet of the subject property, or any other feedback on whether or not the neighborhood is receptive or opposed to this rezoning request.

Based on the lack of dialogue and absence of supporting details, the proposed zoning **is not compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as future Neighborhood Commercial.

FUTURE LAND USE	DEFINITION	ZONING
COMMERCIAL		
Neighborhood Commercial	Retail, services, offices and mixed uses serving daily needs for a local market area	Multifamily Residential, ER, E, MU-1

Since “E” is listed under appropriate zoning districts within areas designated as neighborhood commercial by the Comprehensive Plan, the proposed zoning **is consistent** with the Comprehensive Plan. However, in the context of this situation, staff is still recommending denial based on the lack of supporting details for this proposed rezoning.

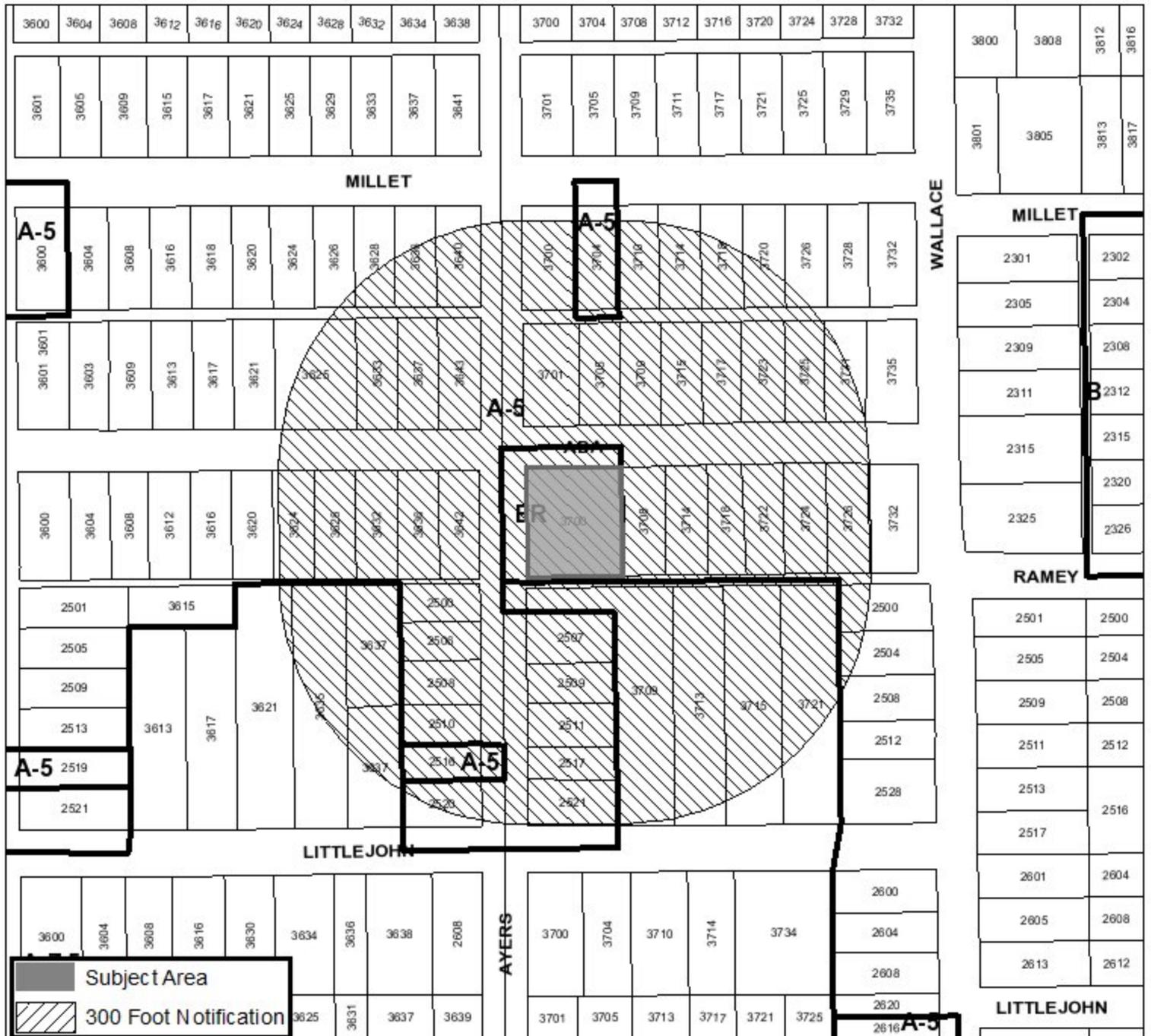
Economic Development Plan

The site is not directly addressed in the 2017 Economic Development Strategic Plan, and none of the stated economic development strategies support rezoning of this property to “E” from “ER”. Both zoning designations are commercial.

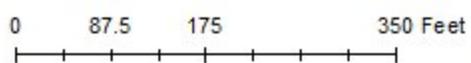


Area Zoning Map

Applicant: SAI E & E Properties Inc.
 Address: 3700 Ada Avenue
 Zoning From: ER
 Zoning To: E
 Acres: 0.35151745
 Mapsco: 78Q
 Sector/District: Southeast
 Commission Date: 9/14/2022
 Contact: 817-392-8043



Subject Area
 300 Foot Notification



From: [Mangum, Brett](#)
To: ["Bashu kate!"](#)
Cc: dcompanygmt@gmail.com
Subject: RE: COFW ZC-22-136, 3700 Ada Avenue
Date: Monday, August 29, 2022 8:15:00 AM
Attachments: [ZC-22-136.pdf](#)

Hello,

Your upcoming case ZC-22-136 will be going before the Fort Worth Zoning Commission on Wednesday, September 14th. We are planning to hold a hybrid meeting with the option to participate in-person at City Hall, or remotely via WebEx. You can register as a speaker using the following [link](#). We are asking everyone to register via the WebEx link regardless if you are participating in-person at City Hall or remotely through WebEx. Please be sure to register by 5:00 p.m. on Tuesday, September 13th. Late registrations will not be accepted. If you wish to speak on multiple cases, please put the information for all of those cases in the registration form as you cannot submit multiple registration forms. All cases you wish to speak on should be listed when you register. The public hearing portion of the meeting begins at 1:00 p.m. on Wednesday, September 14th in the City Council chambers on the second floor of 200 Texas Street.

The courtesy notice (attached) was sent to registered neighborhood organizations and alliances within ½-mile of your site on August 26th. Notices will also be mailed to property owners within 300 feet of your site.

If you have a short presentation to give during the meeting send it to me no later than Tuesday, September 13th. Presentations are not required but if you choose to speak, keep in mind there is a time limit of 3 minutes. In any case, please have a representative with knowledge of your case available at the Zoning Commission meeting to answer any questions that may arise. There is a possibility that the Zoning Commission could recommend denial on an item for failure to appear.

Also, I did want to point out that we did not receive any input from you regarding the two questions listed on the initial email. I have [highlighted the questions below in green](#), and want to give you another opportunity to provide that information.

Thank you,

Brett Mangum, AICP
Senior Planner, City of Fort Worth
Development Services – Zoning
200 Texas St. Fort Worth, TX 76102

City of Fort Worth – Working together to build a strong community



From: Bashu katel <katelbashu@gmail.com>
Sent: Thursday, August 18, 2022 2:20 PM
To: Mangum, Brett <Brett.Mangum@fortworthtexas.gov>
Cc: dcompanymgmt@gmail.com
Subject: Re: COFW ZC-22-136, 3700 Ada Avenue

CAUTION: This email originated from outside of the City of Fort Worth email system. Do not click any links or open attachments unless you recognize the sender and know the content is safe.

Thank you for the information. Waiting for the email
Thanks

On Tue, Aug 16, 2022 at 4:36 PM Mangum, Brett <Brett.Mangum@fortworthtexas.gov> wrote:

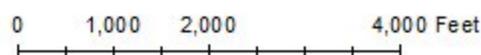
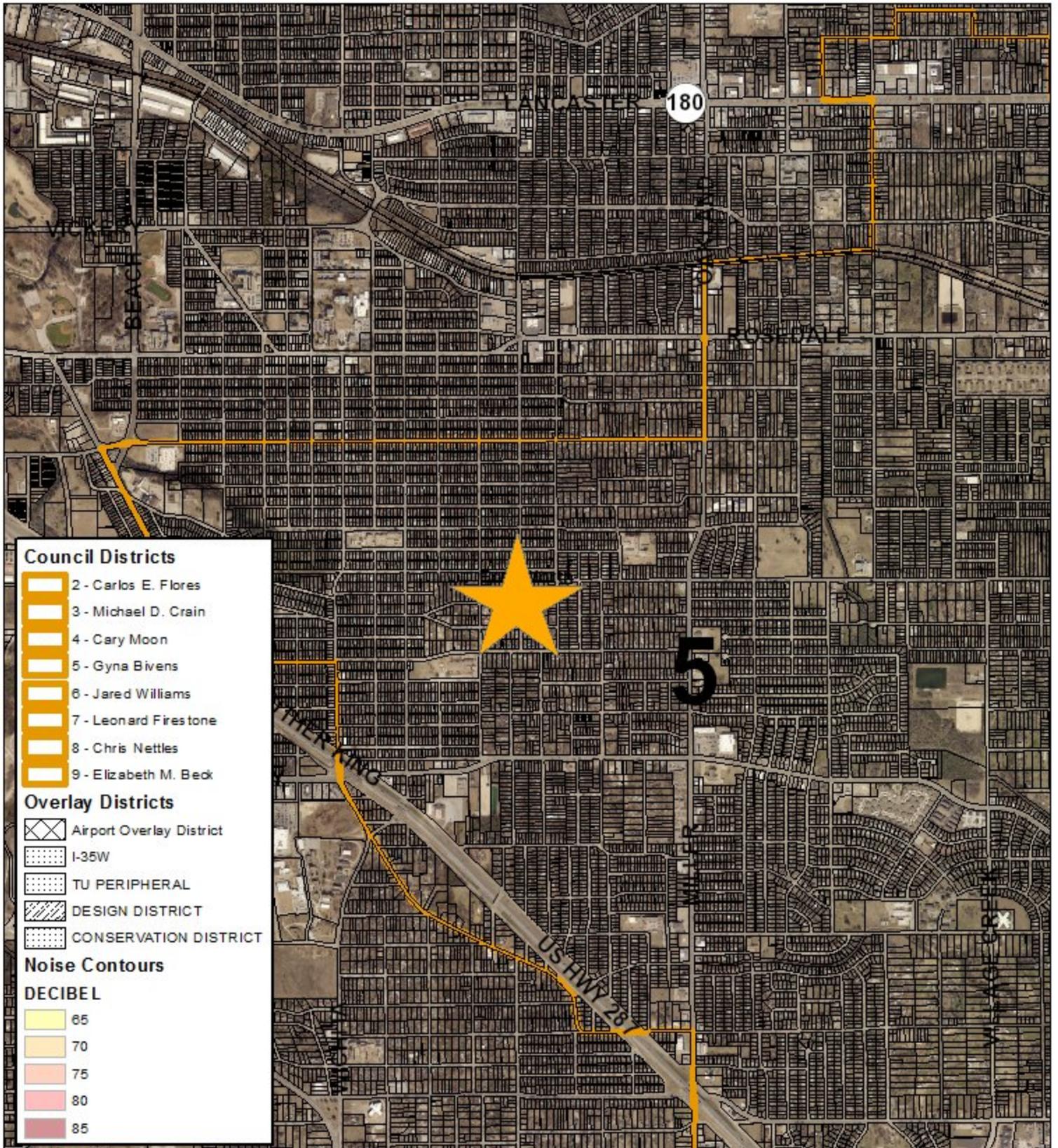
Hello,

I am the case manager for your upcoming rezoning request ZC-22-136 going before the Fort Worth Zoning Commission on Wednesday, September 14th, 2022. After reviewing the application documents, I did have a few points that you could help clarify.

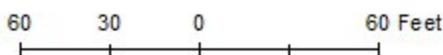
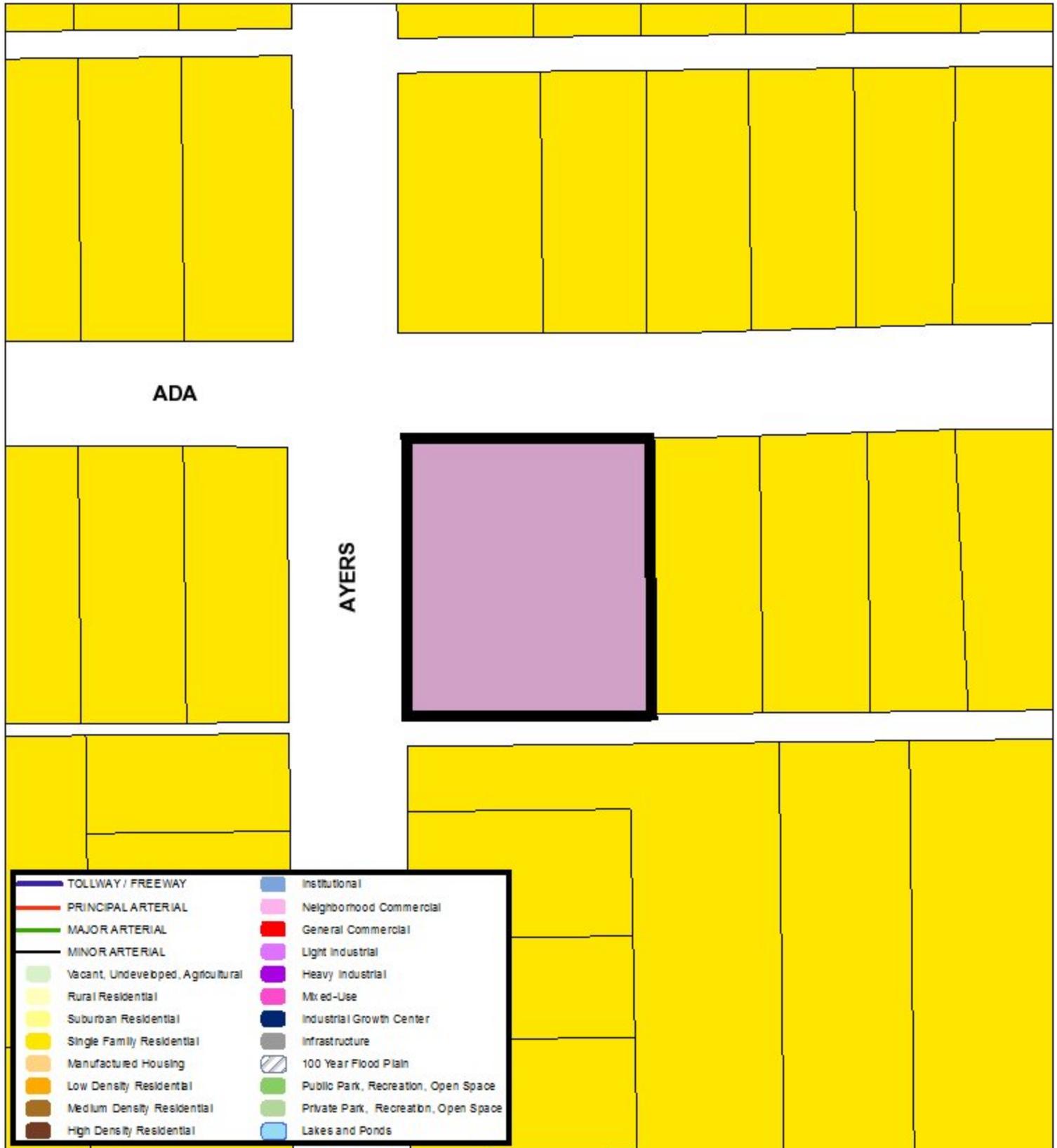
- **What is the proposed land use/intended business associated with this rezoning request? The phrase "retail/general" cited on the application is vague.**
- **I also wanted to see if you've done any outreach yet, and to see if you have received any feedback in regards to your development proposal?** We encourage those seeking a zoning change to meet with the following groups as early as possible to present your plans, have a back and forth dialogue, and try and build support for your rezoning request:
 1. *City Council member – [District 5, Gyna Bivens](#)*
 2. *Any Neighborhood Organizations within ½ mile of your site, the closest are [Stop Six / Poly Oversight](#) and [Eastland NA](#).*
 3. *Property owners directly adjacent to your site within 300 feet.*

I will send a separate email soon with details on how to sign up to speak at the Zoning Commission meeting, as well as sharing the courtesy notices that are sent to all neighborhood organizations within ½ mile of your site. In the meantime, please let me know the answers to these questions by the end of this week as we are starting work on staff reports for the Zoning Commission. Please provide any additional supporting information or details that may not have been included in your application. Also, if you have any letters of support at this point, please forward those to me as community input and feedback are going to be essential to advancing this rezoning request.

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 40 80 160 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-21-137

Council District: 5

Conditional Use Permit

Case Manager: [Stephen Murray](#)

Owner / Applicant: Bassam Ramadam

Site Location: 6101-6125 (odds) Willard Road

Acreage: 2.07 acres

Request

Proposed Use: Auto Repair and Sales

Request: To: Add Conditional Use Permit for auto repair and sales in “E” Neighborhood Commercial, site plan included

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval (three (3) year time limit)**

Future Land Use Designation: Future Neighborhood Commercial

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10. Site Plan w/ fence detail

Project Description and Background

The nature of this request is to add a CUP [Conditional Use Permit] Overlay to allow the auto repair and sales use on the subject property, which consists of approximately two (2) acres located at the tract of land generally bounded by Willard Rd and East Loop 820 South service road. The property is currently zoned “E” Neighborhood Commercial, and this request does not seek to change the base zoning. All CUP applications have a Site Plan requirement, and the applicant has provided a Site Plan along with the submittal documents. Upon review by City staff, the Site Plan (attached to this staff report) appears to contain all required Site Plan elements.

Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their proposed location, design and configuration, and the imposition of conditions in order to ensure the appropriateness of the use at a particular location. Allowing a use by Conditional Use Permit [CUP] with a site plan may help mitigate any neighborhood concerns, as well as give options for the CUP to be revoked in the event of code violation convictions.

Surrounding zoning is predominately “E” Neighborhood Commercial with vacant “UR” Urban Residential to the east. The site contains four (4) existing buildings. The applicant does not attend to add structures the site. The main purpose of this rezoning is to allow auto repair and sales by right.

The proposed site was rezoned by Council in 2017 in order to lessen the intensity of the zoning in the area. It went from “F” General Commercial to “E” Neighborhood Commercial thus removing automotive uses by right. The applicant currently has grandfathering status for the existing automotive uses, however, the proposed CUP would allow flexibility moving forward. Staff supports the proposal with a three (3) year time limit. This would enable Council to check back with the property to ensure ordinances are being followed.

Surrounding Zoning and Land Uses

North “E” Neighborhood Commercial; “A-5” One-Family / commercial, single-family
East “UR” Urban Residential / vacant
South “E” Neighborhood Commercial / gas well
West “E” Neighborhood Commercial / East Loop 820 South

Recent Zoning History

- ZC-17-097; Council Initiated rezoning from “F” General Commercial to “E” Neighborhood Commercial, subject property

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were emailed on August 26, 2022:

Organizations Notified	
Parkside NA	Historic Rosedale Park NA
Historic Carver Heights NA*	East Fort Worth, Inc.
Streams and Valleys Inc	Trinity Habitat for Humanity
Southeast Fort Worth Inc	Fort Worth ISD

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to add a Conditional Use Permit for auto repair and sales in “E” Neighborhood Commercial, site plan included. Surrounding users vary with commercial and single-family to the north, East Loop 829 to the west, gas well to the south and vacant land to the east.

This application does not appear to have any waivers to the “E” General Commercial zoning standards. The proposed zoning (conditional use permit for automotive repair and sales) **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The adopted Comprehensive Plan currently designates the subject property as Neighborhood Commercial. Neighborhood Commercial is defined as “Retail, services, offices and mixed uses serving occasional needs for a local market area”. The Conditional Use Permit [CUP] request would leave the existing “E” zoning in place, which would align with the Future Land Use designation. A CUP is more appropriate in this instance than changing the zoning to general commercial to allow the automotive uses. General commercial zoning would not be in alignment with the Comprehensive Plan.

The proposed zoning **is consistent** with the Comprehensive Plan.

Economic Development Plan

The adopted Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential.

One of the specific outcomes stated within the Economic Development Plan is “A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment”. The conversion of this property from an undeveloped area to a regional commercial enterprise allows for the continued diversification of the tax base and provides additional development near Loop 820.

Site Plan Comments

Zoning and Land Use

The site plan is in general compliance with zoning regulations.

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

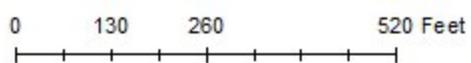


Area Zoning Map

Applicant: Bassam Ramadam
 Address: 6101- 6125 (odds) Willard Road
 Zoning From: E
 Zoning To: Add Conditional Use Permit for auto repair and sales
 Acres: 2.07715623
 Mapsco: 79V
 Sector/District: Southeast
 Commission Date: 9/14/2022
 Contact: 817-392-6329



 Subject Area
 300 Foot Notification



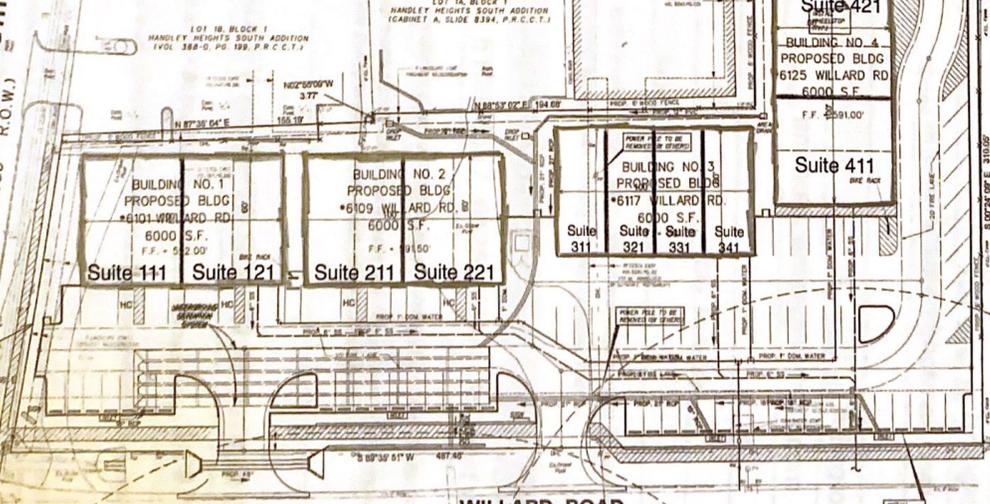
GENERAL NOTES:

1. General notes are contained in these notes and the City of Fort Worth standard contract details, drawings and specifications shall be used and approved otherwise.
2. All materials, equipment, installation in "Standard Specifications for Public Works Construction" as published by the Texas General Land Office.
3. The location of utilities located at these sites are shown from existing public records. The exact location and number of utilities cannot be verified by the Contractor. It is the duty of the Contractor to determine whether any additional utilities other than those shown on these plans may be present prior to large construction. Any change in utility status shall be the Contractor's responsibility and shall be the Contractor's risk to the owner.
4. Contractors shall coordinate to obtain necessary permits with the City of Fort Worth prior to large construction.
5. Contractors shall notify their clients, owner, the City of Fort Worth and other relevant agencies for all work on or near any utility lines.
6. Contractors shall coordinate for maintaining street entry requirements in accordance with City Standards. Street Signs and S.T.A.S. Displays for identification in areas of low traffic.
7. Show existing and proposed reference marks, right-of-way, site acquisition and landscape. Existing marks performed as recommended by the geotechnical report for Terminal Project No. 238222, dated April 20, 2018.
8. Contractors shall coordinate with the City of Fort Worth for all utility work, gas, water, sewer, etc.
9. All construction shall be done in accordance with the International Fire Code for fire alarm control.
10. Concrete for pavement shall be a minimum 28 day compressive strength of 3000 psi.
11. Refer to architectural plans for brick pavers, masonry and wall finishes.
12. Contractor shall coordinate with the City of Fort Worth for all utility work, gas, water, sewer, etc.
13. Utility lines and structures shall be marked per utility for Current Engineering Solutions LLC and Current Call Operation System, as approved.



EAST LOOP 820 SOUTH
(350' R.O.W.)

R-3039.79
L-146.13
CH-148.12
CH B = N 08°56' 30" E



BUILDING NO. 1
PROPOSED BLDG
6101 WILLARD RD.
6000 S.F.
Suite 111 Suite 121

BUILDING NO. 2
PROPOSED BLDG
6109 WILLARD RD.
6000 S.F.
Suite 211 Suite 221

BUILDING NO. 3
PROPOSED BLDG
6117 WILLARD RD.
6000 S.F.
Suite 311 Suite 321 Suite 331 Suite 341

Suite 421
BUILDING NO. 4
PROPOSED BLDG
6125 WILLARD RD.
6000 S.F.
Suite 411

LOT 2A, BLOCK 1
HANDLEY HEIGHTS SOUTH ADDITION
FVOL. 288-28, PG. 633, P.R.C.C.T.1

LEGEND:
[Symbol] 2" DIA. METEORIC CONC. TYPICAL
[Symbol] 10" X 12" DIA. 8" DIA. CONC.

WILLARD ROAD
(60' R.O.W.)

ZONED "F"
(GENERAL COMMERCIAL RETAIL DISTRICT)

PARKING TABLE

REGULAR PARKING	= 90
HANDICAP PARKING	= 4
TOTAL PARKING	= 94

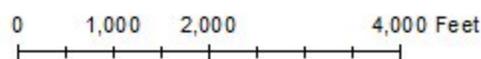
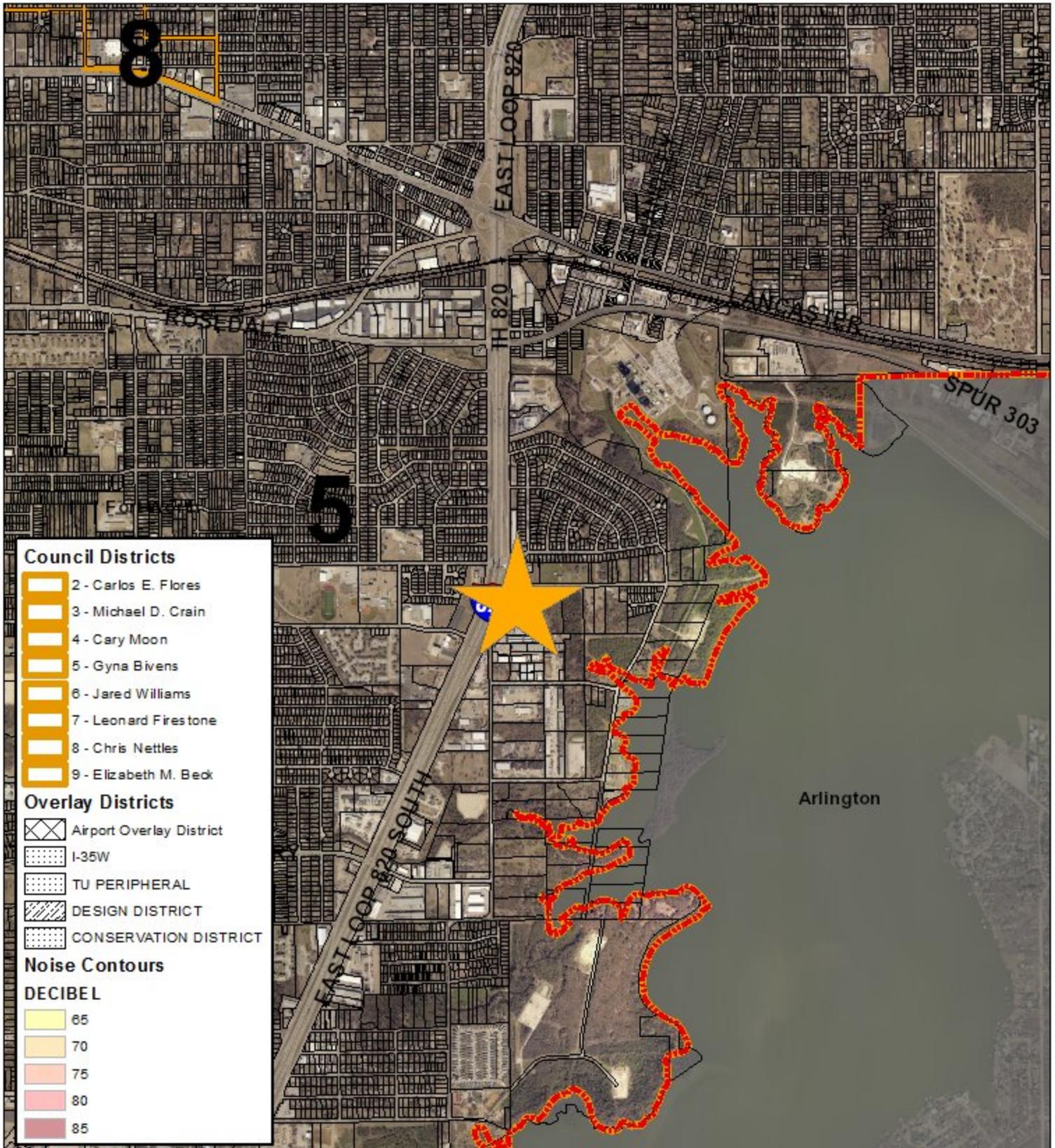


REVISIONS: AUGUST 05, 2018 - BUILDING NO. 4 DRIVEWAY RELOCATED
REVISED MAY 1, 2018 - NEW SITE PLAN

LLM
L&M ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
NO. 14886 - STATE OF TEXAS

SITE PLAN					
6117 WILLARD ROAD					
LOT 1A, BLOCK 1					
HANDLEY HEIGHTS SOUTH ADDITION					
CITY OF FORT WORTH, TEXAS					
DESIGN	DRAWN	CHECKED	DATE	SCALE	FILE NO.
LLM	LLM	LLM	09/13/2018	1"=50'	014

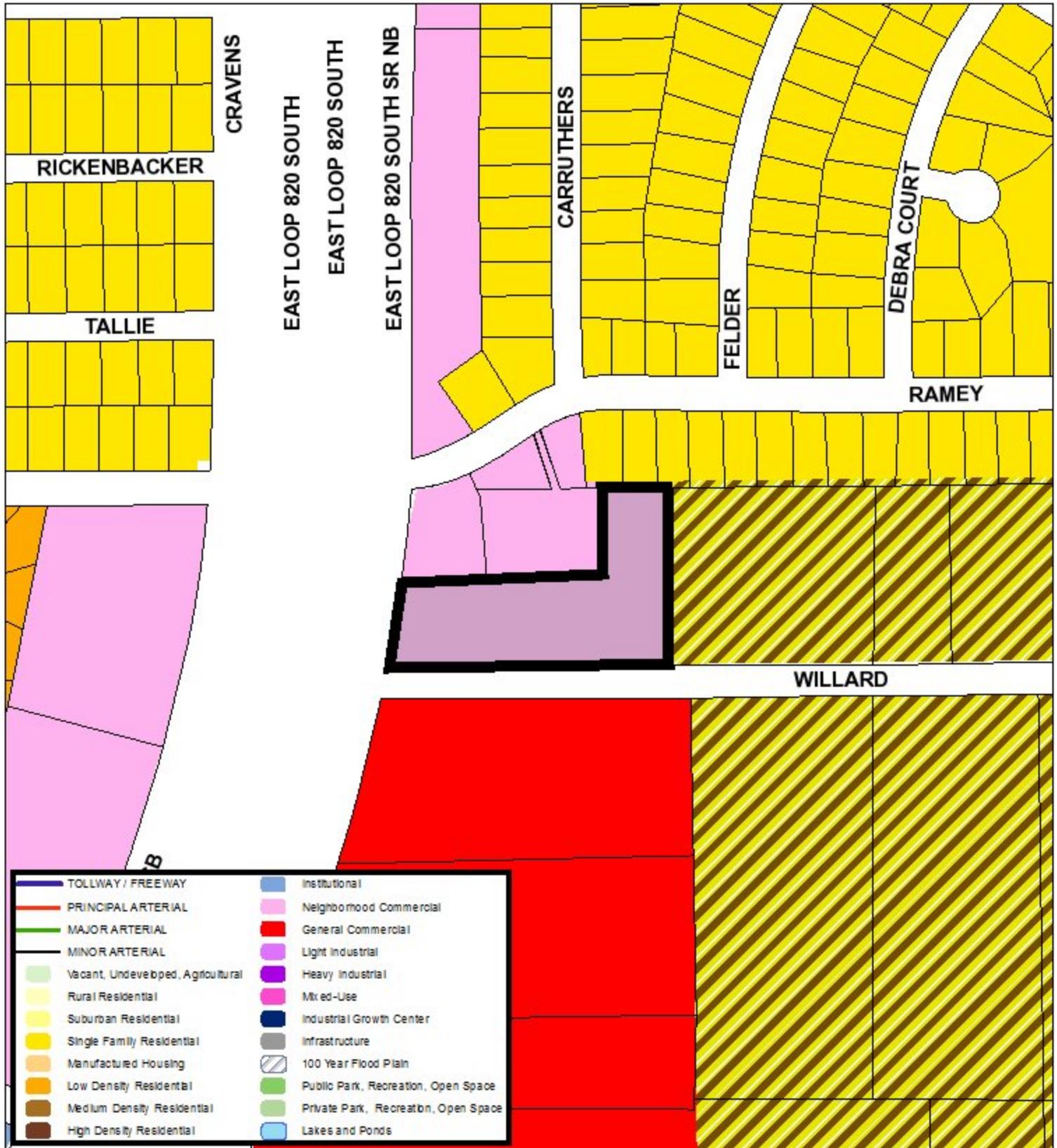
Area Map





ZC-22-137

Future Land Use



230 115 0 230 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Created: 5/15/2022 10:20:22 AM

Aerial Photo Map



0 145 290 580 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-138

Council District: 2

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Krista Blanton-Gursky / Ryan Blanton

Site Location: 3700 North Grove St.

Acreage: 8 acres

Request

Proposed Use: Truck /trailer parking & Community gardens

Request: To: Add Conditional Use Permit (CUP) to allow semi-truck and trailer parking in “I” Light Industrial; site plan included with development waiver for hard surface parking requirement, site plan included.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Light Industrial

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7. Site Plan
8. Area Map
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10. Aerial Photograph

Project Description and Background

The subject property is located at 3700 N. Grove St. It was zoned K before the City filed for rezoning and offered it for sale as surplus property. The current owners purchased the property at a tax auction, and the City completed a cleanup/ remediation of the property shortly after the applicant purchased the property.

The applicants first applied to add the Conditional Use Permit to allow semi-truck and trailer parking back in 2019 but withdrew the application to address some of the neighborhood concerns, including the request to fence the property's perimeter adjacent to the residential areas.

After raising the necessary funds for the fencing, they are now applying to add a conditional use permit to allow truck and trailer parking on a portion of the property and use the rest for community gardens, with the goal of having the entire block full of community gardens, fruit orchards, and edible landscaping.

Here's an excerpt of an email from the applicant:

The ultimate goal for the approximately ~7.9 acres block is to have the entire block be full of community gardens, fruit orchards, and edible landscaping. Converting the entire acreage from raw land to fully landscaped land will take many years and a substantial amount of funds to develop its full potential.

To help provide funds for the project, we are seeking a conditional use permit to allow truck and trailer parking on a portion of the property. The property currently has a pole barn and two brick building shells. Neither of the buildings have water, electricity, or sewage. The buildings currently are only shells. They do not have windows or doors. The entire lot has been vacant and used for miscellaneous storage for many years.

We have recently added a 6-foot metal fence around the entire perimeter, and we have demolished a building that was on the south side of the property. We are in the process of cleaning up the trash and refuse that has accumulated over the years from the property being vacant and vandalized on many occasions.

We would also like to have permission to gravel the parking area rather than concrete it. This is because the ultimate goal is to convert the entire ~7.9 acres into gardens and orchards. When it comes time to enlarge the growing areas, it will be more difficult and cost prohibitive to remove acres of concrete from the property rather than simply removing gravel.

We feel that this project will fit into the city's comprehensive plan in several ways. For instance, It will improve the aesthetics of the property. It also fits with the blue zone project that encourages healthy eating, gardening, community involvement and outdoor aerobic activity.

Prior to Covid -19 we met with Councilman Flores to discuss the project and he was excited to have this project in his community and in our city. We also met with the Diamond Hill Neighborhood association on multiple occasions. While we had many constituents in favor of our project, the board ultimately voted against the project primarily because we were requesting to not fence the entire ~7.9 acres. Since that time, we were able to raise the funds to fence the entire perimeter of the property.

In summary, we are requesting a conditional use permit for parking trucks and trailers because we do not have an operational building, nor do we have the need for one at this time. In addition, we are requesting to gravel the parking area rather than concrete it to fit with our long-term goal for the property.

Community gardens are allowed in "I" light industrial zonings, while outdoor storage, such as semi-truck parking, is allowed in the industrial districts with a primary building and only permitted vacant lots with a CUP approval.

Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but require individual review of their proposed location, design and configuration, and the imposition of conditions to ensure the appropriateness of the use at a particular location.

While semi-truck and trailer is not permitted on a vacant lot in the “I” zoning district by right, allowing one by CUP with a site plan may help mitigate any neighborhood concerns and give options for the CUP to be revoked in the event of code violation convictions.

The Conditional Use Permit proposal includes a development waiver to allow gravel in the parking instead of concrete.

Through Ordinance 23609 effective March 29, 2019, the Conditional Use Permit allows for an unlimited time period for the operation of a use unless otherwise approved by the City Council. If a time limit is established for a Conditional Use Permit, the renewal of the CUP shall be considered through the public hearing process and approved by the City Council. A CUP shall expire if no permitting action is taken within six months of approval or cease of the use for six months. A CUP may be revoked through the public hearing process if necessary after convictions of one or more code violations.

Per Section 4.407 (a), the following general rules apply to all conditional uses:

- b) Approval of a conditional use permit shall authorize only the particular use or category of related uses for which the conditional use permit is issued.
- c) A conditional use shall not be enlarged, extended or otherwise modified unless approved by the City Council or approved administratively as applicable.
- d) The use of property for the purposes described in a conditional use permit shall not commence until a certificate of occupancy has been issued. A certificate of occupancy shall not be issued until all or approvals which may be required by the Codes and Ordinances of the City, including, but not limited to, a Building Permit, a Certificate of Occupancy and subdivision approval have been satisfied.

Section (d) provides the following Conditional Use Permit factors in consideration of appropriateness of a request:

- a) The proposed use is consistent with the Comprehensive Plan;
- b) The proposed use is compatible with the existing and adjacent uses.
- c) The proposed use meets all supplemental use standards specifically applicable to the use as set forth in Chapter 5;
- d) The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods;
- e) The proposed use is not materially detrimental to the public health, safety, and welfare, or results in material damage or prejudice to other property in the vicinity.

Surrounding Zoning and Land Uses

North “K” Heavy Industrial / Warehouses
East “A-5” One-Family / Single-family residential
South “B” Two-family / Single-family residential
West “K” Heavy Industrial / Warehouse

Recent Zoning History

- ZC-07-039: rezoned to "I" Ordinance 17649 adopted on July 10, 2007 City-initiated rezoning

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were notified: (emailed August 26, 2022)

Organizations Notified	
Diamond Hill Jarvis NAC*	Far Greater Northside Historical NA
Inter-District 2 Alliance	Streams and Valleys Inc
Trinity Habitat for Humanity	Fort Worth ISD

* *This property is located within this registered Neighborhood Organization.*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this site from “I” Light Industrial to add a Conditional Use Permit for semi-truck and trailer parking, site plan included with development waiver for the concrete parking requirement.

Community gardens are allowed in “I” light industrial zonings, while outdoor storage, such as semi-truck parking, is allowed by right in the industrial districts with a primary building and only permitted vacant lots with a CUP approval.

The requirement for “Conditional Use Permit” zoning allows an option for revocation for code violations. The site is surrounded by high intensity industrial uses, to the north and west and by single-family uses to the east and south

The proposed zoning request is **compatible** with surrounding industrial land.

Comprehensive Plan Consistency – Northeast Sector

The 2022 Comprehensive Plan currently designates the subject property as “Light Industrial” on the Future Land Use Map. The requested land uses would be included in the list of zoning districts envisioned for this category, as detailed in the excerpt from the Comprehensive Plan below.

INDUSTRIAL		
Light Industrial	Warehousing, transportation, light assembly, outside storage	MU-2, I

Based on conformance with the future land use map, the proposed zoning is **consistent** with the Comprehensive Plan.

Zoning and Land Use

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

Stormwater

A Stormwater Drainage Study will be required to be fully accepted prior to obtaining any grading or building permits
Commercial grading permit is required for this site
If detention is required by the drainage study, a SWFMA would be required to be fully executed and recorded before obtaining any building permits or proceeding to IPRC precon. If no building permits are required, the hold would be on the grading permit.

Fire Department

Comments

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)

Existing buildings are subject to fire code for a Certificate of Occupancy to be issued.

Truck and trailer parking does not require a Certificate of Occupancy. No fire code applies to parking only.

N Pecan Street is not constructed.

General information:

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.

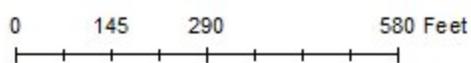
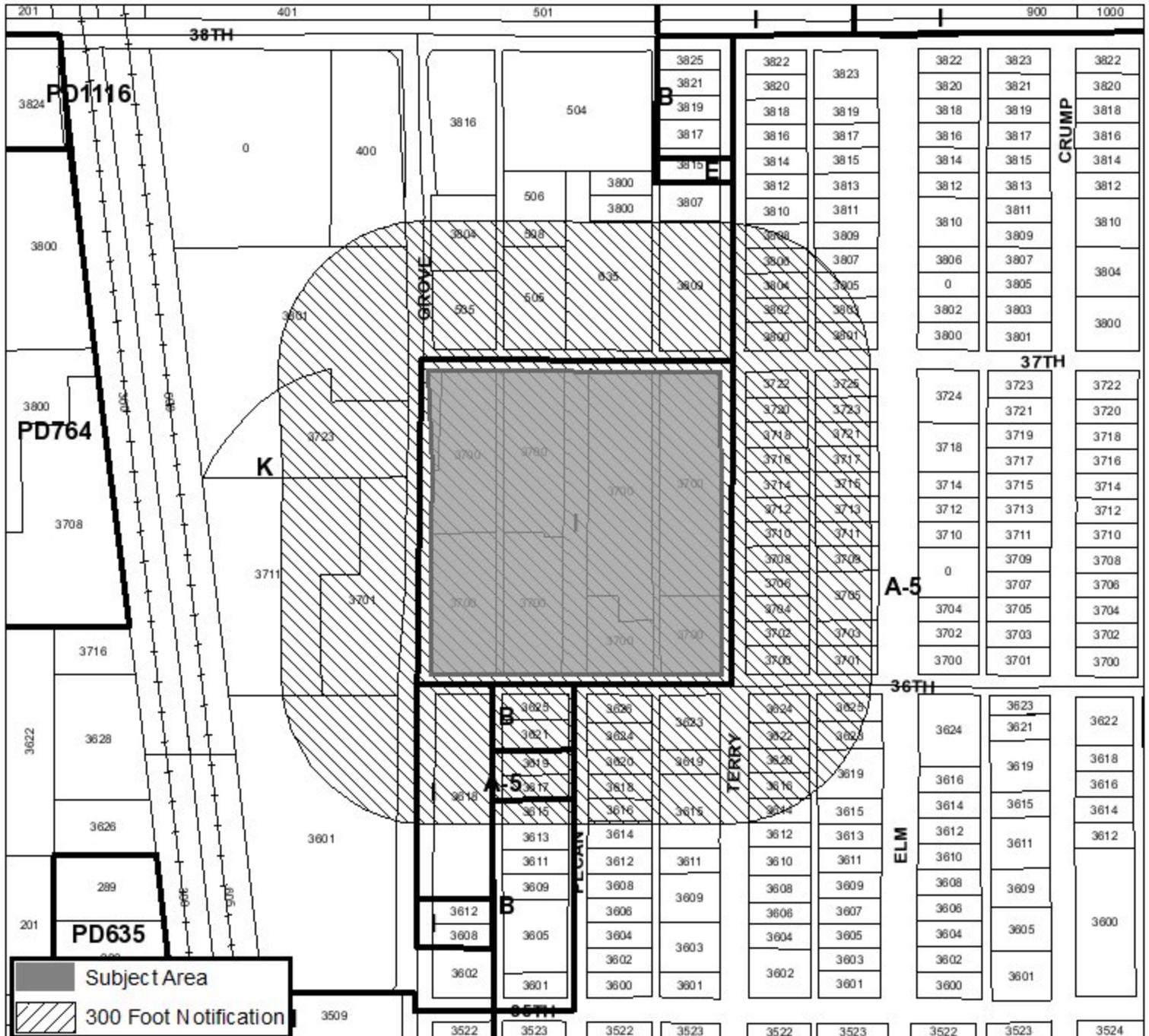
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)



ZC-22-138

Area Zoning Map

Applicant: 3700 N. Grove LLC.
 Address: 3700 N. Grove Street
 Zoning From: I
 Zoning To: Add Conditional Use Permit for truck parking and urban agriculture with development waiver
 Acres: 8.08465258
 Mapsco: 48Y
 Sector/District: Northeast
 Commission Date: 9/14/2022
 Contact: 817-392-2495





TRUCK & TRAILER PARKING
98 - 15' X 72' GRAVEL PARKING SPACES

EXISTING 2 STORY BRICK, CONCRETE AND SINGLE STORY
7,890 SQUARE FEET
263' x 30'

VISITOR PARKING
16 - 9' x 18' GRAVEL PARKING SPACES

EXISTING POLE BARN ON RAISED CONCRETE SLAB
9,300 SQ. FT.
60' x 155'

NORTH LOT LINE - 620.60'
K HEAVY INDUSTRIAL

EXISTING CONCRETE EXIT

NE 37TH STREET

DUMPSTER

GRAVEL DRIVEWAY

FRUIT & NUT TREES

16

PECAN STREET (SEE NOTE BELOW)

RAISED BEDS - VEGETABLES HERBS & FLOWERS

FRUIT & NUT TREES
7,150 SQ. FT.
110' x 65'

NORTH GROVE STREET

GRAVEL DRIVEWAY

GRAVEL DRIVEWAY

NORTH TERRY STREET

WEST LOT LINE - 633.33' - K HEAVY INDUSTRIAL

EAST LOT LINE - 639.70' - RESIDENTIAL

23

22

21

EXISTING SINGLE STORY BRICK STORAGE BUILDING
3,000 SQ. FT.
60' x 50'

EXISTING CONCRETE ENTRANCE

GRAVEL DRIVEWAY

EXISTING SINGLE STORY BRICK STORAGE BUILDING
3,000 SQ. FT.
60' x 50'

17

FRUIT & VEGETABLE VINES

FRUIT & NUT TREES

15

NE 36TH STREET

6' FT SOLID METAL PERIMETER FENCE WITH SOLID METAL GATES AT THE ENTRANCE AND EXITS.

SOUTH LOT LINE - 620.59' - RESIDENTIAL

NOTE: Pecan Street and alley (including all easements along block 17 and block 18) closed by County Commissioner Court order dated July 8th 1917, Vol 35, page 38, and City of Fort Worth Ordinance #3489

3700 N. GROVE LLC.
PO BOX 4247 FT WORTH TX 76164 • 817.247.4740

PROJECT: 3700 N GROVE ST
ZONING: I - LIGHT INDUSTRIAL

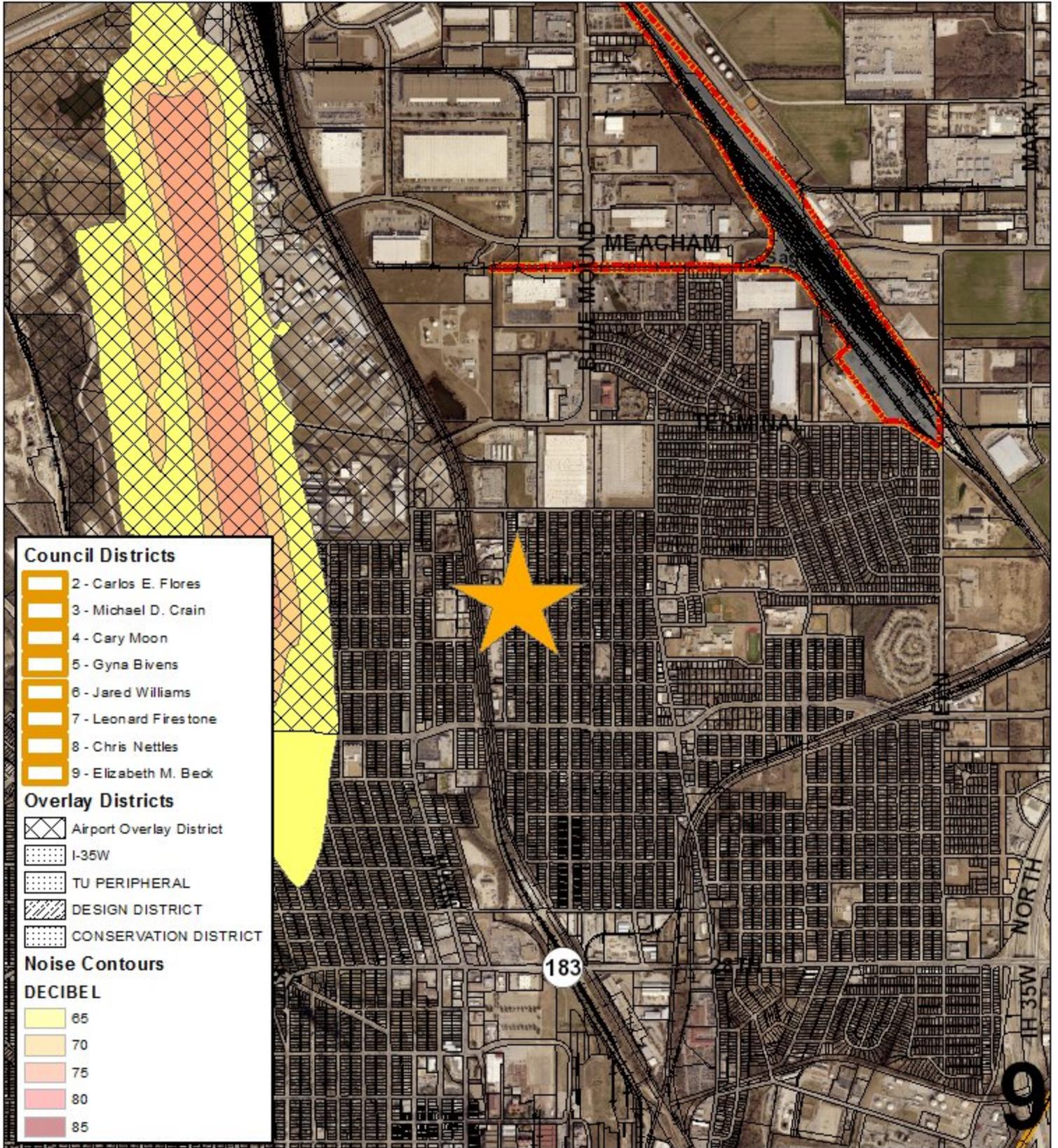
DATE OF PREPARATION: 07/25/2022
SURVEYOR: RUDY RANGEL, 214-325-8026 C.
1012 TIMBERLINE LINE HEATH, TEXAS 75032

3700 NORTH GROVE ST FORT WORTH TX 76106
TRACTS 1 AND 2, BLOCK 17 AND 18 OF FOSTEPCO HEIGHTS ADDITION
CITY OF FORT WORTH, TARRANT COUNTY, TEXAS
7.989 ACRES (348,000 SQUARE FEET)

SIGNATURE - Director of Development Services _____ DATE _____

This project will comply and conform to the following: Section 6.301. landscaping, section 6.302. urban forestry, Article 4, signs, and all provided lighting will conform to the lighting code.

Area Map



Council Districts

- 2 - Carlos E. Flores
- 3 - Michael D. Crain
- 4 - Cary Moon
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Leonard Firestone
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck

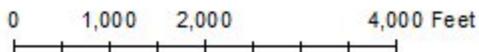
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

DECIBEL

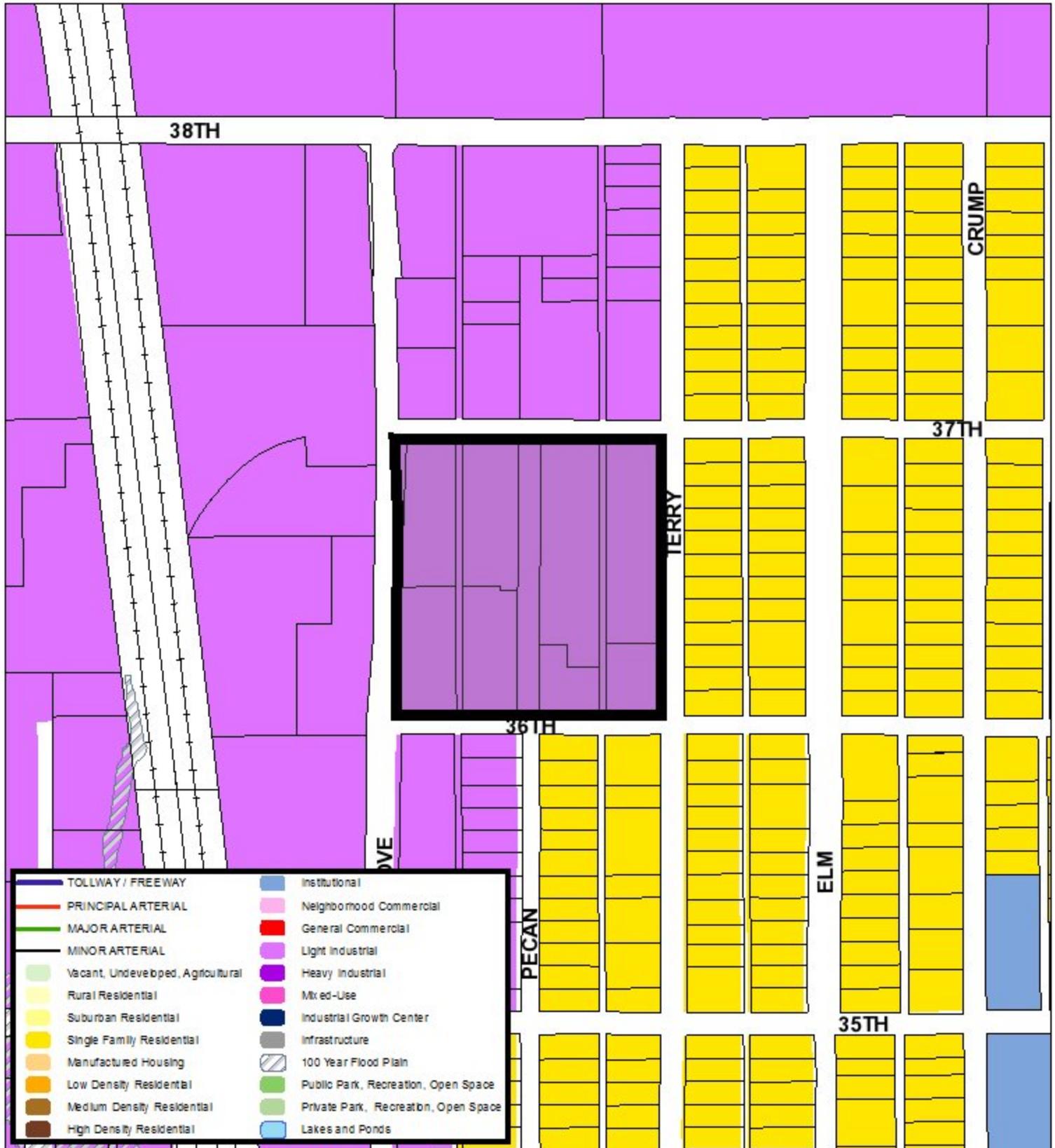
- 65
- 70
- 75
- 80
- 85





ZC-22-138

Future Land Use



290 145 0 290 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.





ZC-22-138

Aerial Photo Map



0 185 370 740 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-139

Council District: 3

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: Jammy Inc., Ralph Bradley / MJ Thomas Engineering, Mickey Thomas

Site Location: 3824 Benbrook Highway

Acreage: 6.01 acres

Request

Proposed Use: Warehouse

Request: From: “E” Neighborhood Commercial with NASJRB APZ II Overlay

To: “I” Light Industrial with NASJRB APZ II Overlay

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Neighborhood Commercial

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10. Aerial Photograph

Project Description and Background

The subject site is in Council District 3, just south of the Benbrook Traffic Circle. For approximately the past four decades, the property has remained an empty parking lot. The property owner plans to construct a new warehouse building for the wholesale distribution of auto parts and truck & trailer accessories. The proposed warehouse would be a 35 foot tall 50,000 square foot building, with a smaller shop on-site for vehicle and maintenance equipment storage. There will be minimal staff, usually 4 full time workers. A Concept Layout was provided by the applicant to give an idea as to how the buildings will be laid out and how the site will function as a whole. The intention is to route all business traffic around 377 and the traffic circle, and not via Chapin Road.

Current zoning on the site is “E” Neighborhood Commercial, and the request is to rezone to “I” Light Industrial. “I” is the least intensive zoning district where warehouse is allowed by right. Additionally, the site lies within the APZ II (Accident Potential Zone) Overlay, which is based on the location of the site just under the main flight path of the Fort Worth Naval Air Station – Joint Reserve Base runway. This overlay was created by the City to ensure compatible development in this area and to promote safety. Industrial development is preferred within the APZ II in order to minimize foot traffic, and because it does not require the same level of noise mitigation that residential or commercial development would require.

There is a substantial 20 foot wide drainage ditch running the entire length of the property on the west side nearest Bonnie Drive. The owner is planning for a minimum 60 foot building setback which will exceed the minimum requirements. There is also a full length tree line along that drainage culvert will not be altered due to Urban Forestry requirements.

The applicant/property owner has been in contact with Councilman Crain's office, and has notified City staff of their intention to begin reaching out to the nearby neighborhood associations as well as those close property owners.

Surrounding Zoning and Land Uses

North “FR” General Commercial Restricted / hotel

East “FR” General Commercial Restricted / contractor’s office

South “PD-279” Planned Development-Specific use for office-retail-warehouse / Office-retail-warehouse

West “A-5” One Family / single family residential

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.

The following organizations were emailed on August 26, 2022:

Organizations Notified	
Ridglea Area Neighborhood Alliance	Bomber Heights NA*
Ridglea Hills NA	NAS Fort Worth JRB RCC
Streams & Valleys Inc	Trinity Habitat for Humanity
Camp Bowie District, Inc	Fort Worth ISD

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The 6-acre property is situated on a major road corridor (US Highway 377) and has commercial enterprises to the north and south. While the site is directly adjacent to an existing developed single family neighborhood to the west, the drainage channel combined with buffering measures required by the Zoning Ordinance mean that development of the warehouse should by and large be suitable.

The applicant has been notified of the development standards applicable to this particular site, including but not limited to:

- Supplemental buffer yard, building setbacks, and screening will apply since the proposed “I” Light Industrial zoning and the existing “A-5” One Family residential zoning along Bonnie Drive will be directly adjacent, with no street or alley in between.
- 5 foot landscaped buffer yard required along the same property line in addition to base landscaping requirements. If there is a drainage way or other obstacles that prevent it from being placed directly on the property line, then it can be shifted to the nearest compatible placement closer to the building.
- Any buildings must be at least 50 feet off the property line parallel to the lots facing Bonnie Drive.
- A screening fence will also be required along this property line. The screening fence must be a solid masonry wall, wood fence, or combination thereof, at a minimum height of 6 feet along the entire adjacent property line except for minimum required front yards (should terminate at 20 feet off the Chapin Road property line).
- 55 foot maximum height.
- Minimum parking amounts would apply. The warehouse will require one parking space per four employees, with a four space minimum.
- Base landscape requirements are either 4% of the site OR 30 foot strip along all public rights-of-way.

The presence of the APZ II Overlay has a great impact on the City’s evaluation of the proposed rezoning. Ordinarily, the City would not encourage industrial type development so close to residential areas, however since the APZ diminishes the attractiveness of the land for residential, commercial, and mixed use applications, industrial uses are ideally suited for this site. Of the industrial land uses, warehouse is amongst the least intensive, in comparison to manufacturing, auto-related uses, or those with outdoor activity. All things considered, the proposed rezoning to “I” Light Industrial **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Western Hills/Ridglea

The 2022 Comprehensive Plan currently designates the subject property as future Neighborhood Commercial on the Future Land Use Map. The proposed rezoning **is not consistent** with the adopted Comprehensive Plan designation. However, the rezoning request does align with at least two of the Sector Land Use Policies that apply to the Western Hills/Ridglea sector of the City.

WESTERN HILLS/RIDGLEA SECTOR FUTURE LAND USE

Sector Land Use Policies

4. Discourage incompatible uses within the NASFW JRB runway Clear Zone and Accident Potential Zones. Discourage residential development or require sound mitigation within areas of noise levels greater than 65 decibels for all airports to ensure compatibility between surrounding land uses while providing additional protections to airport operations.
6. Stimulate redevelopment of the Camp Bowie Boulevard, Camp Bowie West, Altamere Drive/US 377, and Lackland Road/Green Oaks Road commercial districts.

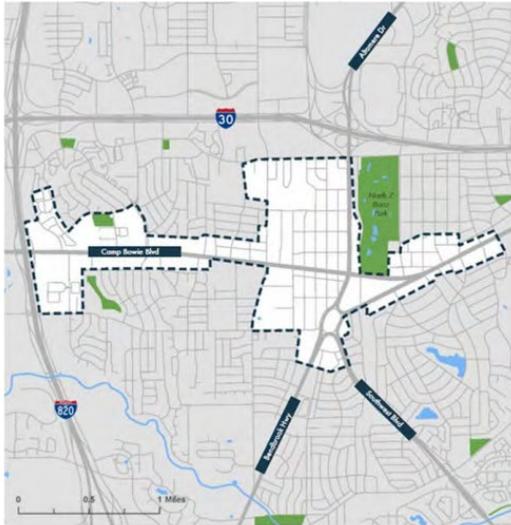
If this zoning change request is approved, staff recommends that the Future Land Use Map also be updated to reflect this change.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. 3824 Benbrook Highway is located within one of the six target areas identified in the plan. These target areas have not benefited from Fort Worth's population and employment growth in recent years. The challenge can be seen on the ground in the form of vacant buildings, struggling commercial properties, and the lack of new construction and investment.

TARGET AREA: WEST CAMP BOWIE

FIGURE 6. WEST CAMP BOWIE SNAPSHOT



INDICATOR	VALUE
Total area (acres)	1,164
Dominant zoning: Camp Bowie Form-Based	30%
DEMOGRAPHICS & COMMUTING	
Total residents	15,445
Median household income	\$51,792
Inbound commuters (work in area)	4,759
Outbound commuters (live in area)	2,092
PROJECTED EMPLOYMENT INCREASE BY 2040	
NCTCOG forecast (jobs added)	6,764
FA growth target (jobs added)	6,764
INCENTIVES IN STUDY AREA	
Urban Villages Plan	No
Neighborhood Empowerment Zone	No
PID District	Yes
TIF District	No

The West Camp Bowie area has the highest household income of all six target areas, on-par with the city's median. It is also the only zone with a predominantly White (not Hispanic or Latino) population. A third of the area is zoned as a PID, managed by the Camp Bowie District, Inc. nonprofit organization. This district is comprised of three unique zones (General Corridor Mixed Use, Industrial Arts, and the Western Business District) designed to strengthen the sense of place for each area. There is public support for this district plan and for increased small scale commercial and mixed-use development. The target area includes vacant land for additional growth, but parcel sizes are small and ownership is divided. The commercial base is largely industrial, but additional development in this area may be difficult without public assistance in land banking and consolidation. The primary challenge to improvement in this target will be overcoming the declining retail and commercial corridor dominated by auto-oriented businesses, and low-rent uses.

PRIMARY CONSIDERATIONS

- The PID could serve as a catalyst for redevelopment with strategic investments in streetscape. A more aggressive strategy to spur redevelopment along the corridor could be pursued by a City takeover of the TXDOT controlled roadway, to re-position the road as a more pedestrian and bike-friendly corridor.
- City investments should be prioritized for projects that will have the greatest economic benefit. Mixed-use development should be a focus as should transportation and infrastructure improvements to create better interconnection within the Camp Bowie area.
- High quality housing should be preserved and expanded in this district, prioritizing rehabilitation of existing units and working with local partners to expand affordable homeownership options.

One of the desired outcomes of the Economic Development Plan is a more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment. The conversion of this property from an under developed site to an active industrial enterprise allows for the continued diversification of the tax base and has the potential to spur additional growth and regeneration in the area. Additionally, the City has adopted the goal of supporting the growth of independent, locally-owned small businesses like Jammy Inc.

INITIATIVE 1.3. BUSINESS RETENTION & EXPANSION (BRE)

Improve the competitiveness of existing businesses and help them remain and grow in the community.

1.3.3.1. Start with protection efforts aimed directly at **maintaining the appropriate land use and zoning regulations in and around** the city's three airports (Alliance, Meacham, Spinks) and **Naval Air Station Joint Reserve Base (NAS-JRB) Fort Worth.**

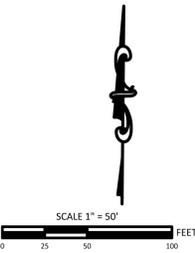


Google Earth



400 ft

LOT AREA:	239,744 SF	-	5.5 ACRES
TOTAL PARKING PROVIDED:	15		
STAFF AND GUEST USE	13		
ADA PARKING	2		



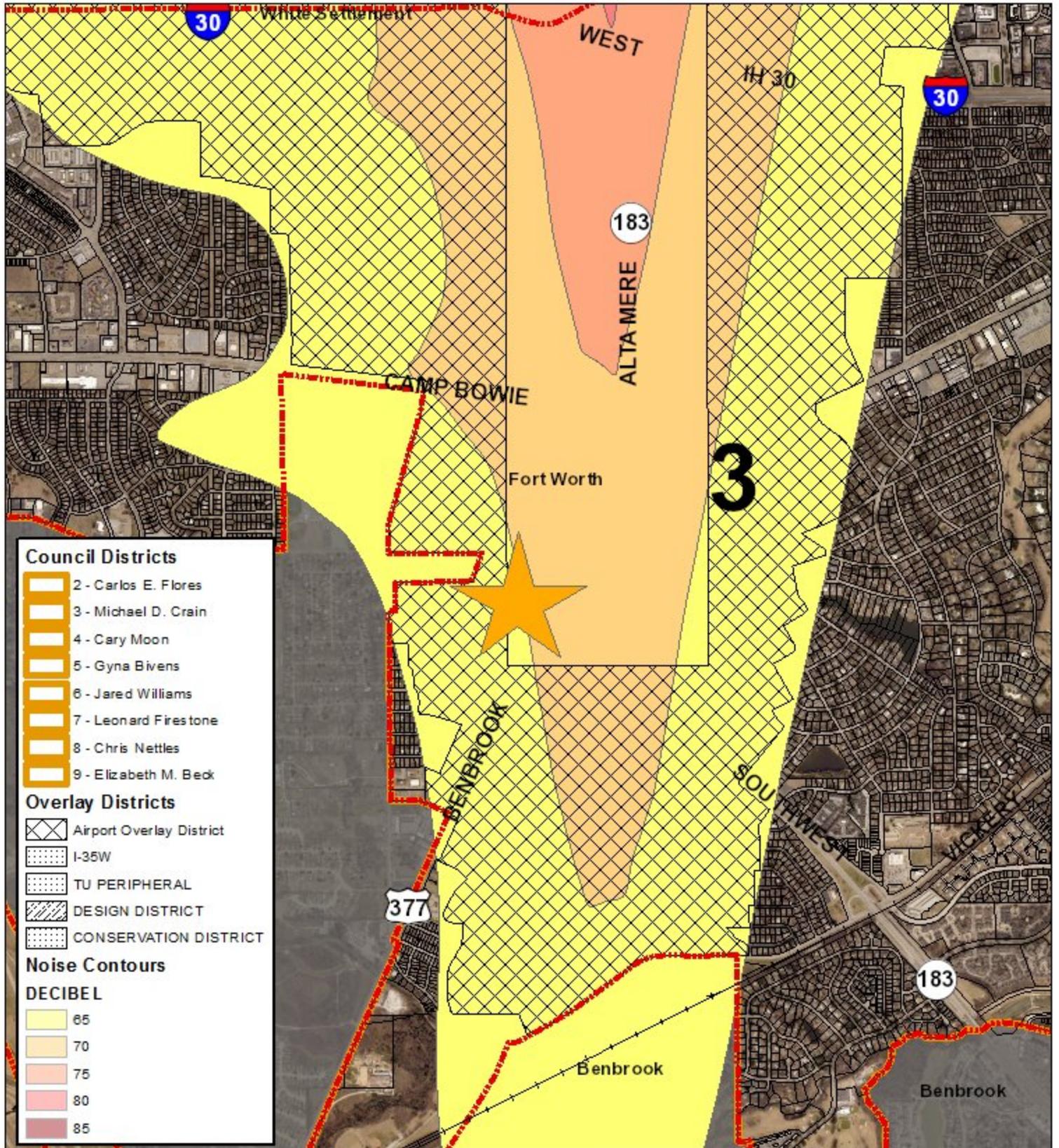
MJ THOMAS
 ★ ENGINEERING, LLC ★

4700 BRYANT IRVIN CT, SUITE 204
 FORT WORTH, TX 76107
 REGISTRATION NO. F-6435

PHONE - (817) 732-9839
 FAX - (817) 732-9841
 MJT NO. - 594-041

EXHIBIT 1
 JAMMY WAREHOUSE
 3824 BENBROOK HIGHWAY
 FORT WORTH, TEXAS
 11-09-2021

Area Map



Council Districts

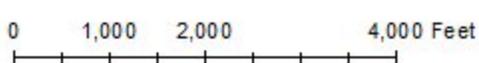
- 2 - Carlos E. Flores
- 3 - Michael D. Crain
- 4 - Cary Moon
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Leonard Firestone
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck

Overlay Districts

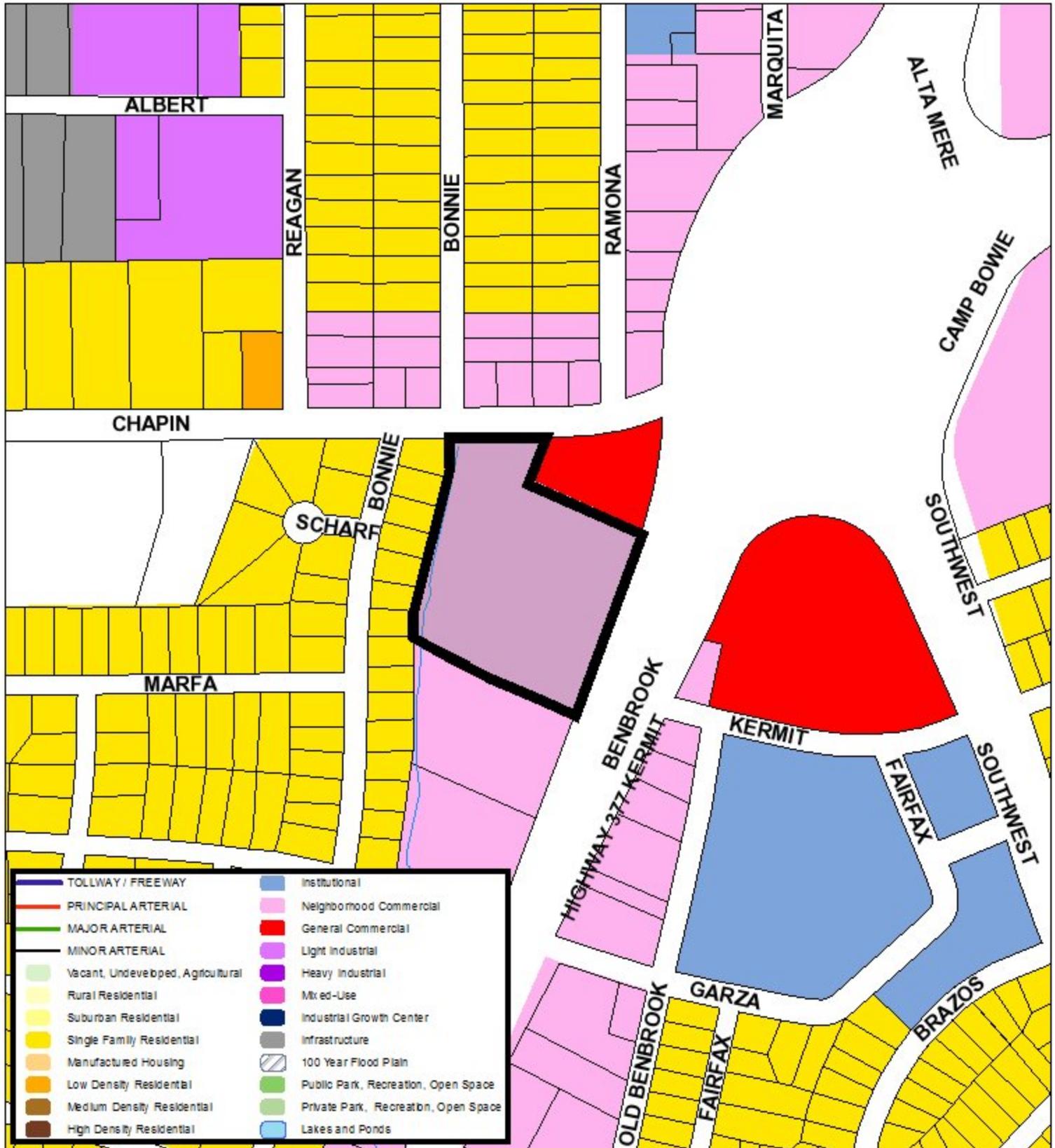
- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

- DECIBEL
- 65
 - 70
 - 75
 - 80
 - 85



Future Land Use



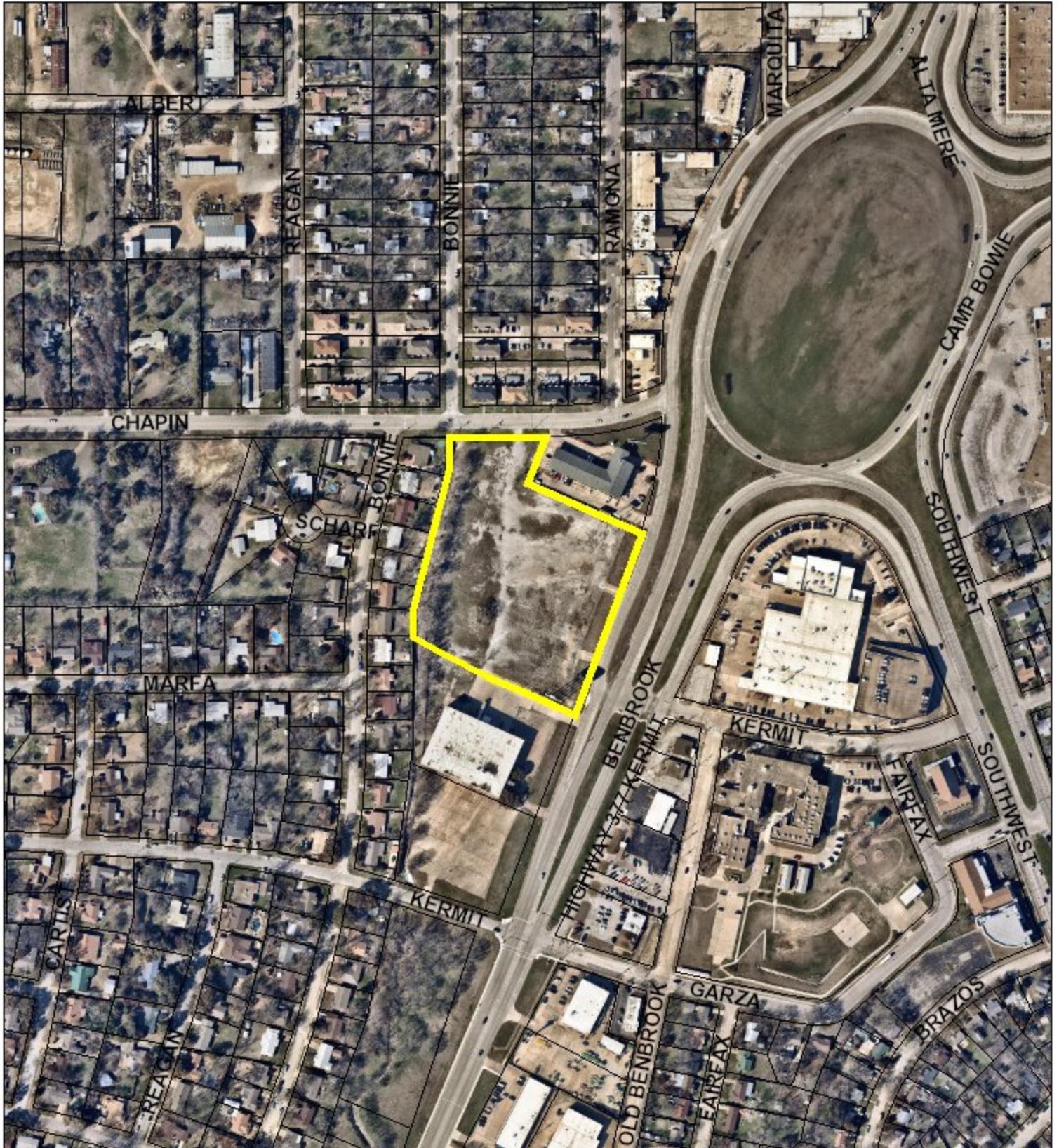
340 170 0 340 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 220 440 880 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-140

Council District: 3

Zoning Map Amendment

Case Manager: [Stephen Murray](#)

Owner / Applicant: HighFive Trust

Site Location: 10300 block of Chapin Road

Acres: 13.62 acres

Request

Proposed Use: Office, Mini-warehouse, Commercial

Request: From: “AG” Agricultural

To: “G” Intensive Commercial; “PD/G” Planned Development for all uses in “G” Intensive Commercial, plus mini-warehouse; site plan included.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change is: **Tract 1: consistent**
Tract 2: not consistent

Staff Recommendation: **Approval**

Future Land Use Designation: Future General Commercial

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject property is located on Chapin Road near the intersection of Chapel Creek Blvd. The applicant is requesting to rezone the property into two tracts.

Tract 1: “AG” Agricultural to “G” Intensive Commercial. This site is located adjacent existing “G” and “E” zoned property in close proximity to the I-30 service road and Chapel Creek Blvd, which is considered a “Regional Arterial” on the Master Thoroughfare Plan (MTP). Large commercial centers are appropriate at these locations. The proposed zoning would provide important regional commercial tract for of west Fort Worth.

Tract 2: “AG” Agricultural to “PD/G” Planned Development for all uses in “G” Intensive Commercial, plus miniwarehouse to allow for development of a new office building and miniwarehouse. The proposed development consists of the following:

Building	Height	Square feet
Building A (miniwarehouse)	4 stories	120,000
Building B (Office)	1 story	5,200
Building C (miniwarehouse)	1 story	5,175

Mini-warehouses are first allowed by right in industrial districts, however, many have opted to request PD’s and locate in close proximity to residential to capture this market. This is the case for this proposed development.

Surrounding properties are primarily developed for residential uses to the north and west with vacant land east and south.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single-family homes
East “AG” Agricultural / vacant
South “AG” Agricultural / vacant
West “A-5” One-Family / single-family homes, telecommunications antenna

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on July 1, 2022.

The following organizations were notified: (emailed June 24, 2022)

Organizations Notified	
Westland NA	Chapel Creek NA*
Streams and Valleys Inc	Trinity Habitat for Humanity
Fort Worth ISD	

**Located just south of this registered Neighborhood Organization.*

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “AG” Agricultural District to “G” and “PD/G” Planned Development for all uses in “G” Intensive Commercial, plus mini-warehouse. Surrounding land uses consist of single-family to the north and west with vacant land south and east. The overall vacant tract contains both “G” and “E” zoning near the I-30 West service road, which is appropriate.

The new “G” zoning on Tract 1 is compatible at this location. The proposed mini-warehouses on Tract 2 could be problematic due to the height of the Building A and proximity to residential. The applicant has provided a screening fence and 50 ft buffer to ease the issue. However, staff has asked the applicant to provide a rendering of proposed building and site lines from the single-family. Staff would feel more comfortable supporting the proposal if site impacts to the surrounding single-family were truly mitigated by the proposed setbacks. Overall, mini-warehouses are intended to serve single-family residences that are located nearby. They typically have minimal impact to surrounding areas due to their height and appearances, operational characteristics, and traffic generation.

As a result, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Far West

The adopted Comprehensive Plan currently designates the subject property as “General Commercial” on the Future Land Use Map. The proposed “G” zoning for Tract 1 **is consistent** with the Comprehensive Plan and the following policy:

- Encourage infill development of compatible, single-family homes in existing neighborhoods to preserve and protect residential neighborhoods.

Tract 2: **is not consistent** with the Comprehensive Plan. However, the policy below applies to this development. Mini-warehouses typically have a lesser impact and would be considered a transitional use for this property.

- Separate incompatible land uses with buffers or transitional uses. Some land uses have attributes such as height, proportion, scale, operational characteristics, traffic generated, or appearance that may not be compatible with the attributes of other uses.

Economic Development Plan

The adopted Economic Development Strategic Plan identified four different a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The below recommendations apply to this project:

PERFORMANCE METRICS

2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

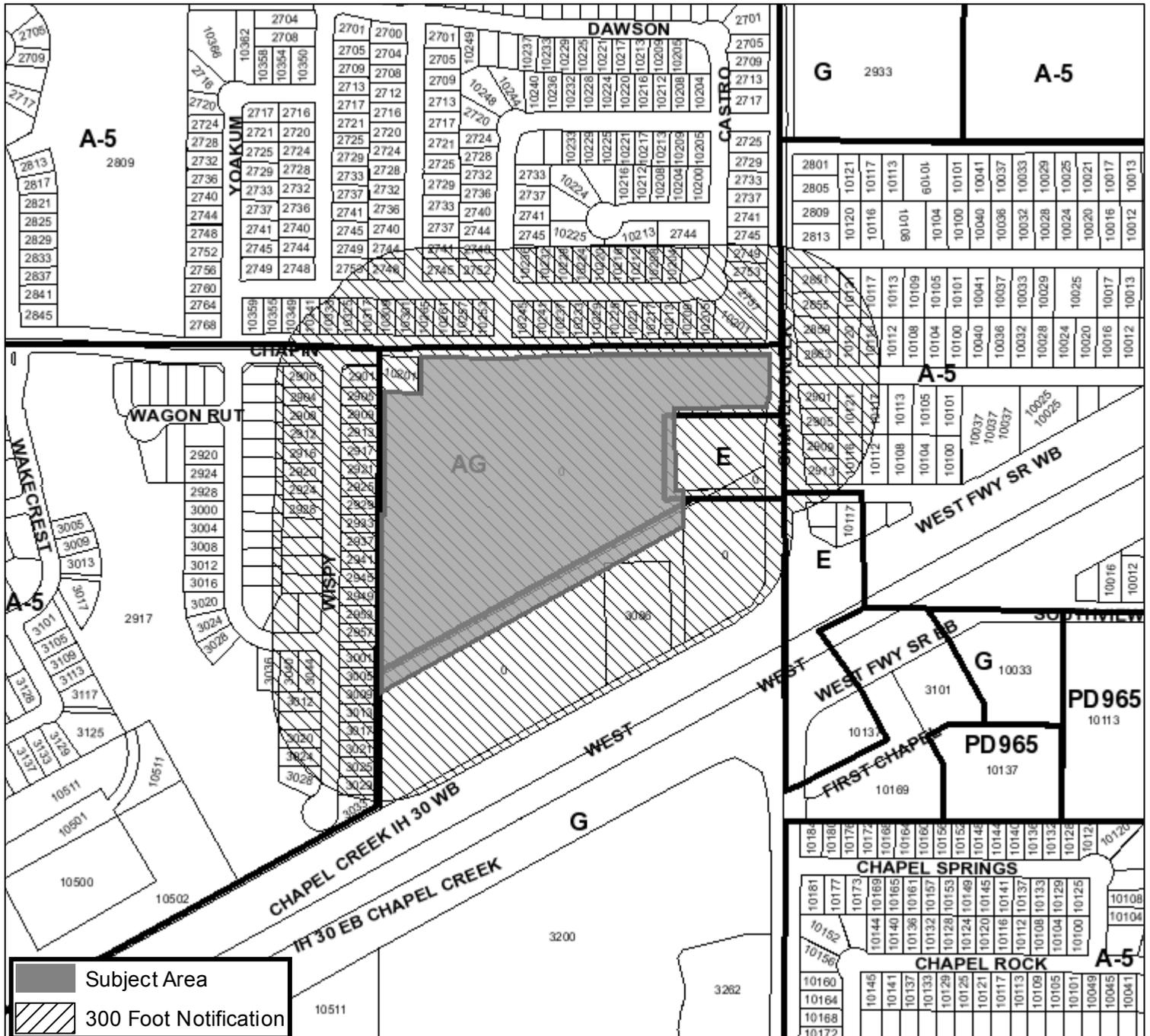
Site Plan Comments

The site plan as submitted is in general compliance with the Zoning Ordinance regulations.

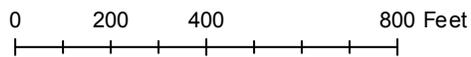
(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

Area Zoning Map

Applicant: HighFive Trush - BJA (Mark)
 Address: 10300 block Chapin Road
 Zoning From: AG
 Zoning To: PD for G intensive commercial
 Acres: 13.62297907
 Mapsco: 72JK
 Sector/District: Far West
 Commission Date: 9/14/2022
 Contact: 817-392-8047

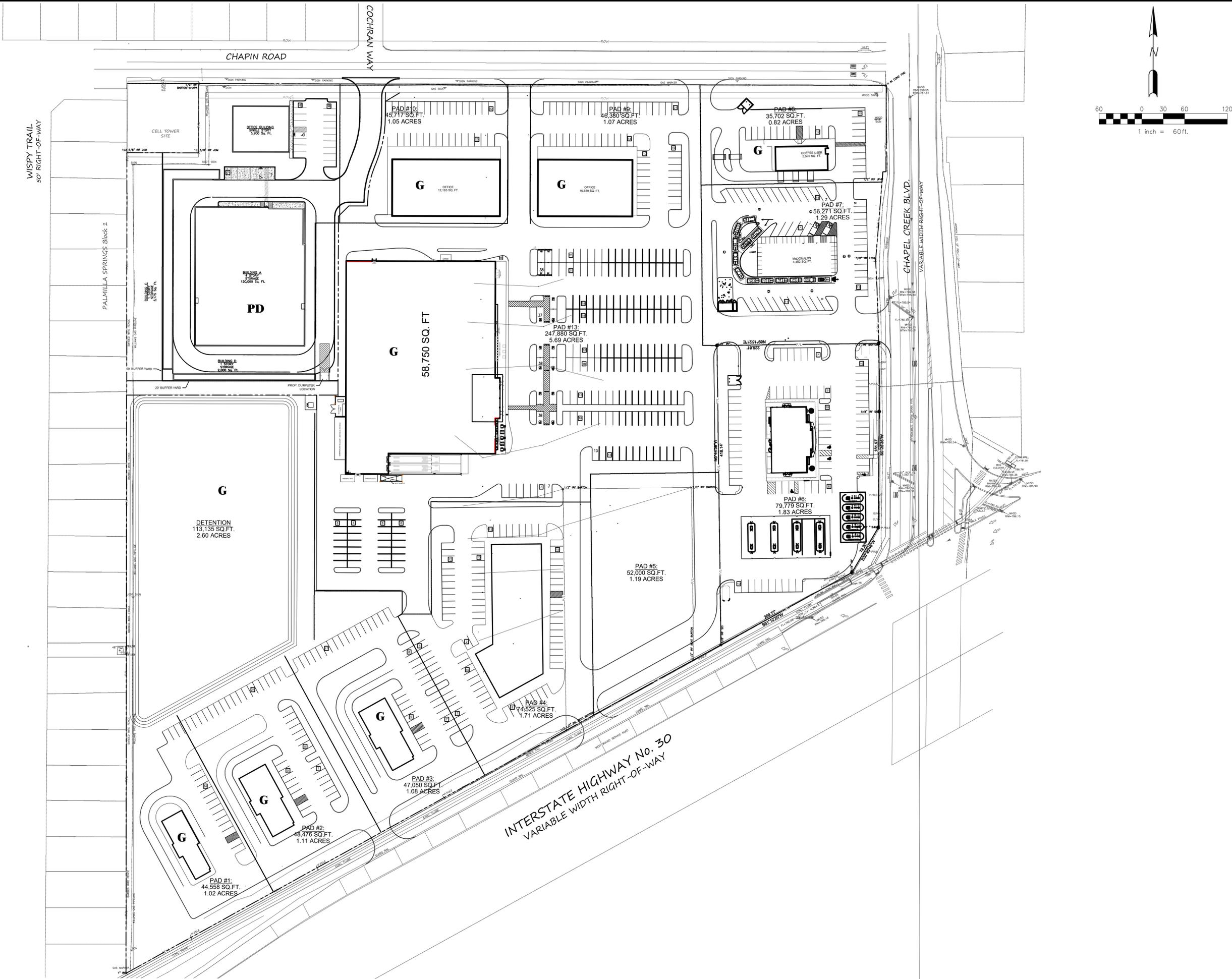


 Subject Area
 300 Foot Notification



Printed By: Admin Prod Date: 9/7/2022 10:08 AM

Drawing: 21-12-111-001 - SIS Chapel Creek (21-11-001) SITE PLAN.dwg Saved By: Admin Date: 9/7/2022 8:02:54 AM



PRELIMINARY
NOT FOR CONSTRUCTION
 THIS DRAWING IS
 SUBMITTED FOR REVIEW
 PURPOSES ONLY. IT IS
 NOT INTENDED FOR
 PERMITTING OR BIDDING
 ENGINEER OF RECORD:
 ANNA L. CARRILLO, P.E.
 TX. REG. NO. 97350

**STORAGEHOUSE CHAPEL CREEK
 FORT WORTH, TEXAS**

SITEPLAN OVERALL EXHIBIT

Issue Dates:
 JUNE 6, 2022

Revisions	Date

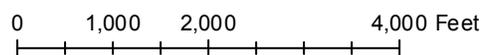
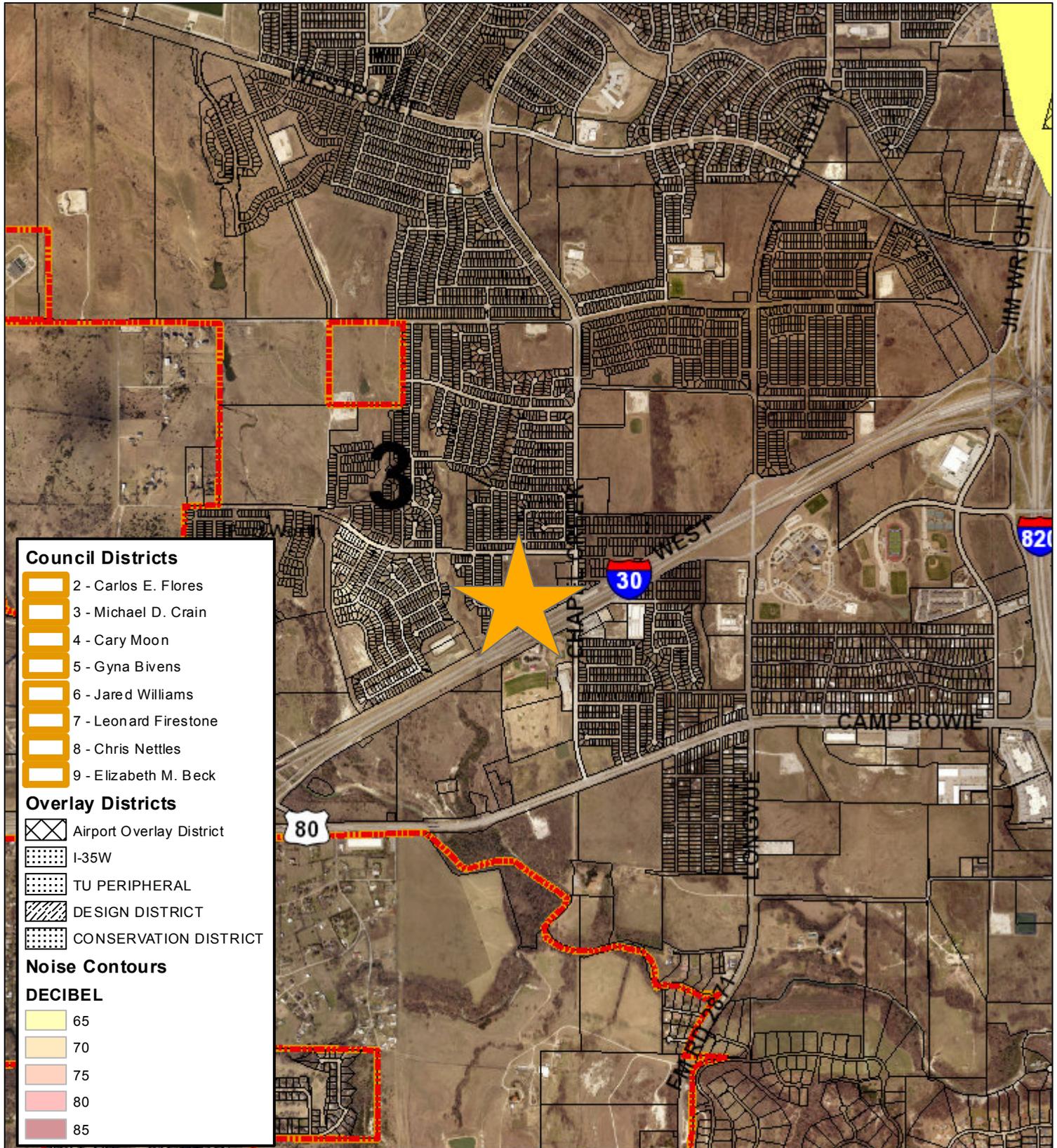
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 Drawn By: TR
 Checked By: ALC

Sheet

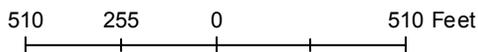
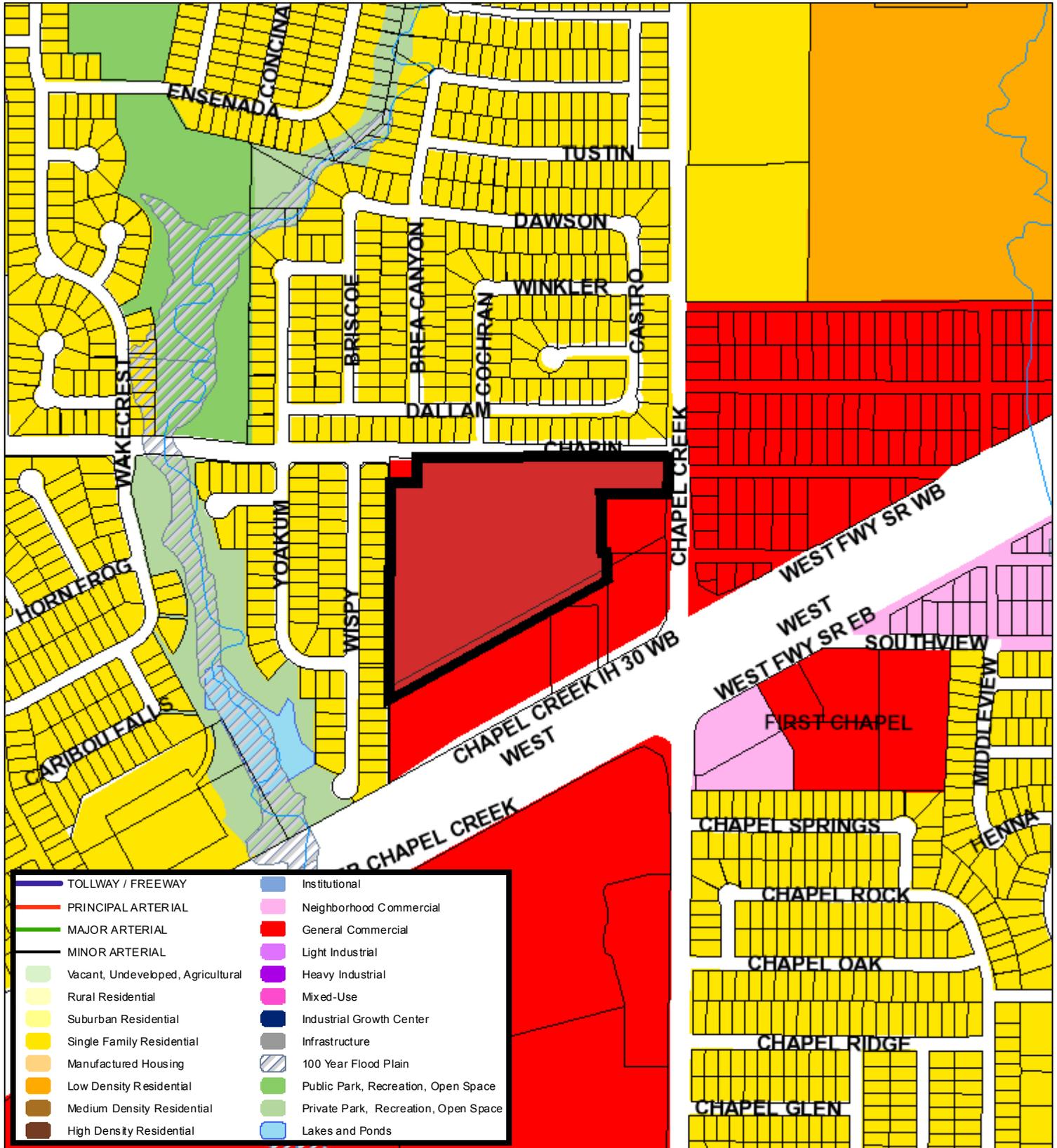
Carrillo Engineering, LLC

301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-896-0976 - Firm Registration #F-15893

Area Map



Future Land Use



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 320 640 1,280 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-141

Council District: 9

Zoning Map Amendment

Case Manager: [Monica Lafitte](#)

Owner / Applicant: Bruce Morris, David S. Morris / Mary Nell Poole, Townsite

Site Location: 731 Samuels Avenue

Acreage: 1.029 acres

Request

Proposed Use: Wine and Craft Beer Tasting Room

Request: From: “D” High Density Multifamily with Downtown Samuels Overlay and HC Overlay
To: “PD/H” Planned Development for all uses in the “H” Central Business District plus one-family detached, brewpub, and distillery uses with a development standard for maximum height of ten (10) stories with Downtown Samuels Overlay and HC Overlay, Site Plan Waiver Requested

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future High Density Residential

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Project Description and Background

The site is located on the west side of Samuels Avenue with the West Fork Trinity River to the west. It is within the Rock Island/Samuels Avenue Neighborhood Character Zone of the Downtown Urban Design District. It also has a Historic Overlay on the site. The site is surrounded by the Downtown Mixed-Use Growth Center, and while the lot is not labeled with this designation itself, the adjacent property to the south is labeled as the Downtown Mixed-Use Growth Center.

The property has been used as a single family home. The house, built around 1865, is known as the David Chapman Bennett house. Since 1997, the current owners began restoring the house to its current condition.

The applicant plans to use the house as a wine and craft beer tasting room. The adaptive reuse of this historic home offers the opportunity to bring new life into the building and an opportunity for the adjacent neighbors and wider community to enjoy the beauty and history of this grand structure. It also adds a walkable entertainment venue to the district. There are no plans to alter or demolish any of the buildings on the property or to remove any of the large trees. Current patio areas will be enlarged and new outdoor spaces created to activate and engage the street and pedestrian corridor.

The current zoning does not support the proposed use. The applicant is requesting to rezone from “D” High Density Multifamily with Multifamily with Downtown Samuels Overlay and HC Overlay to “PD/H” Planned Development for all uses in the Central Business District plus single family residential, brewpub, and distillery uses with a development standard for maximum height of ten (10) stories with Downtown Samuels Overlay and HC Overlay. These added uses and development standards reflect the proposed new “HP” Central Business District Peripheral zoning. The “HP” district has not yet been established. While the site is within the boundary that will be eligible for the new zoning designation, the applicant does not want to wait several more months until it is established. In the mid-2000s, staff began allowing “PD/H” rezonings in areas adjacent to the core “H” Central Business District. The development standards and uses of the past few decades of the “PD/H” zonings were studied, resulting in the proposed “HP” Central Business District Peripheral zoning. This project does not intend to develop to the ten-story height limit; the development standard was included so the site follows the same standards as the proposed “HP” Central Business District Peripheral district.

Planned Developments typically require a site plan. The applicant is requesting a waiver to this requirement. Any site plan alterations will have to be approval by the Downtown Design Review Board due to the Downtown Samuels Overlay. Additionally, the property already has buildings; no buildings will be added, altered, or demolished.

Surrounding Zoning and Land Uses

North “D” High Density Multifamily / Residential

East “D” High Density Multifamily / Residential single family and Arnold Park/Playground

South “PD982” PD/H with changes in uses and development standards / Multifamily apartments

West “O-1” Floodplain/ River

Recent Zoning History

- ZC-22-041 From: D, G, J, PD 1226 for H uses with Downtown Urban Design District Overlay to “PD/H/DUDD” Planned Development for all uses in “H” Central Business District plus single-family detached, brewery, and distillery; site plan waived; within the Downtown Urban Design District Overlay; with a max height of ten (10) stories; approved by City Council 6/14/22; northeast of subject site
- ZC-21-008 Removed demolition delay from PD1097; effective 5/27/21; north of subject site
- ZC-20-103 From “D” High Density Multifamily/Downtown Urban Design District Overlay to “MU-1” Low Intensity Mixed-Use/Downtown Urban Design District Overlay; effective 12/23/20; north of subject site

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.

The following organizations were notified: (emailed August 31, 2022)

Organizations Notified	
Inter-District 2 Alliance	Fort Worth Downtown Neighborhood Alliance
Greenway NA	Tarrant Regional Water District
Friends of Riverside Park	Streams and Valleys Inc
Trinity Habitat for Humanity	Oakhurst Alliance of Neighbors
Fort Worth ISD	

**Not located within a registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The surrounding land uses are residential, a neighborhood park, and a multifamily apartment also zoned “PD/H” to the south. The proposed use of a wine and craft beer tasting room provides a destination and venue for the neighborhood, which is part of the Downtown Urban Design District that allows many different uses. The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Northeast

The 2022 Comprehensive Plan currently designates the subject property as High Density Multifamily on the Future Land Use Map. Below is an excerpt of the table from Ch. 4 Land Use of the Comprehensive Plan. The table lists Form-Based Codes as appropriate uses within High Density Residential. The upcoming “HP” Central Business District Peripheral zoning which serves as the foundation for this rezoning request for the “PD/H” acts as a form-based district, especially within the Downtown Urban Design District. Additionally, the point of the “HP” zoning is to allow for a denser residential product than what would be allowed in “C” Medium Density Multifamily, “D” High Density Multifamily, or the “MU-1” Low Intensity Mixed-Use districts. The height and density of residential in “HP” zoning will match the allowed building height and density allowed in the “MU-2”

High Intensity Mixed Use district (10 story max and unlimited density). For these reasons, the proposed zoning is viewed as consistent with the Future Land Use designation.

FUTURE LAND USE AND ZONING CLASSIFICATIONS (Updated 5/26/2022)

FUTURE LAND USE	DEFINITION	ZONING
RESIDENTIAL		
Rural Residential	1+ acre single-family	A-2.5A, A-43
Suburban Residential	1/2+ acre single-family	A-21
Single-Family Residential	3,500+ sq. ft. lot single-family	A-10, A-7.5, A-5, AR
Manufactured Housing	Manufactured home parks and subdivisions	MH
Low Density Residential	2,500+ sq. ft. lot single-family, two-family, patio homes, townhouses, cluster housing	B, R1, R2
Medium Density Residential	Up to 36 units/acre multifamily	CR, C, D
Urban Residential	Medium to high density, residential only, pedestrian-oriented development for use between higher and lower intensity uses	UR
High Density Residential	>36 units/acre multifamily, mixed-use multifamily and pedestrian-oriented development in growth centers	UR, MU-1, MU-2, Form-Based Codes

The proposed zoning is consistent with the land use designations for this area, and aligns with the following policies and strategies of the Comprehensive Plan:

- Promote commercial and multifamily development within the Downtown Mixed-Use Growth Center.
- Promote mixed-use, pedestrian-friendly, and transit-oriented development (TOD) as described above, in Chapter 4: Land Use, and in the Planning Sector Policies contained in Appendix C.
- Use urban design as a tool to revitalize central city neighborhoods and commercial districts to ensure they are highly desirable places, and to redirect a significant amount of future population and employment growth into these areas.
- Promote downtown, the hospital district, and other mixed-use districts as crucial generators of economic growth and sources of community vitality that creates competitive advantage for Fort Worth.
- Support community efforts to create form-based zoning districts that reflect the aspirations of stakeholders to foster the development of attractive and vibrant walkable urban neighborhoods.

Based on conformance with the policies stated above, the proposed zoning is **consistent** with the Comprehensive Plan.

Economic Development Plan

The 2018 Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:



1. High-wage job growth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
4. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

The Plan also Listed the following goal, which this project supports.

GOAL 3. ENSURE COMMUNITY VITALITY

INITIATIVE 3.1. DOWNTOWN FORT WORTH

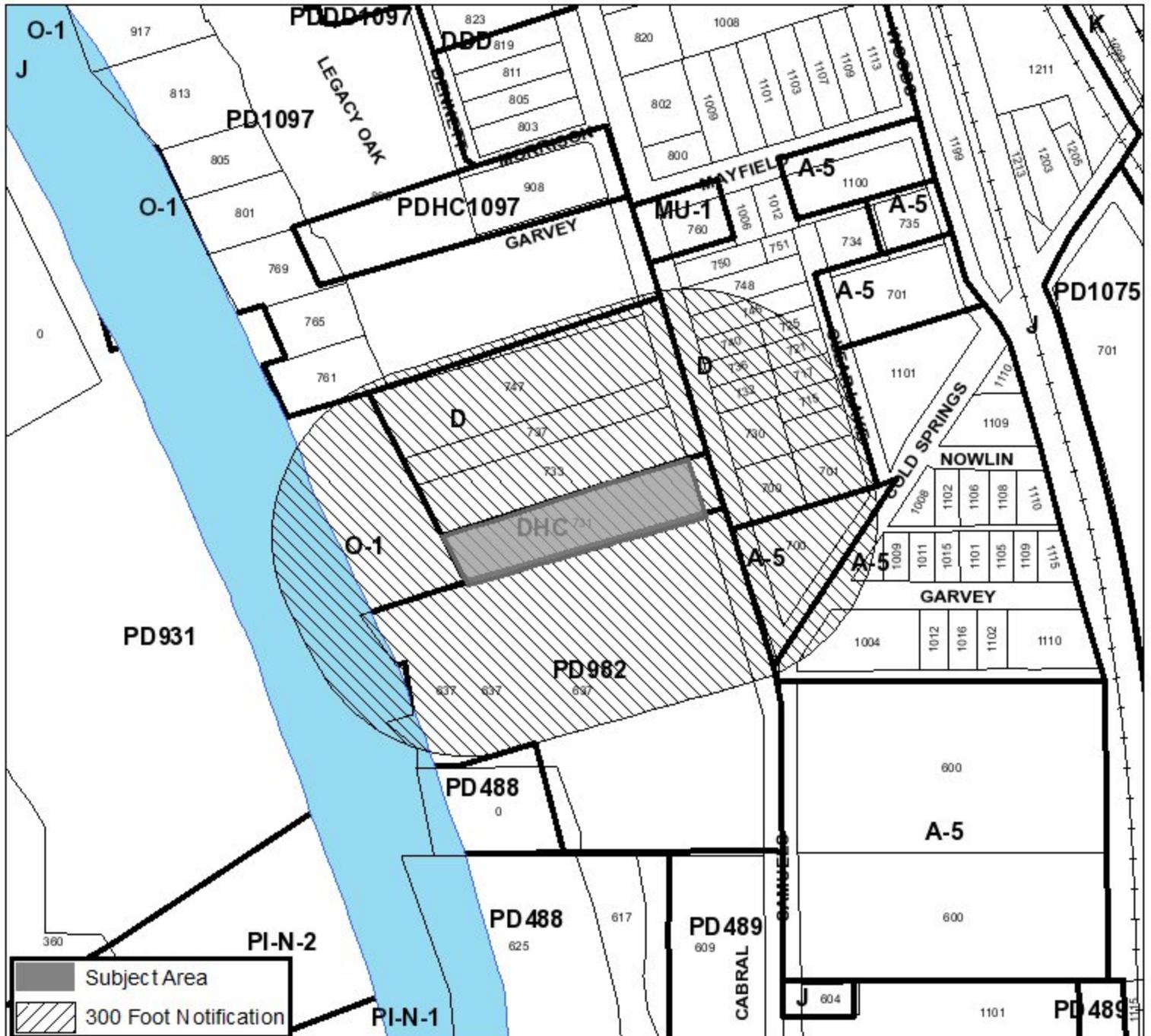
- 3.1.7. Encourage high-density, mixed-use corridor development to strengthen the linkages between downtown Fort Worth and surrounding urban districts.



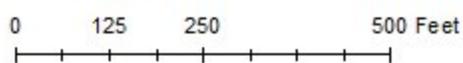


Area Zoning Map

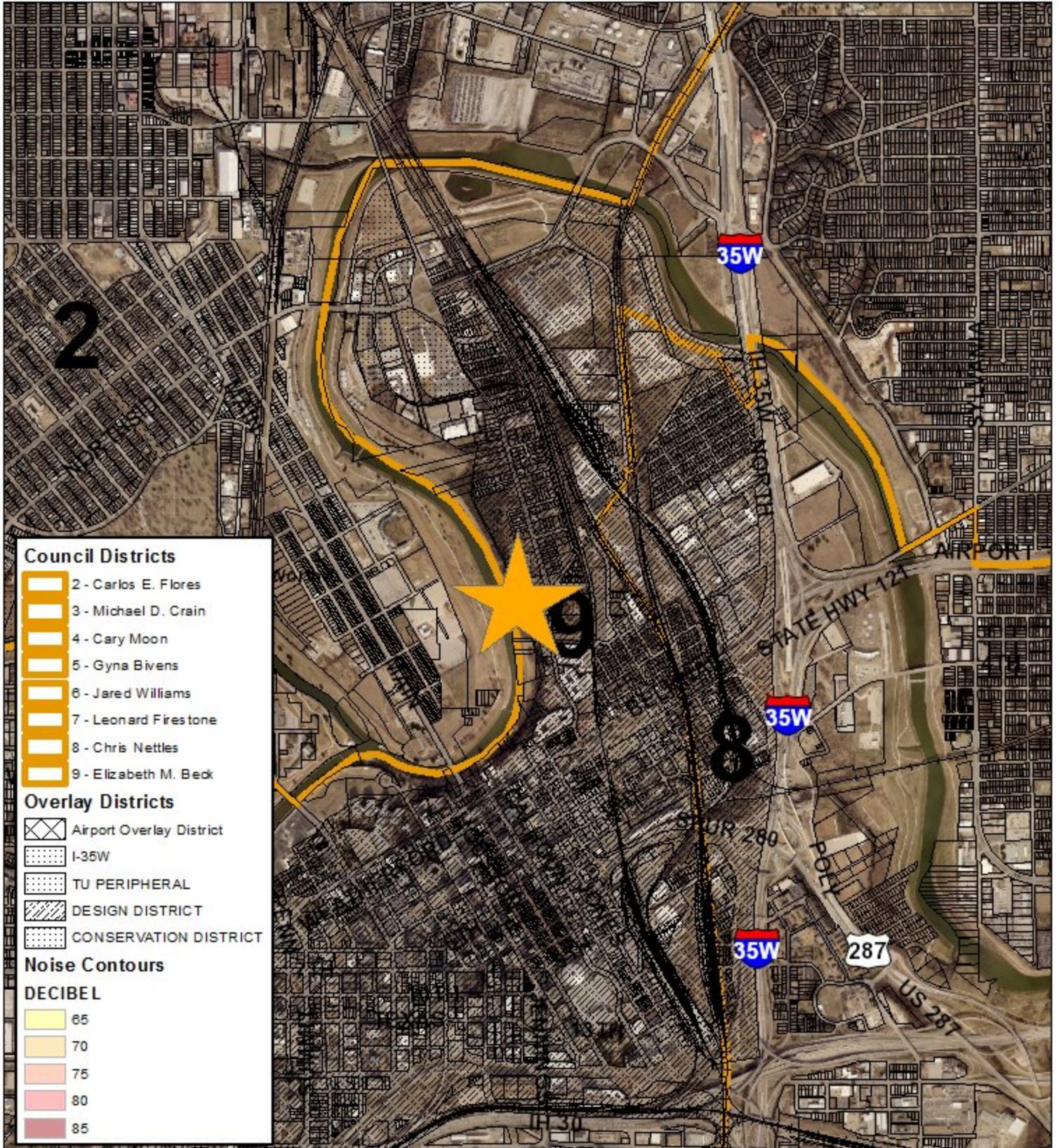
Applicant: Bruce & David Morris
 Address: 731 Samuels Avenue
 Zoning From: D/HC
 Zoning To: PD with H uses plus single family, brew pub, distillery
 Acres: 1.02945649
 Mapsco: 63S
 Sector/District: Northeast
 Commission Date: 9/14/2022
 Contact: 817-392-2806



 Subject Area
 300 Foot Notification

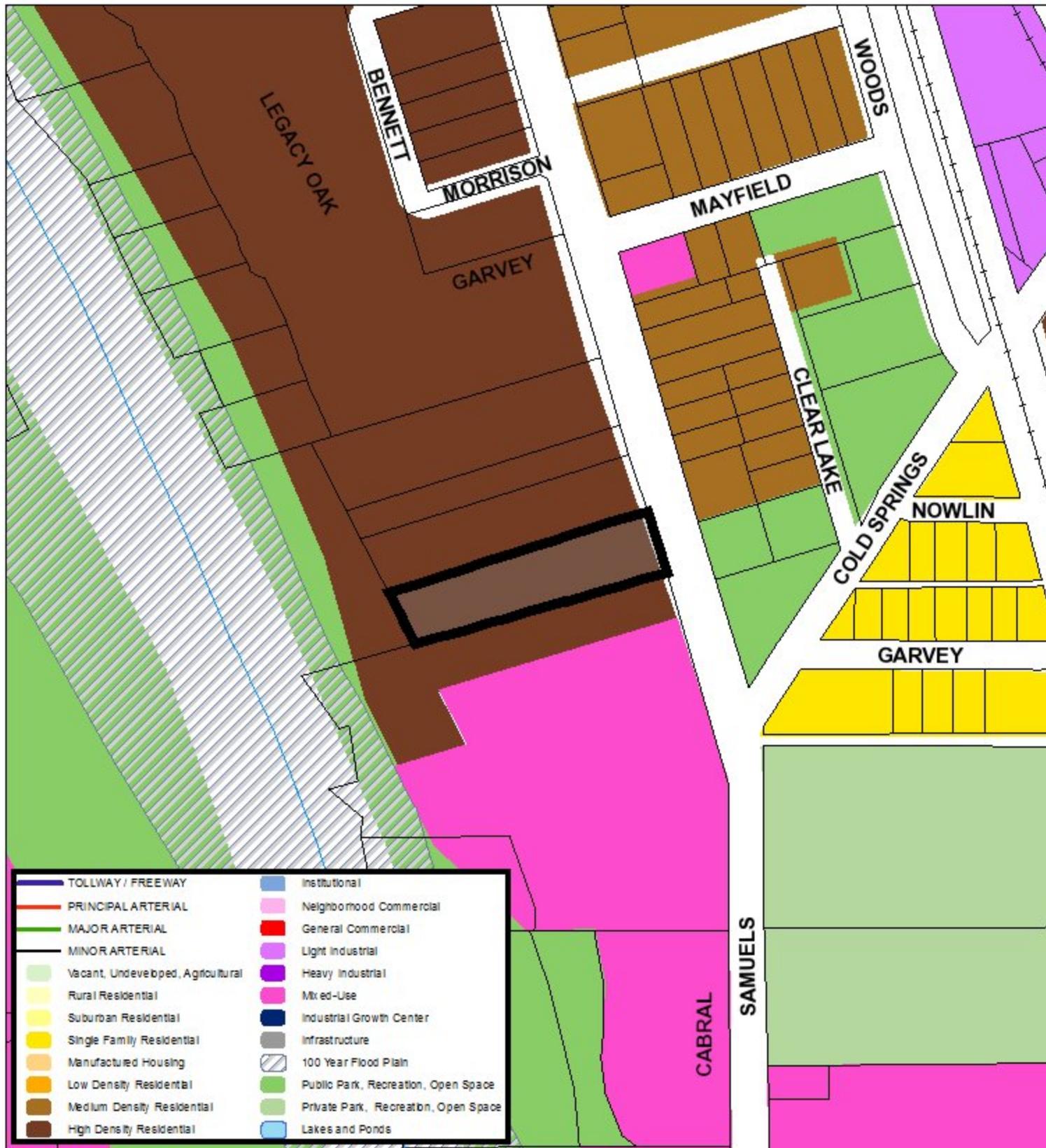


Area Map



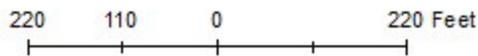
0 1,000 2,000 4,000 Feet

Future Land Use



 TOLLWAY / FREEWAY	 Institutional
 PRINCIPAL ARTERIAL	 Neighborhood Commercial
 MAJOR ARTERIAL	 General Commercial
 MINOR ARTERIAL	 Light Industrial
 Vacant, Undeveloped, Agricultural	 Heavy Industrial
 Rural Residential	 Mixed-Use
 Suburban Residential	 Industrial Growth Center
 Single Family Residential	 Infrastructure
 Manufactured Housing	 100 Year Flood Plain
 Low Density Residential	 Public Park, Recreation, Open Space
 Medium Density Residential	 Private Park, Recreation, Open Space
 High Density Residential	 Lakes and Ponds

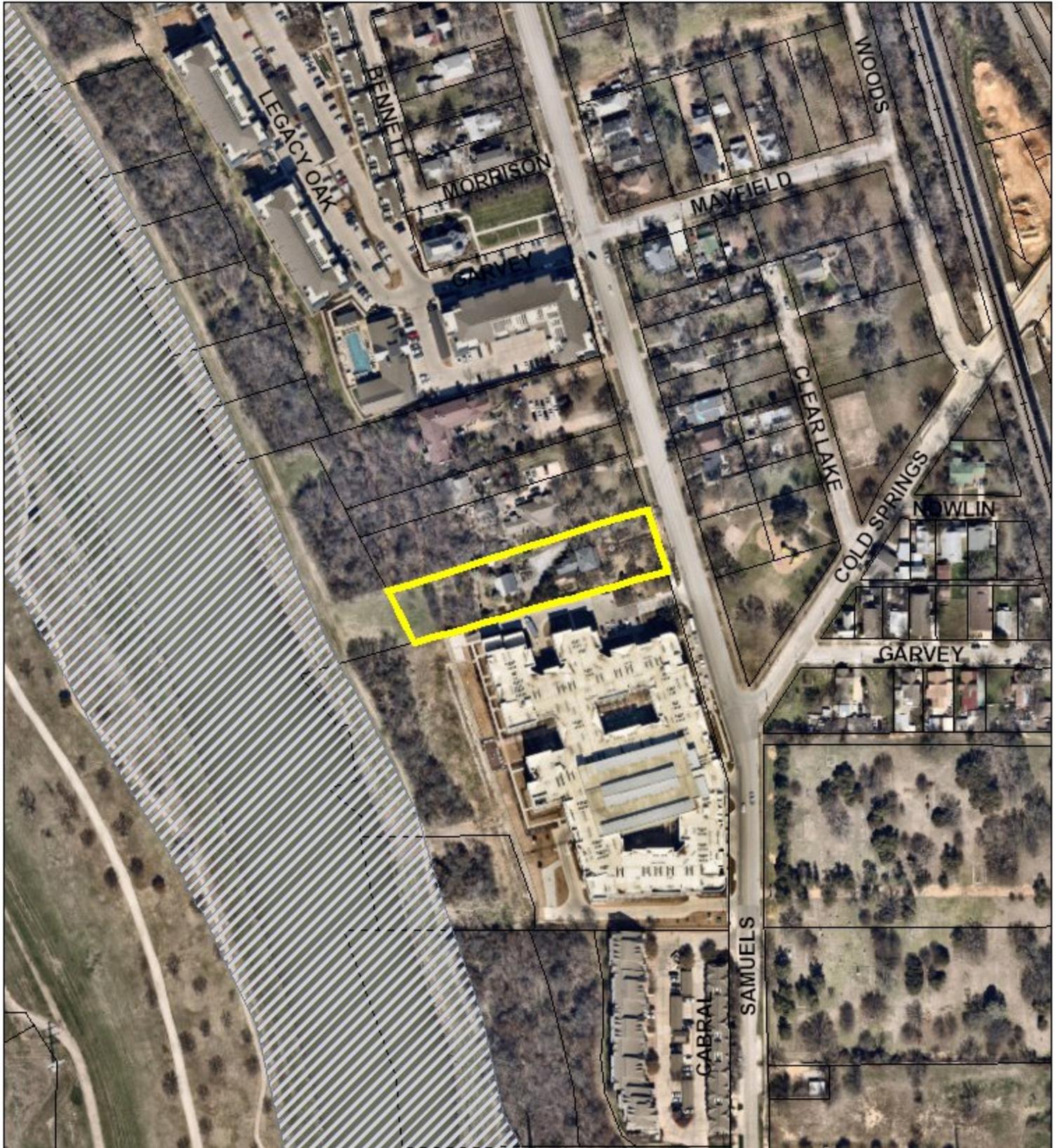
220 110 0 220 Feet



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 140 280 560 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-142

Council District: 8

Zoning Map Amendment

Case Manager: [Alondra Salas-Beltré](#)

Owner / Applicant: Richard Gasca / Alicia Rangel

Site Location: 1108 Riverside Ave.

Acreage: 0.45 acres

Request

Proposed Use: Offices/Bakery

Request: From: "A-5" One-Family

To: "E" Neighborhood Commercial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is not consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Single Family Residential

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 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The subject property is located at the northwest corner of Avenue E and South Riverside Drive. This property is situated in South Riverside Drive Scenic Corridors and Neighborhood Empowerment Zone (NEZ) Area Six.

Before a City initiated zoning change in 2004 to rezone various properties in the area, the site was zoned “FR” General Commercial Restricted and was developed with a mechanic shop. The shop operated as a legal non-conforming for some time. In 2017, the previous owner applied for a legal non-conforming use; however, the application was denied because they could not prove that the business had been operating legally and continuously since the zoning change occurred and went into effect on August 10, 2004.

The new owner proposes to rezone the entire site to “E” Neighborhood Commercial to use the existing building for professional offices and a bakery.

Surrounding Zoning and Land Uses

North “A-5” One-Family / vacant
East (across Riverside Drive) “B” Two-Family / vacant
South “A-5” “A-5” One-Family / vacant
West “A-5” One-Family / single-family home

Recent Zoning History

- ZC-04-191: rezoned to "A-5" Ordinance 16073 on August 10, 2004 as part of a larger City-initiated rezoning

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were notified: (emailed August 27, 2022)

Organizations Notified	
United Communities Association of South Fort Worth	Belmont NA
Glenwood Triangle NA	Parker Essex Boaz NA
Historic Southside NA	East Fort Worth, Inc.
Streams and Valleys Inc	Trinity Habitat for Humanity
Southeast Fort Worth Inc *	East Fort Worth Business Association
Fort Worth ISD	

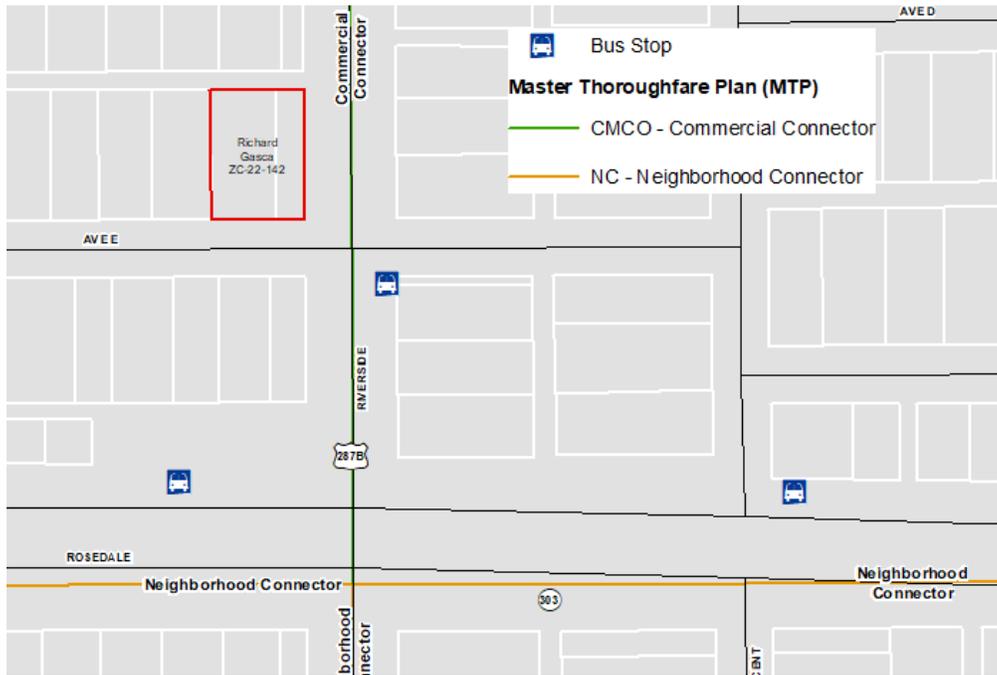
* This Neighborhood Association is located closest to the subject property

Development Impact Analysis

Land Use Compatibility

The applicant is proposing to change the zoning of this property from “A-5” One-Family to “E” Neighborhood Commercial to use the existing building for professional offices and a bakery. Surrounding north and south are zoned “A-5” One-Family and are currently vacant. The property to the east is zoned “B” Two-family and is also vacant. The property to the west is zoned “A-5” and is used as a single-family home occupied by renters.

South Riverside Drive is designated as an arterial roadway on the Master Thoroughfare Plan; additionally, two (2) transit lines run within a block or two of the sites (Trinity Metro bus routes 4 & 25), which supports slightly more intensive development than the current “A-5” One-Family zoning.



The proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southside

The area requested to be rezoned to “E” Neighborhood Commercial is currently earmarked as future single-family residential site. The proposed zoning **is not consistent** with the Comprehensive Plan. If the rezoning request is approved, City staff recommends that the Comprehensive Plan be updated to reflect this change.

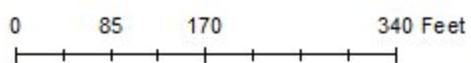
Economic Development Plan

The site is not directly addressed in the 2017 Economic Development Strategic Plan, however one of the desired outcomes of the plan is a more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment. Additionally, the City has adopted the goal of supporting the growth of independent, locally-owned small businesses, including minority-owned firms. Rezoning to allow commercial development of this property could provide a site for exactly this type of desired business endeavor.

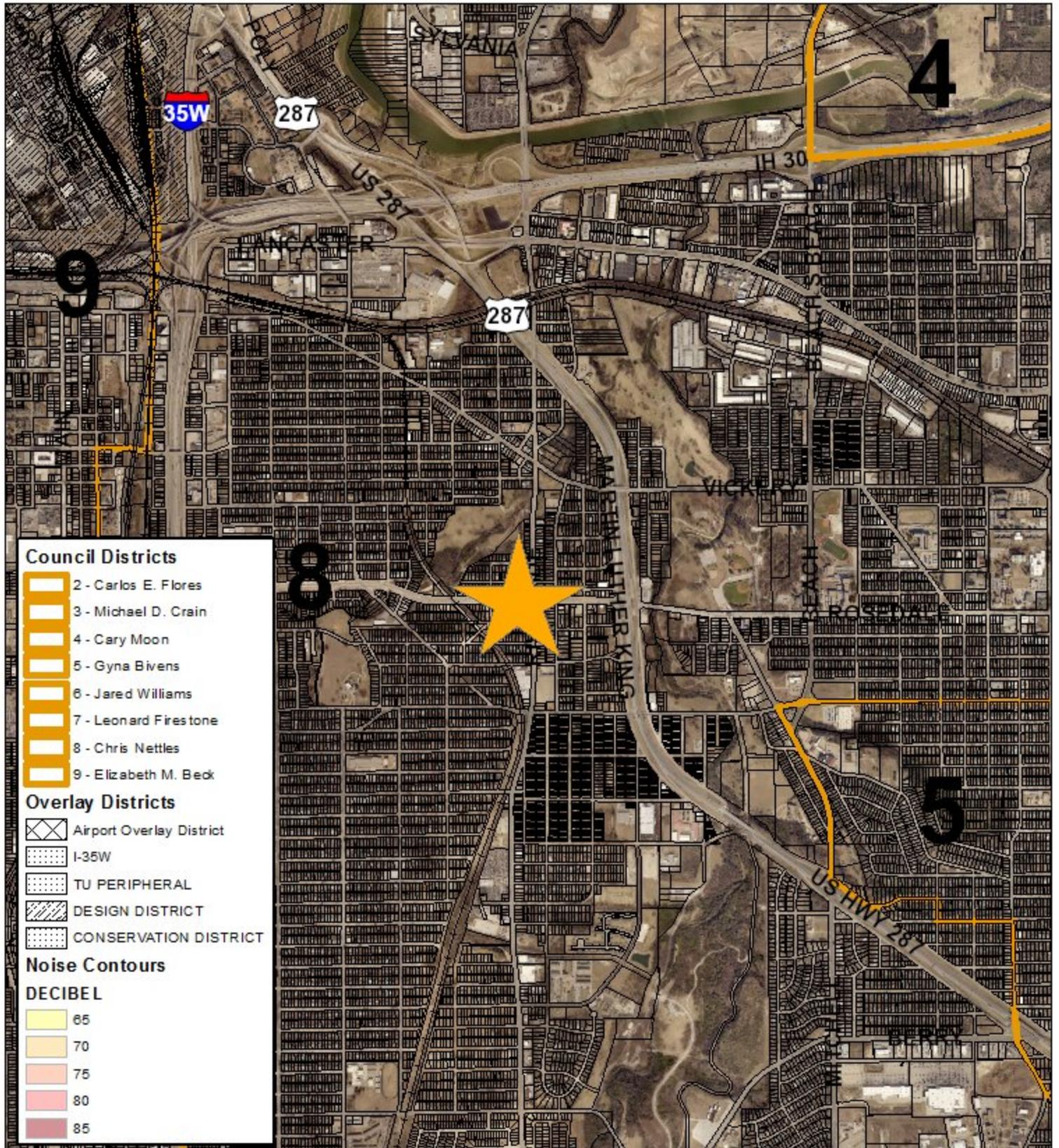


Area Zoning Map

Applicant: Richard Gasca
 Address: 1108 Riverside Drive
 Zoning From: A-5
 Zoning To: FR
 Acres: 0.21103925
 Mapsco: 77M
 Sector/District: Southside
 Commission Date: 9/14/2022
 Contact: 817-392-2495



Area Map



Council Districts

- 2 - Carlos E. Flores
- 3 - Michael D. Crain
- 4 - Cary Moon
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Leonard Firestone
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck

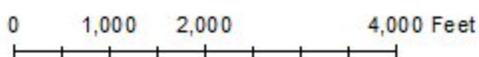
Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

DECIBEL

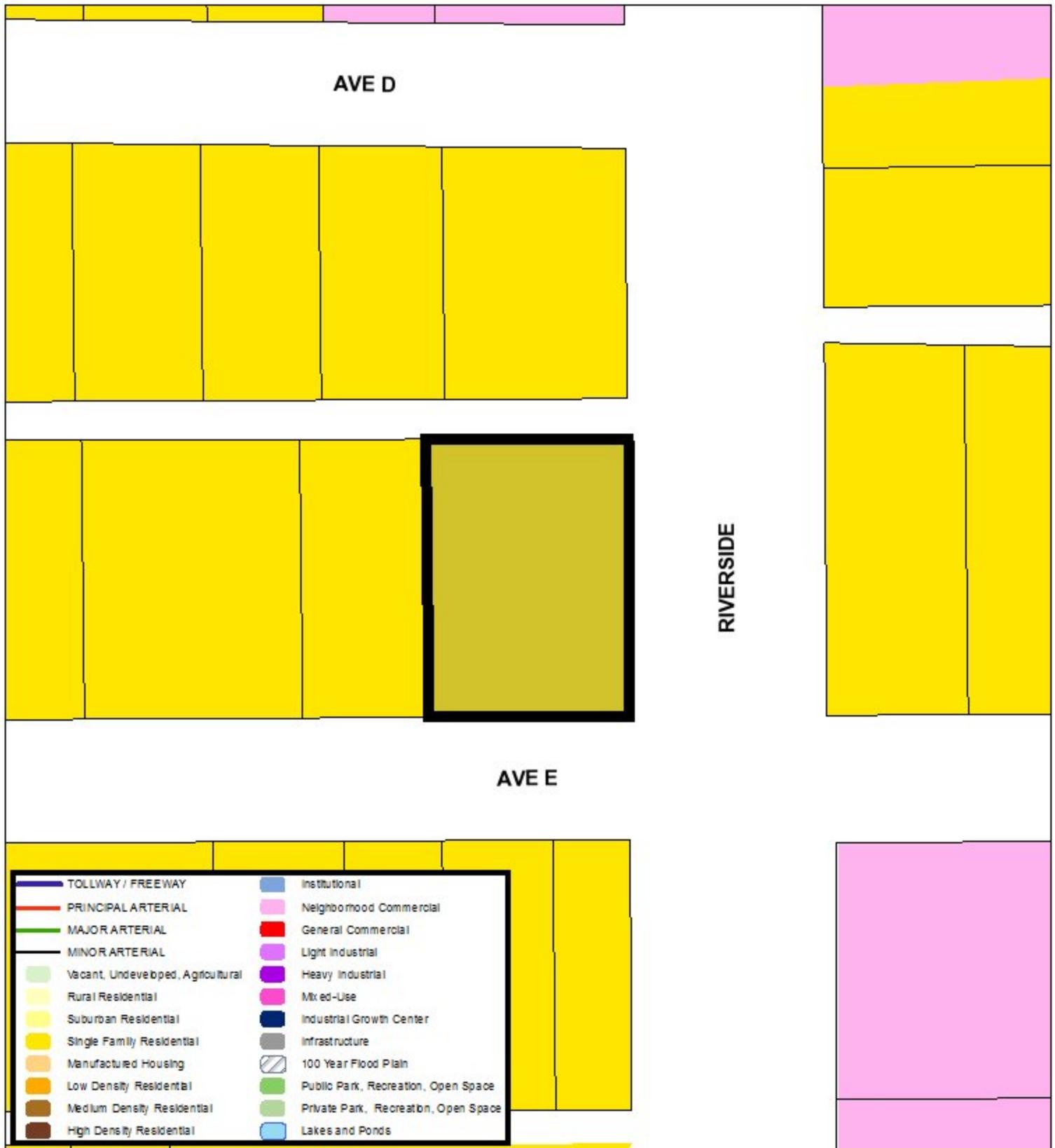
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- 70
- 75
- 80
- 85



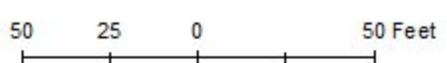


ZC-22-142

Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds



A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 30 60 120 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-143

Council District: 9

Zoning Map Amendment & Site Plan

Case Manager: [Brett Mangum](#)

Owner / Applicant: Southside City Church, Darrel Auvenshine / MJ Thomas Engineering, Mickey Thomas

Site Location: 2606 Hemphill Street

Acreage: 0.831 acres

Request

Proposed Use: Church & Supportive Housing (Four dwelling units)

Request: From: "E" Neighborhood Commercial

To: PD/CR Planned Development for all uses in "CR" Low Density Multifamily, with specific development standards for open space, setbacks adjacent to one-family residential, fencing location, building orientation, and a waiver to the MFD submittal; Site Plan included.

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Mixed Use

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 - c. [Economic Development Plan](#)
 - d. [Site Plan Comments](#)
6. Zoning Map with 300 ft. Notification Area
7. Site Plan & Elevations
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

This property is situated along the Hemphill corridor south of Downtown in Council District 9. There is an existing church building and supporting parking lot on the site, with the remainder of the property currently undeveloped. The applicant is proposing to rezone to accommodate the construction of four tiny homes on the undeveloped rear portion of the site. These proposed new dwelling units will house single mothers experiencing homelessness and their children (one family per home). The families are placed as part of a self-development program led by Southside City Church. An average stay for a family is between two to four years. There is not a maximum length of time per stay. The tiny home village is adjacent to other residences and will be screened from surrounding properties.

The 0.831 acre site which is currently zoned "E" Neighborhood Commercial is proposed to be rezoned as a "PD" Planned Development with a base zoning district of "CR" Low Density Multifamily. A total of four units are included in the development, resulting in a density of just under 5 dwelling units per acre, below the "CR" maximum of 16 dwelling units per acre. Please note that the church use is allowed under any base zoning district, so the zoning change is primarily to facilitate the dwelling units, which are not allowed in base "E" zoning. A narrative provided by the applicant can be found below, for additional context.

Southside City Church

February 18, 2022

HOME

To Whom It May Concern: RE: Zoning Change Request 2606 Hemphill St.

I'm writing to inform you of a wonderful project that is underway to develop a small Tiny Home Community in Fort Worth, Texas. Southside City Church is intentionally located in the heart of the city with a mission to care, equip and empower the urban poor. We do this through a variety of programs such as a weekly gathering/feast for the homeless who live along the Hemphill Corridor, morning devotions every Monday- Friday, one and one and small group discipleship, benevolent giving to assist with food, utilities and other basic needs etc. By far our most intentional effort for 9 years is our discipleship/housing ministry called True Faith Community.

TFC provides individuals and families with housing and intentional support through community. We are a Christian community, teaching others by example how to apply biblical principles in order to excel in life. We currently have 11 homes, serving 26 individuals.

Due to the inflation of the housing market we are exploring creative housing solutions and have determined one real possibility is to build small, gated, Tiny Home Villages on vacant lots throughout the city of Fort. We are proposing a pilot project of this type on the vacant lot adjacent to our main church facility at 2606 Hemphill St. In order to do this we are requesting a conditional use zoning change.

We have worked diligently to inform the community around the proposed project and have secured the support of the Hemphill Corridor Task Force, the South Hemphill Heights Neighborhood Association and the Ryan Place Neighborhood Association. We are in discussions with HOPE FARM to partner with them in this project. Community support is to vital to the success of this project.

Please consider this wonderful opportunity to partner together with us to provide affordable housing in a safe, family oriented community. I am happy to answer any questions. You can contact me at 817-727-5267 or at auvenshine2021@gmail.com.

Sincerely,



Darrel Auvenshine, President of the Board
Southside City Church

Surrounding Zoning and Land Uses

North "E" Neighborhood Commercial / drive-thru restaurant
East "E" Neighborhood Commercial / gas station and convenience store
South "A-5" One Family Residential / residential
West "A-5" One Family Residential / railroad

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were emailed on August 26, 2022:

Organizations Notified	
Ryan Place Improvement Assn	South Hemphill Heights NA*
Hemphill Corridor Task Force	Fairmount NA
Streams & Valleys Inc	Trinity Habitat for Humanity
Berry Street Initiative	Fort Worth ISD

**Located within this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

The subject site is situated along a commercial corridor (Hemphill Street). There is an existing 8,000 square foot building on the side closest to Hemphill which houses a church. The four dwelling units (of 280 square feet each) are proposed to be added to the rear of the property, which backs up to a railroad track to the west. There is some residential adjacency as well, with a portion of the property directly abutting an “A-5” zoned area that is developed as a single family residential neighborhood.

The proposed PD would meet all “CR” Low-Density Multifamily standards, with the exception of open space, setbacks adjacent to one-family residential, fencing location, building orientation, and MFD submittal. A formal listing of these development standards can be found below. Based on the single-family nature of the proposed dwelling units (also known colloquially as ‘tiny homes’), staff is comfortable with granting the development standards as presented since there is not a base zoning district that will capture the proposed development without any waivers.

CR DISTRICT, MULTIFAMILY DEVELOPMENT REQUIREMENTS		
	REQUIRED	PROPOSED
OPEN SPACE	60%	34.23%
UNITS PER ACRES	16 MAXIMUM	4.81 UNITS/AC
FRONT YARD	20'	20' RESIDENTIAL. EXISTING CHURCH IS 10'
REAR YARD	5' MINIMUM	5'
SIDE YARD		
INTERIOR LOT	5'	5'
CORNER LOT	20' MIN ADJACENT TO SIDE STREET	NA
SETBACK TO ADJACENT 1 OR 2 FAMILY RESIDENTIAL	3:1 FROM SLAB TO TOP OF SILL PLAT OR 2:1 IN OVERALL HEIGHT WHEN MEASURED FROM THE LOWEST FINISHED GRADE TO THE PEAK OF THE ROOF, WHICH IS GREATER; 30' MIN	5'
HEIGHT	36' MAX, SLAB TO TOP PLATE	10'

Plus additional development standards for: allowing fencing between the buildings & street, to not place the longest side of the building facing the street, and to waive the MFD submittal

Based on the quasi-single family nature of this style of development, and the relatively low impact of the tiny homes, the proposed zoning is **compatible** with the surrounding land uses.

Comprehensive Plan Consistency – Southside

The 2022 Comprehensive Plan designates the subject property as Mixed Use on the Future Land Use [FLU] Map. Low Density Multifamily is explicitly called out in the list of zoning classifications that are acceptable within this FLU designation. Adding the supportive housing on the same tract as the church use provides a true mix of uses that would otherwise not be present. The proposed zoning is **consistent** with the Comprehensive Plan.

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The site is not within any of the six target areas that were studied in depth for their redevelopment potential. The Economic Development Plan does not address housing specifically, and is tailored towards addressing the growth strategies for commercial and industrial properties. There are no economic development strategies that directly support or contradict this rezoning request.

Zoning and Land Use (Transmitted to applicant on 8/31)

- ~~Add case reference ZC 22 143~~
- ~~Fix Landscaping note to reference Section 4.710.d.6 instead of 6.301~~
- ~~Fix Urban Forestry Section reference to 6.302 instead of 3.302~~
- ~~Remove blank note #3~~
- ~~Fix railroad area label on western side from [Existing Zoning: E, Use Residential] to [Existing Zoning A-5, Use Railroad]~~
- ~~Provide a diagram showing percent of the lot being counted towards open space~~
- ~~Remove two existing waivers and replace with the following development standards: open space, setbacks adjacent to one family residential, fencing location, building orientation, and a waiver to the MFD submittal~~

Fire Department Comments

FWFD - (Lt. Donna York, donna.york@fortworthtexas.gov)

FYI: Fire Hydrant Requirements:

*600 ft. (300 ft. radius) of space between hydrants along a direct horizontal line, and

*500 ft. hose lay distance to all points of building (measured along a path and then around the exterior walls of each structure)

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 507.5.1(2) Fire Hydrants

Maximum distance from Fire Department Connection (FDC): ? 150 ft. for a standpipe system, and/or a sprinkler system.

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 507.5.1(3) Fire Hydrants

Access may be required from Travis Avenue to accommodate hydrant hose lay or addressing. Access can be gated with Knox Lock. Vehicle gates required to be a minimum of 20' wide when fully opened and equipped with Knox Locks.

IFC 2021/CFW Adopted Amendments Ordinance #25388-03-2022 Section 503.6

Failure to recognize violations of the fire code by the fire code official does not waive the requirement of meeting minimum requirements of the fire code in the future.

It is the applicant's and the owner's responsibility to meet all minimum fire code requirements at all times.

The City of Fort Worth has adopted the 2021 International Fire Code as its current fire code at the time of this review. The City of Fort Worth has also adopted Amendments that are available by searching the City Secretary's site for Ordinance #25388-03-2022.

Water

Melissa Harris, 8/18 - Water and sewer extensions are required for each proposed plat lot.

Transportation/Public Works

Stated they cleared workflow in Accela, but no comments provided

TPW Stormwater

Stated they cleared workflow in Accela, but no comments provided

Platting

No response provided

Building Plan Review

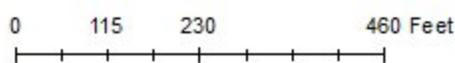
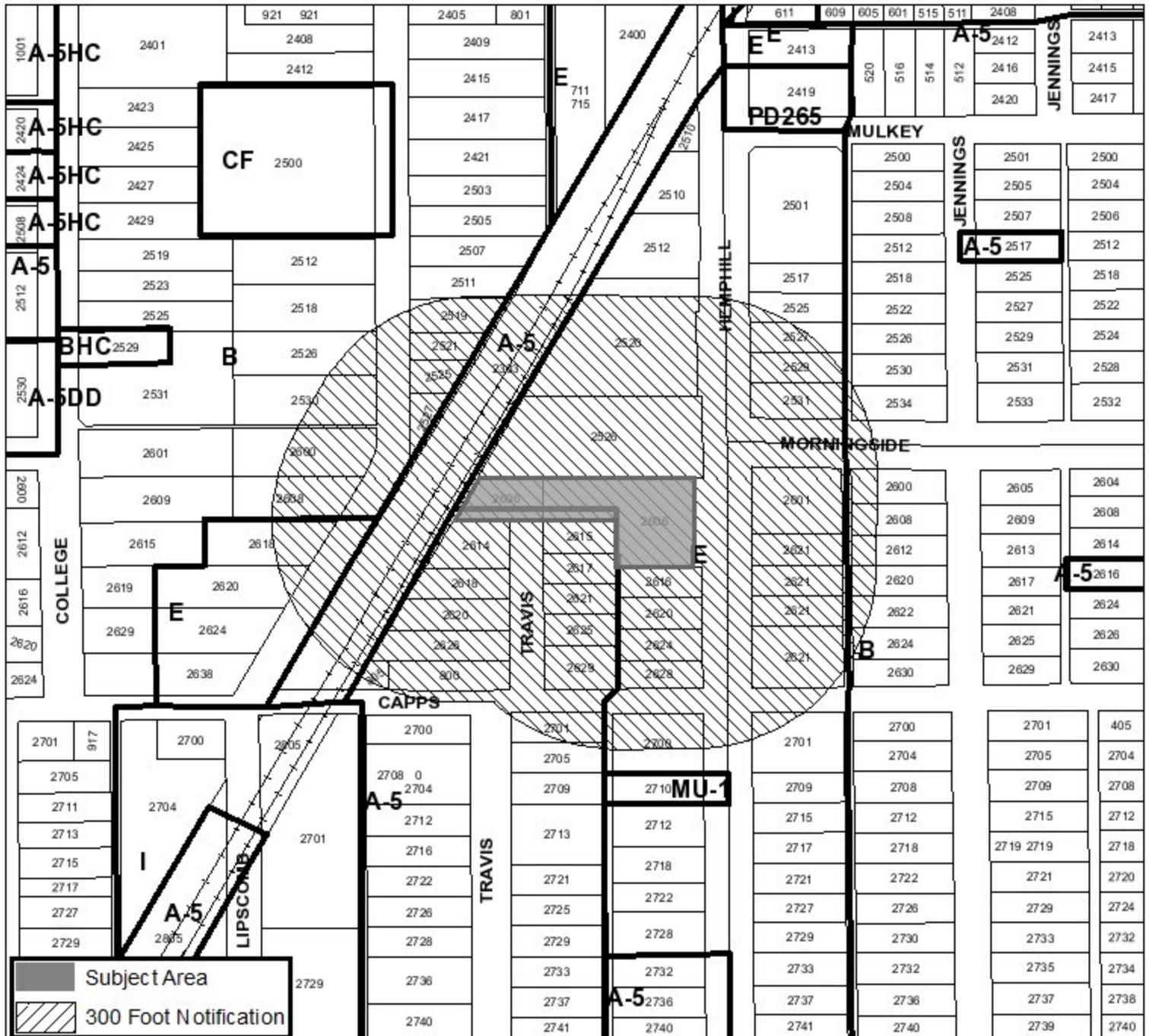
No response provided

(Comments made by Platting (Subdivision Ordinance), Transportation/Public Works, Fire, Park & Recreation, and Water Department staff cannot be waived through the Zoning Commission and City Council. Approval of the zoning site plan does not constitute the acceptance of conditions.)

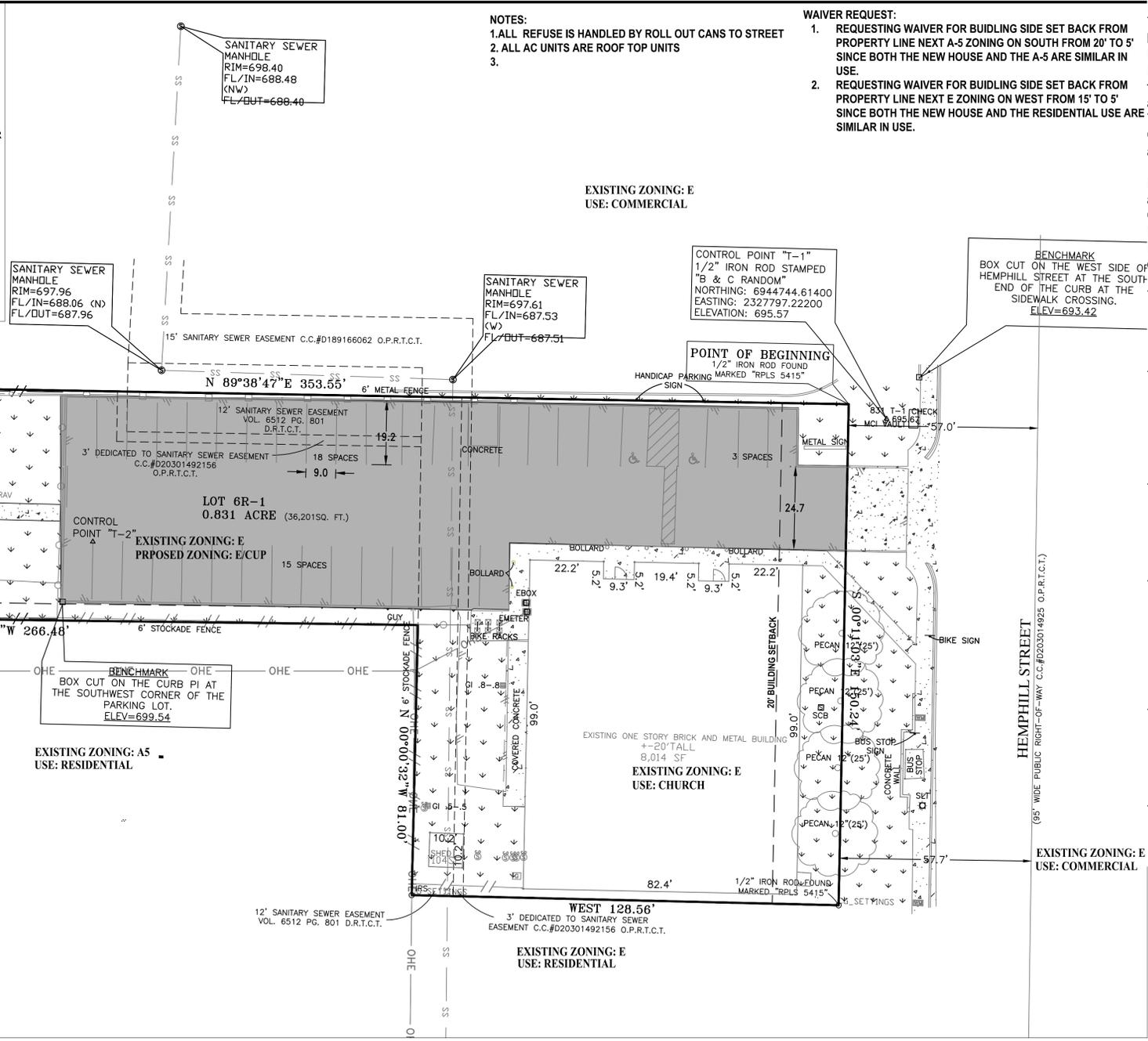


Area Zoning Map

Applicant: Southside City Church
 Address: 2606 Hemphill Street
 Zoning From: E
 Zoning To: Add Conditional Use Permit for 4 tiny homes
 Acres: 0.82635997
 Mapsco: 77S
 Sector/District: Southside
 Commission Date: 9/14/2022
 Contact: 817-392-8043



LEGEND		
	EXISTING ASPHALT PAVEMENT	
	PROPERTY LINE	
	CENTER LINE ROAD	
	SAW CUT/EASEMENT	
	GAS	
	EXISTING OVERHEAD ELECTRIC	
	EXISTING UNDERGROUND ELECTRIC	
	EXISTING CABLE TV	
	EXISTING FIBER OPTIC LINE	
	EXISTING TELEPHONE LINE	
	EXISTING SANITARY SEWER	
	EXISTING WATER LINE	
	EXISTING BARBWIRE FENCE	
	CHAIN LINK FENCE	
	ELECTRIC FENCE	
	WOOD FENCE	
	METAL FENCE	
	STORM SEWER PIPE (OUTSIDE PIPE DIA. SHOWN)	
	EXISTING FEATURES: FIRE HYDRANT	
	EXISTING FEATURES: WATER VALVE	
	EXISTING FEATURES: GAS METER	
	EXISTING FEATURES: WATER METER	
	EXISTING FEATURES: ASPHALT	
	EXISTING FEATURES: POWER POLE	
	EXISTING FEATURES: MAILBOX	
	EXISTING FEATURES: IRON PIN	
	EXISTING FEATURES: TRAVERSE POINT	
	EXISTING FEATURES: SIGN	
	EXISTING FEATURES: FENCE CORNER	
	EXISTING FEATURES: LIGHT POLE	
	EXISTING FEATURES: GUY WIRE	
	EXISTING FEATURES: TREE	
	EXISTING FEATURES: SHRUB	
	EXISTING FEATURES: TRANSMISSION TOWER	
	PROPOSED FEATURES: FIRE HYDRANT	
	PROPOSED FEATURES: WATER VALVE	
	PROPOSED FEATURES: FIRE RISER	
	PROPOSED FEATURES: PLUG	
	PROPOSED FEATURES: WATER METER	
	PROPOSED FEATURES: IRRIGATION METER	
	PROPOSED FEATURES: BACKFLOW	
	PROPOSED FEATURES: CURB INLET	
	PROPOSED FEATURES: GRATE INLET	
	PROPOSED FEATURES: STORM MANHOLE	
	PROPOSED FEATURES: SEWER MAHOLE	
	PROPOSED FEATURES: DOOR	



NOTES:
 1. ALL REFUSE IS HANDLED BY ROLL OUT CANS TO STREET
 2. ALL AC UNITS ARE ROOF TOP UNITS
 3.

WAIVER REQUEST:
 1. REQUESTING WAIVER FOR BUILDING SIDE SET BACK FROM PROPERTY LINE NEXT A-5 ZONING ON SOUTH FROM 20' TO 5' SINCE BOTH THE NEW HOUSE AND THE A-5 ARE SIMILAR IN USE.
 2. REQUESTING WAIVER FOR BUILDING SIDE SET BACK FROM PROPERTY LINE NEXT E ZONING ON WEST FROM 15' TO 5' SINCE BOTH THE NEW HOUSE AND THE RESIDENTIAL USE ARE SIMILAR IN USE.

BEING 0.831 acre of land situated in the J. N. ELLIS SURVEY, Abstract No. 463, Fort Worth, Tarrant County, Texas, and being the same tracts of land conveyed to Southside City Church, by the deeds recorded in County Clerk's File No. D219161498, and D220199348, of the Official Public Records of Tarrant County, Texas, and said 0.831 acre of land being comprised of all of Lot 6R, Block 2, Blanchard Addition, to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 8053, of the Plat Records of Tarrant County, Texas, and a portion of Lots 6 and 7, Block 2, Blanchard Addition, to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in Volume 106, Page 137, of the Deed Records of Tarrant County, Texas. Said 0.831 acre of land being more particularly described by metes and bounds, as follows:

BEGINNING at a 1/2" iron rod marked "RPLS 5415" found at the Northeast corner of said Lot 6R, and said point lying in the South boundary line of Lot 5R1, Block 2, Blanchard Addition, to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in County Clerk's File No. D189166062, of the Official Public Records of Tarrant County, Texas, and said POINT OF BEGINNING lying in the West right-of-way line of Hemphill Street (a variable width public right-of-way);

THENCE S 00° 11' 03" E 150.24 feet, along the East boundary line of said Lot 6R and the West right-of-way line of said Hemphill Street, to a 1/2" iron rod marked "RPLS 5415" found at the Southeast corner of said Lot 6R, and said point lying in the North boundary line of Lot 9, Block 2, of said Blanchard Addition (Volume 106, Page 137);

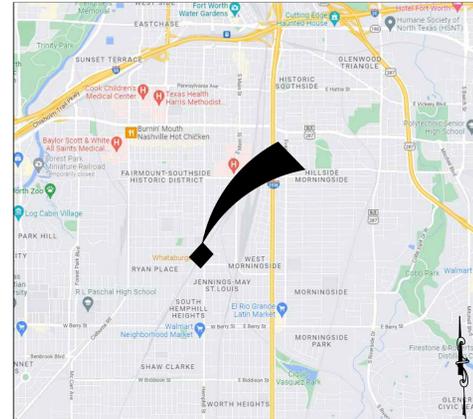
THENCE WEST 128.56 feet, along the South boundary line of said Lot 6R and the North boundary line of said Lot 9, to a 1/2" iron rod marked "Brittain & Crawford" set at the Northwest corner of said Lot 6R and the Northwest corner of said Lot 9, and said point lying in the East boundary line of Lot 5RA, Block 1, Garret's Second Addition, to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in County Clerk's File No. D203185040, of the Official Public Records of Tarrant County, Texas;

THENCE N 00° 00' 32" W 81.00 feet, along the most Easterly West boundary line of said Lot 6R and the East boundary line of said Lot 5RA, and the East boundary line of Lot 5RB, Block 1, of said Garret's Second Addition, to a 1/2" iron rod marked "Brittain & Crawford" set at the Northeast corner of said Lot 5RB, and said point being an ELL corner of said Lot 6R;

THENCE S 89° 22' 26" W 266.48 feet, along the South boundary line of said Lot 6R and the South boundary line of said Southside City Church Tract (D220199348), and severing the aforesaid Lot 7, Block 2, Blanchard Addition, to a 1" by 1" bolt found lying at the Northwest corner of Lot 6, Block 2, Garret's Second Addition, to the City of Fort Worth, Tarrant County, Texas, according to the plat recorded in Volume 204A, Page 125, of the Deed Records of Tarrant County, Texas, and said point lying in the Southeast right-of-way line of a 100 foot wide Gulf Colorado and Santa Fe Railroad right-of-way;

THENCE N 30° 22' 21" E 81.10 feet, along the Northwest boundary line of said Lots 6 and 7, Block 2, Blanchard Addition and the Southeast right-of-way of said Gulf Colorado and Santa Fe Railroad right-of-way, to a 1/2" iron rod marked "Brittain & Crawford" set at the Northwest corner of said Lot 6, and the Southwest corner of the aforesaid Lot 5R1, Block 2, Blanchard Addition;

THENCE N 89° 38' 47" E 353.55 feet, along the South boundary line of said Lot 5R1 and the North boundary line of said Lot 6, Block 2, Blanchard Addition, and said Lot 6R, Block 2, Blanchard Addition, to the POINT OF BEGINNING containing 0.831 acre (36,201 square feet) of land.



LOT 6R, PART OF 6 & PART OF 7, BLOCK 2
 BLANCHARD ADDITION
 0.831 ACRES
 DATE: JULY 29, 2022

DIRECTOR OF DEVELOPMENT SERVICES DATE

PAVING LEGEND	
	CONCRETE SIDEWALKS
	ASPHALT PAVEMENT
	GRASS

OWNER/DEVELOPER
 SOUTHSIDE CITY CHURCH
 2606 HEMPHILL STREET
 FORT WORTH, TX 76110
 PHONE: 817-727-5267
 DARREL AUVENSHINE
 EMAIL: DAUVENSHINE@AOL.COM

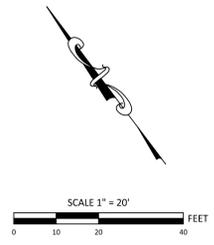
CIVIL ENGINEER:
 MJ THOMAS ENGINEERING
 4700 BRYANT IRVIN CT.
 FORT WORTH, TEXAS 76107
 PHONE 817-732-9839
 MICHAEL A. THOMAS, P.E.
 EMAIL: MICKEYT@MJTHOMASENG.COM

SURVEYOR:
 BRITAIN & CRAWFORD
 LAND SURVEYING & TOPOGRAPHIC MAPPING
 P.O. BOX 11374 * 3908 SOUTH FREEWAY
 FORT WORTH, TEXAS 76110
 PHONE 817-926-0211
 EMAIL: ADMIN@BRITAIN-CRAWFORD.COM

ARCHITECT:
 CORGAN
 401 NORTH HOUSTON STREET
 DALLAS, TEXAS 75202
 PHONE 214-552-8538
 EMAIL: JASON.MELLARD@CORGAN.COM



PRELIMINARY
 FOR REVIEW ONLY
 THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF, MICHAEL A. THOMAS 93840 08/01/22
 PE NO. DATE



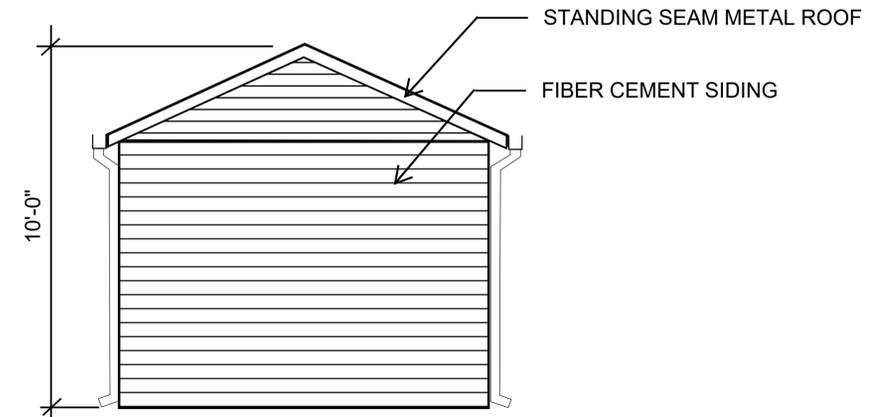
THIS PROJECT WILL COMPLY SECTION 6.301, LANDSCAPING
 THIS PROJECT WILL COMPLY WITH SECTION 3.302, URBAN FORESTRY
 ALL SIGNAGE WILL CONFORM TO ARTICLE 4, SIGNS
 ALL PROVIDED LIGHTING WILL CONFORM TO THE LIGHTING CODE

SOUTH SIDE CITY CHURCH
TINY HOME VILLAGE
 SITE 2606 HEMPHILL STREET
 FORTWORTH, TEXAS 76110

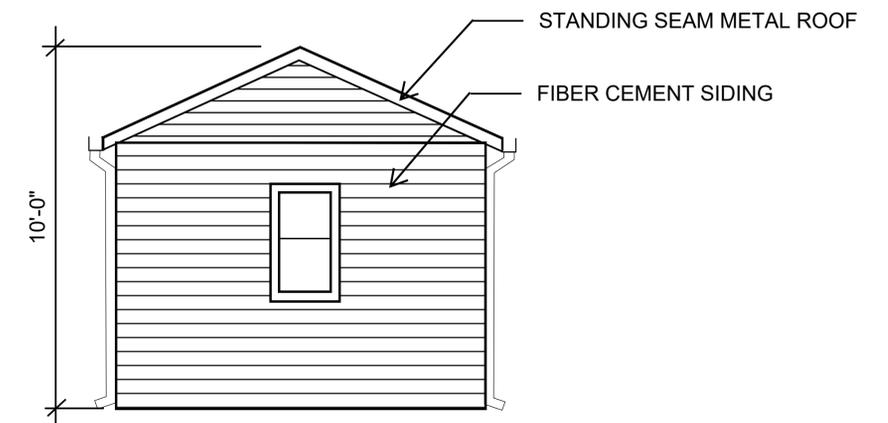
ZONING CASE ZC22-



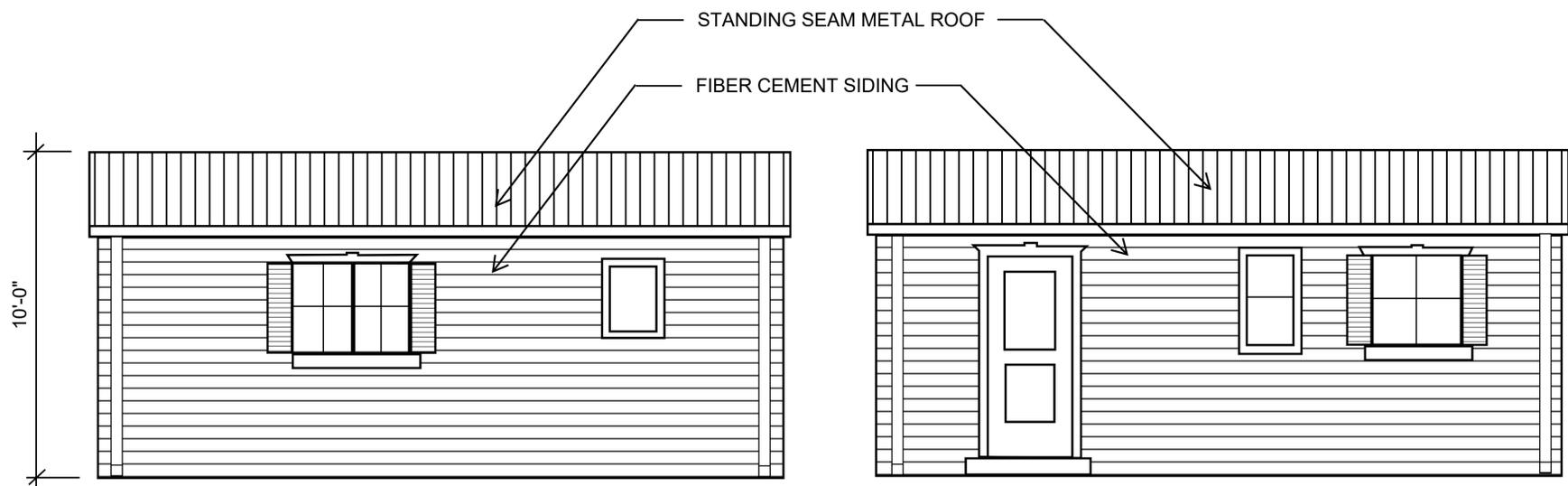
RENDERING



5 LEFT ELEVATION
3/8" = 1'-0"

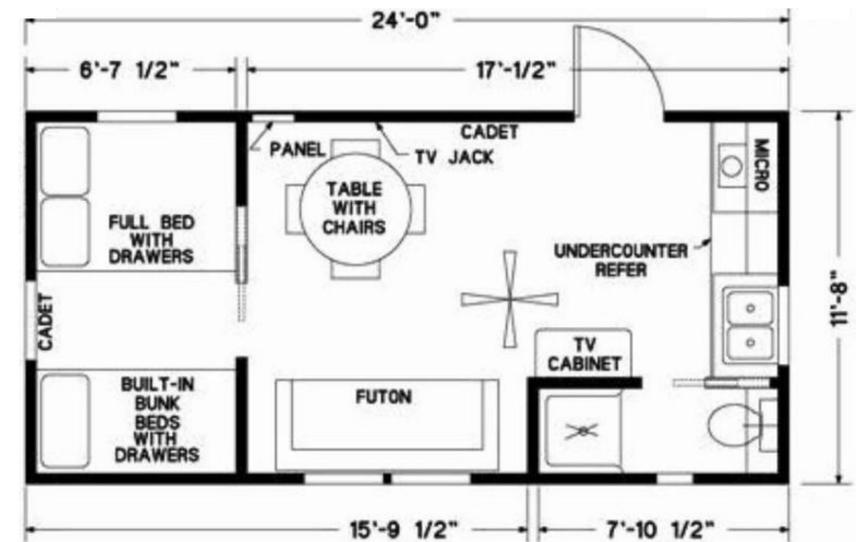


4 RIGHT ELEVATION
3/8" = 1'-0"



3 BACK ELEVATION
3/8" = 1'-0"

2 FRONT ELEVATION
3/8" = 1'-0"



1 TYP. TINY HOME FLOOR PLAN
3/8" = 1'-0"

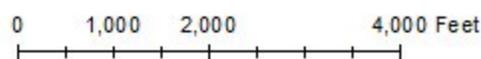
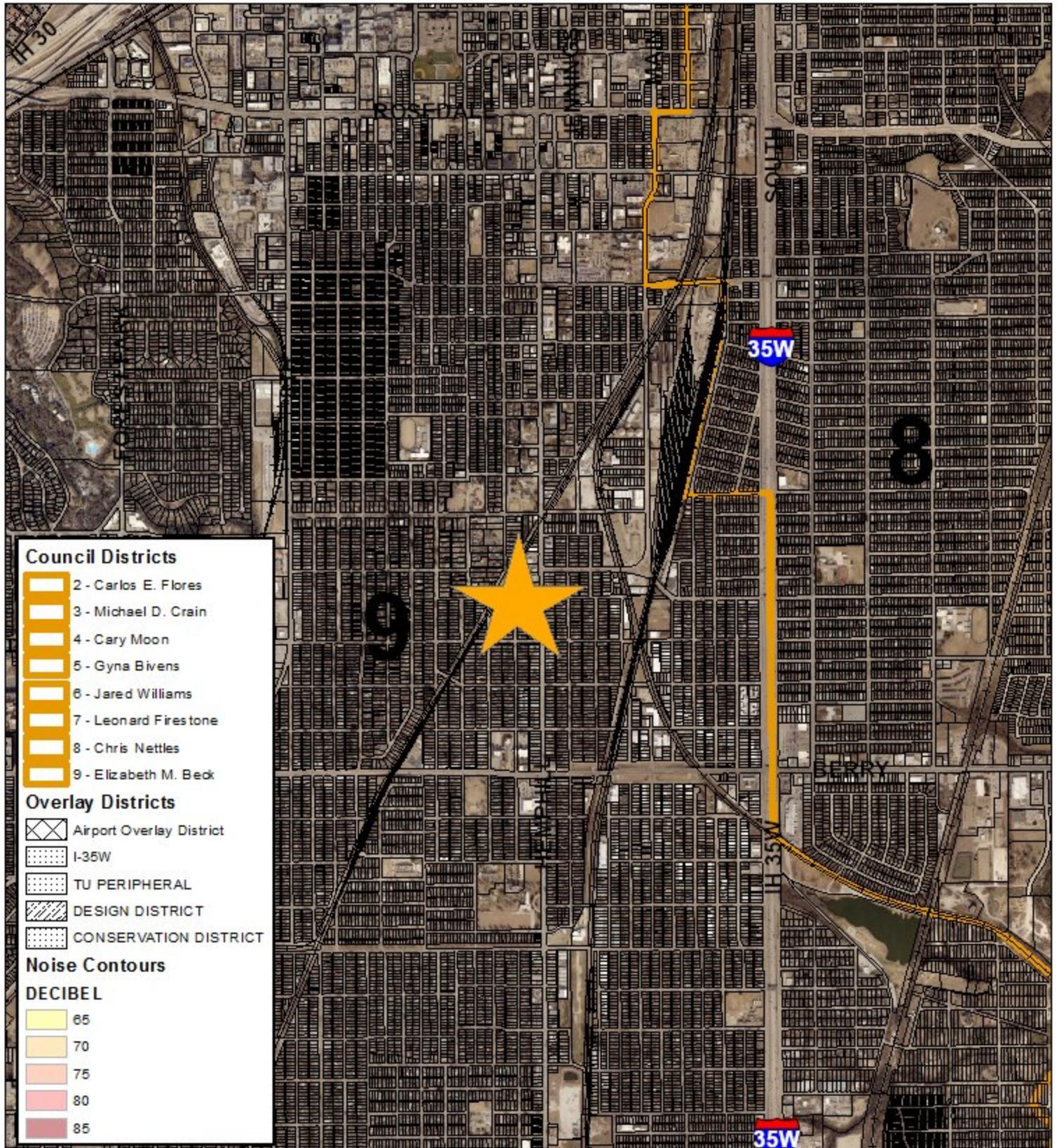
08/01/2022

SOUTHSIDE CITY CHURCH TINY HOME VILLAGE
2606 HEMPHILL STREET

FLOOR PLAN AND ELEVATIONS

A-1

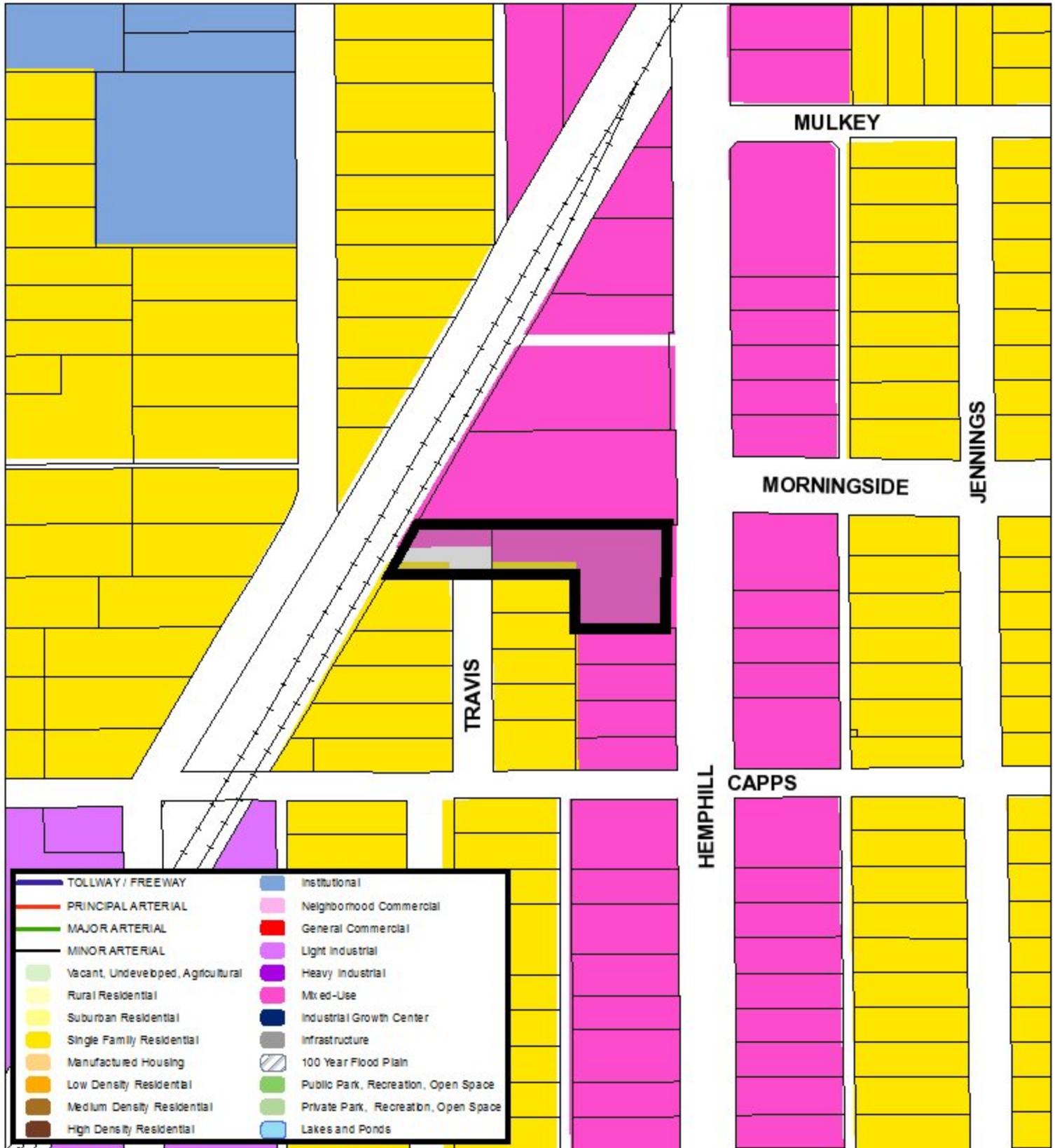
Area Map





ZC-22-143

Future Land Use

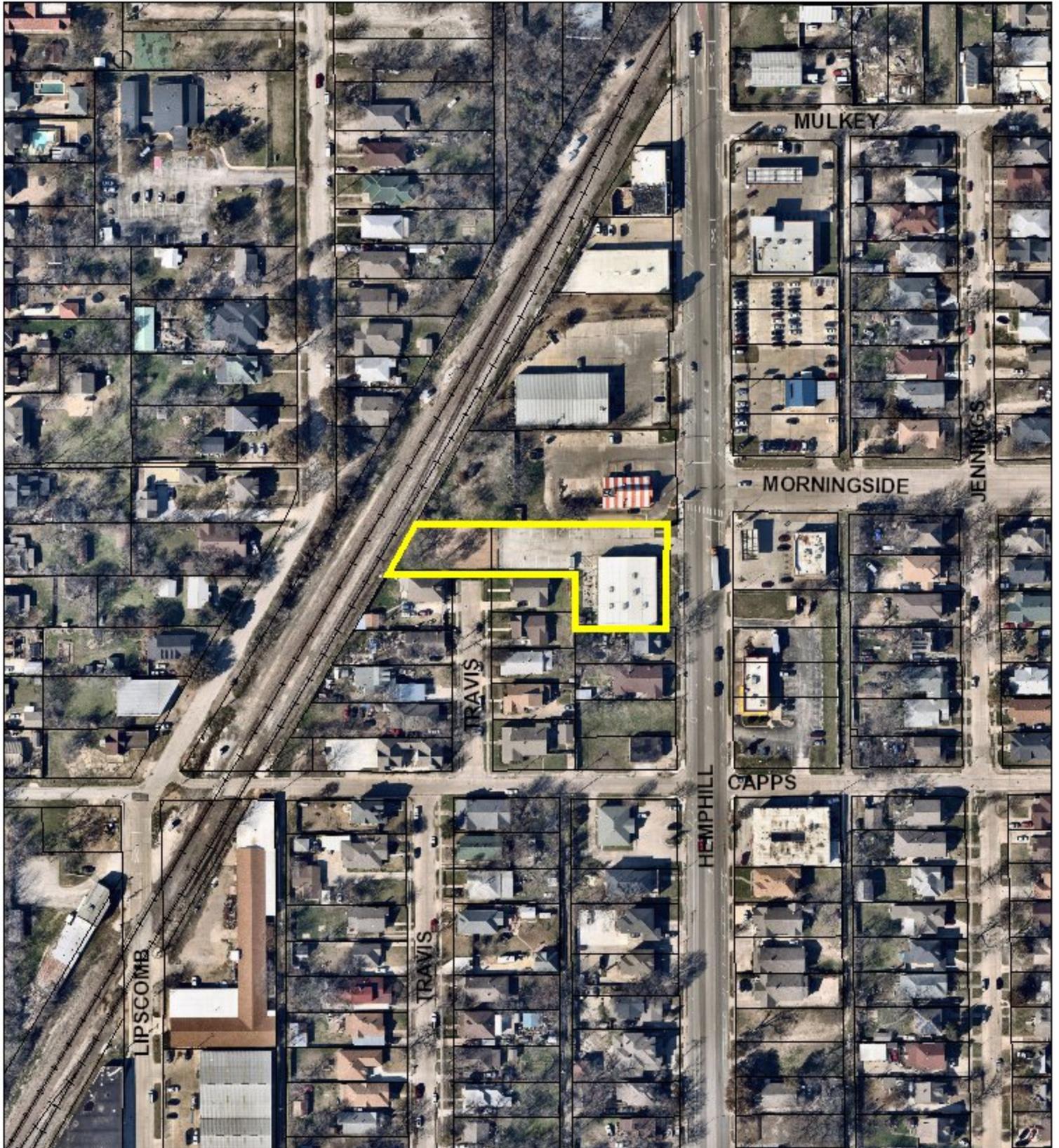


180 90 0 180 Feet

A Comprehensive Plan shall not constitute zoning regulations or establish zoning district boundaries. (Texas Local Government Code, Section 213.005.) Land use designations were approved by City Council on March 6, 2018.



Aerial Photo Map



0 120 240 480 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-145

Council District: 5

Zoning Map Amendment

Case Manager: [Brett Mangum](#)

Owner / Applicant: LCG2I Trinity, LLC

Site Location: 13455 Ferris Street

Acreage: 13.44 acres

Request

Proposed Use: Warehouse

Request: From: “PD 247” Planned Development- Specific Use to allow Contractor’s Storage Yard
To: “I” Light Industrial

Recommendation

Land Use Compatibility: Requested change **is compatible**

Comprehensive Plan Consistency: Requested change **is consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Light Industrial

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2. [Surrounding Zoning and Land Uses](#)
3. [Recent Zoning History](#)
4. [Public Notification](#)
5. [Development Impact Analysis](#)
 - a. [Land Use Compatibility](#)
 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Concept Plan
8. Area Map
9. Future Land Use Map
10. Aerial Photograph

Project Description and Background

The subject site is located at the southeast corner of Tarrant Main Street and Trinity Boulevard in Council District 5. The existing use of property is outdoor storage for construction materials and equipment, and the existing zoning on the site is "PD 247" Planned Development-Specific Use to allow Contractor's Storage Yard, which was originally approved in 1997. The proposed redevelopment of property includes rezoning to "I" Light Industrial to accommodate the construction of a proposed 133,000 square foot industrial warehouse with new vehicular parking and trailer storage area.

A concept plan was included in the application. This shows the traffic entering and exiting from Tarrant Main Street and not allowing access through the residential areas off of Ferris Street. The applicant has been made aware of the development standards for "I" zones during a Pre-Development Conference held on June 2, 2022. The concept plan does not appear to have any red flags, although the applicant should clarify that they will meet the buffering requirements where industrial zones directly abut residential zones. The southeastern most corner between the existing lots 9 & 10 shares a direct adjacency between "A-5" and the proposed "I" zones, and requires 50 foot minimum building setback including a 20 foot landscaped bufferyard in addition to a 6 foot high wood or masonry screening fence. Also, the trees shown in powerline easement on the concept plan should be removed as these plantings will not likely be permitted in this area if it remains as a transmission easement.

Surrounding Zoning and Land Uses

North "F" General Commercial / restaurant
East "C" Medium Density Multifamily & "PD-1197" / apartments & mini warehouses
South "AG" Agricultural & "A-5" One-Family Residential / single family residential
West "AG" Agricultural & "R2" Townhouse/Cluster / single family residential & townhomes

Recent Zoning History

- None

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were emailed on August 26, 2022:

Organizations Notified	
Stone Creek Addition HOA*	East Fort Worth, Inc
DFW International Airport	Hurst Euless Bedford ISD
Streams and Valleys Inc.	Trinity Habitat for Humanity

**Located closest to this registered Neighborhood Association*

Development Impact Analysis

Land Use Compatibility

While the area is adjacent to residential on three sides, there are road right of ways separating the subject site from the residential zoned areas, with the exception of the far southeast corner where supplemental screening measures would be required. Property to the north is non-residential. The current use of the site is industrial, and the proposed use would be industrial. All things considered, the intensity could be considered to be lower with the new warehouse building, since everything will be indoors rather than outdoors as it is currently.

The proposed zoning **is compatible** with surrounding land uses.

Comprehensive Plan Consistency – Eastside

The 2022 Comprehensive Plan currently designates the subject property as future Light Industrial. “I” zoning is listed as an acceptable zoning district within future Light Industrial areas.

FUTURE LAND USE AND ZONING CLASSIFICATIONS

FUTURE LAND USE	DEFINITION	ZONING
INDUSTRIAL		
Light Industrial	Warehousing, transportation, light assembly, outside storage	MU-2 , I, All Commercial

Economic Development Plan

The 2017 Economic Development Strategic Plan identified a vision, goals, and strategies to facilitate the success and growth of the City of Fort Worth. The most recent update to this plan was approved by the City Council in January 2022. A Performance Metric regarding the City’s tax base is included below for reference:

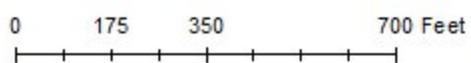
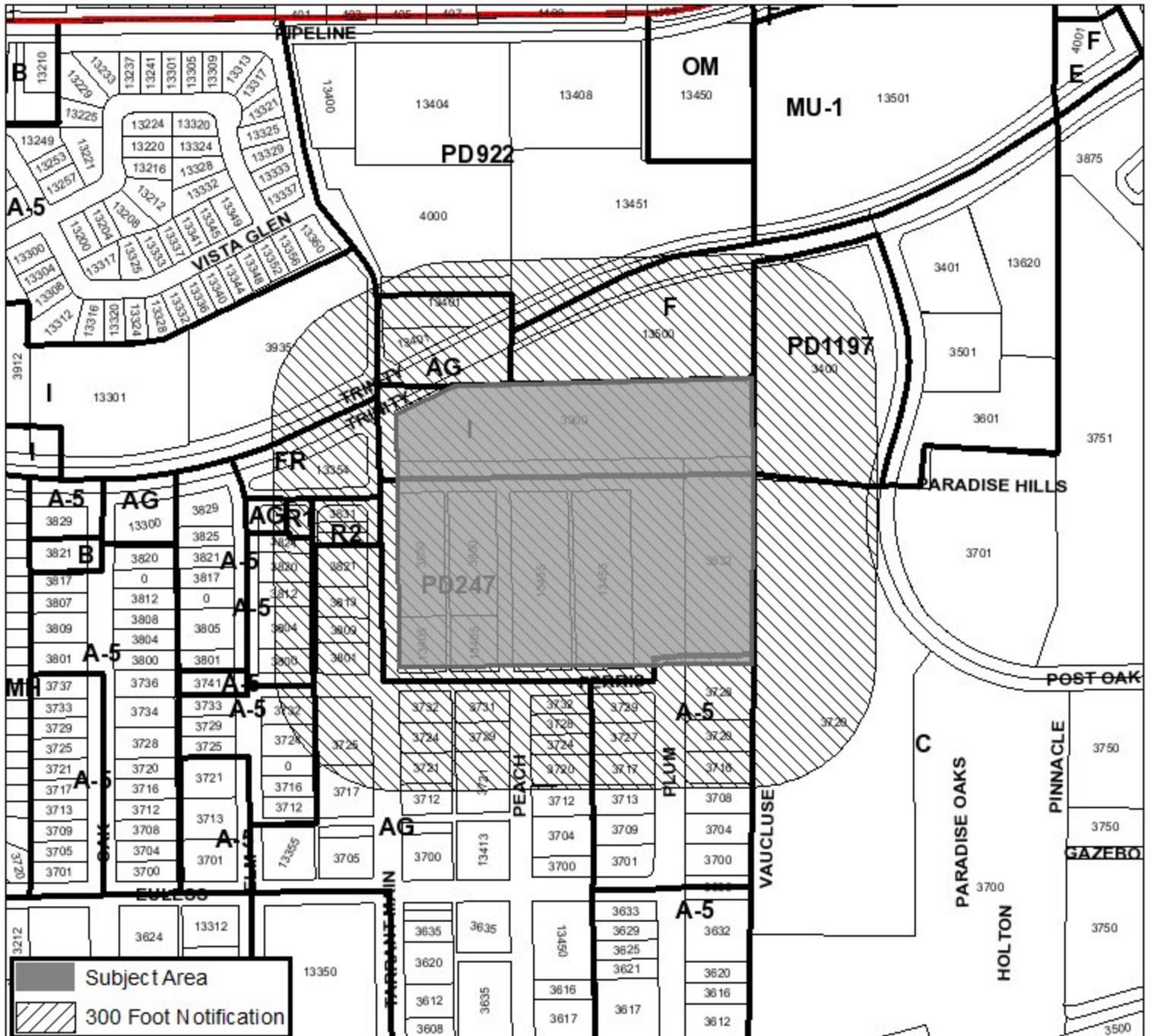
A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.

Approving the zoning change to “I” would open the possibility to construct the warehouse, which will be of added taxable value compared to the current on-site operations. This will add value to the City’s tax base which will allow more services to be funded.

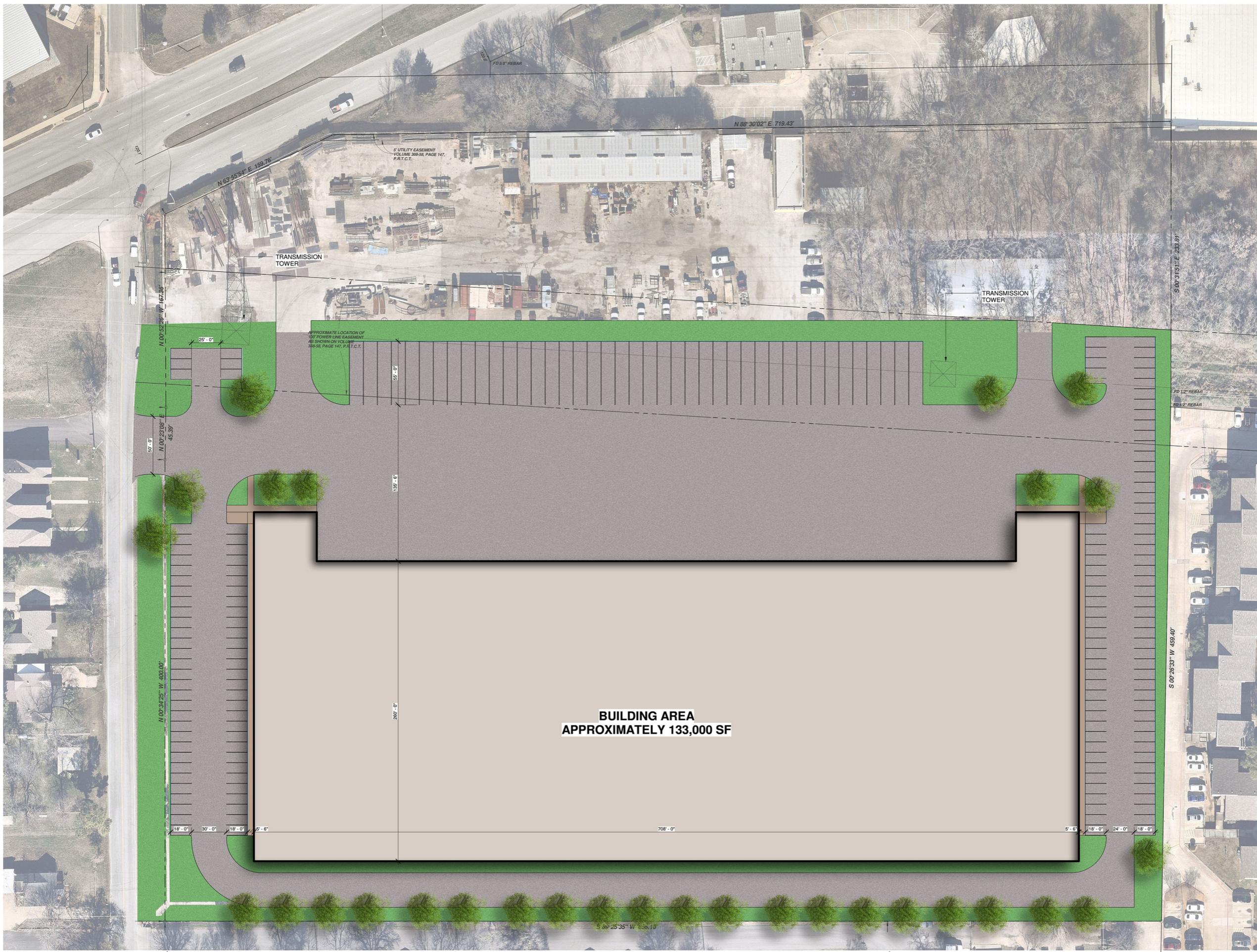


Area Zoning Map

Applicant: LCG21 TRINITY LLC
 Address: 13455 Ferris St.
 Zoning From: PD247 for contractor storage yard uses
 Zoning To: I
 Acres: 13.4442428
 Mapsco: 55V
 Sector/District: Eastside
 Commission Date: 9/14/2022
 Contact: null



4/19/2023 3:42:58 PM \\HALFF-ar\c\proj\47006a\47560\01\BIM_REV\T_C\main\475600_LCO-Eules_Trimly_ARCH_R21.rvt



1 SITE PLAN
1" = 30'-0"

Eules Trinity
Leon Capital Group
Eules, TX
Conceptual



Revision No.	Date	Description

PRELIMINARY
FOR INTERIM REVIEW ONLY
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF ARCHITECT NAME: 02000 NAME: R.A. NO: DATE: <MMDDYYYY>

AVO: 47560
Issued: 04/13/2022
Drawn By: Author
Checked By: Checker
Scale: 1" = 30'-0"

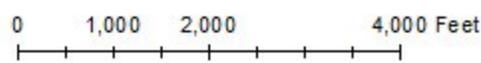
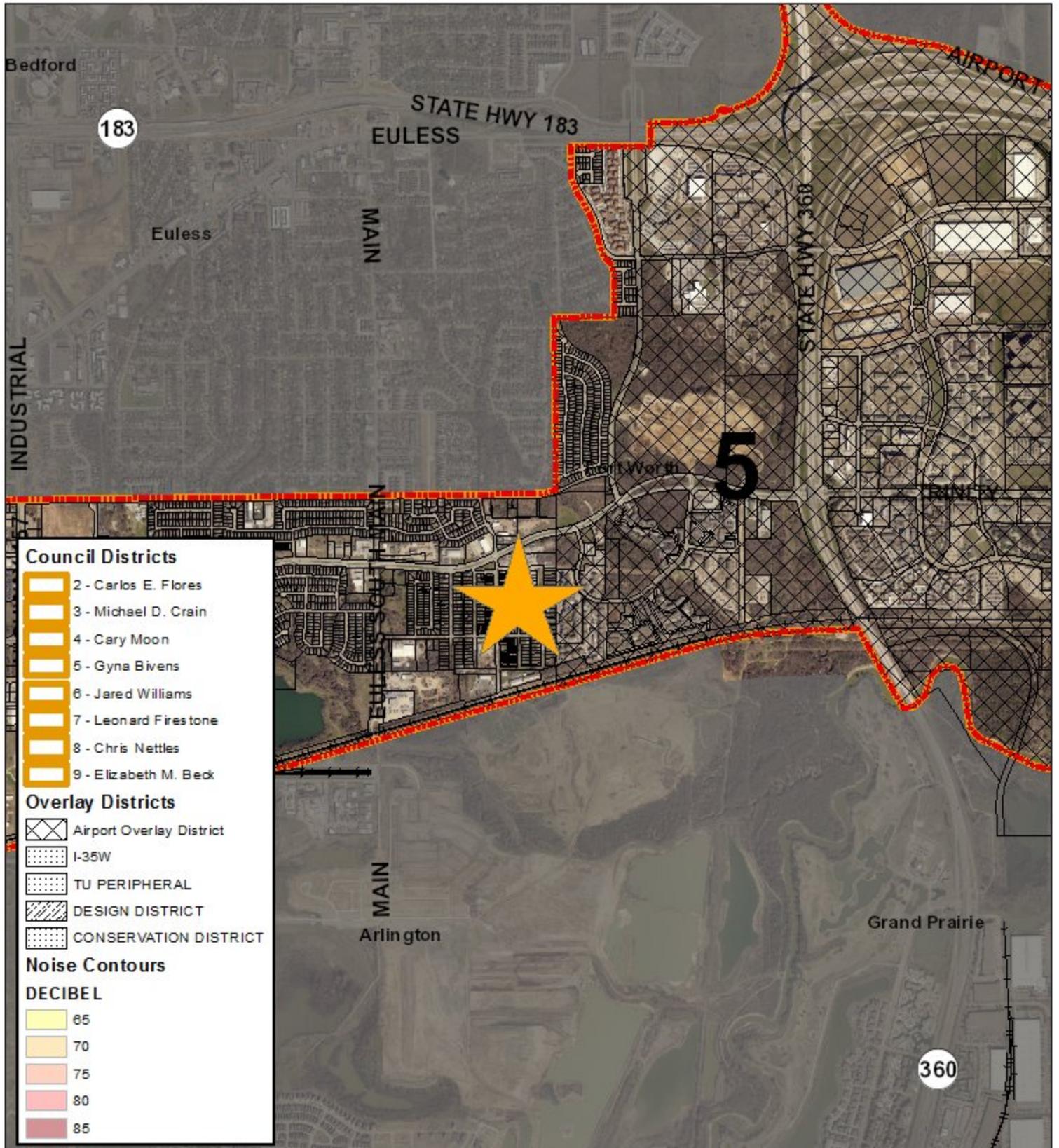
Sheet Title
ARCHITECTURAL SITE PLAN

A001
Sheet Number

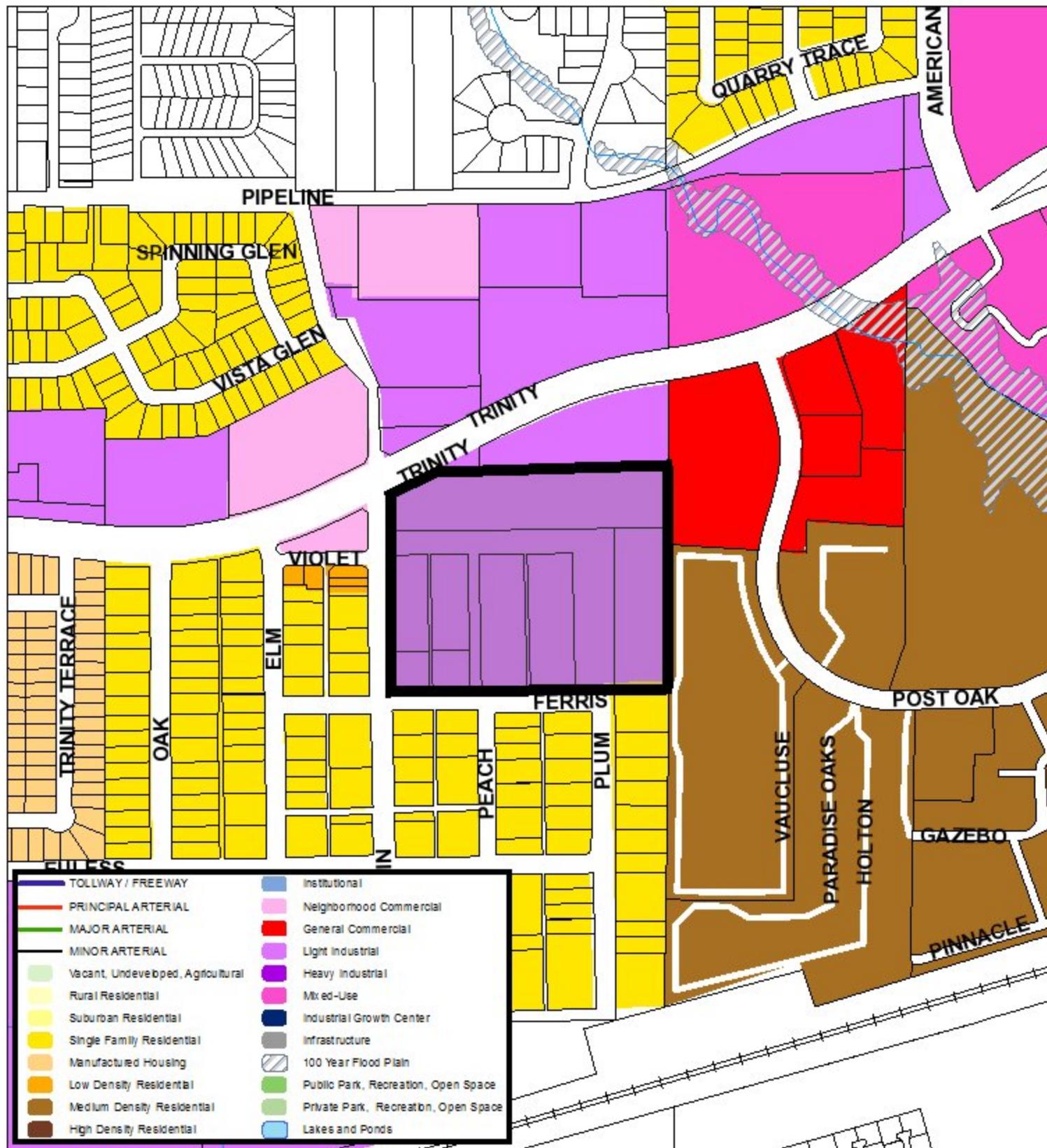


ZC-22-145

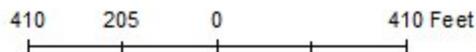
Area Map



Future Land Use



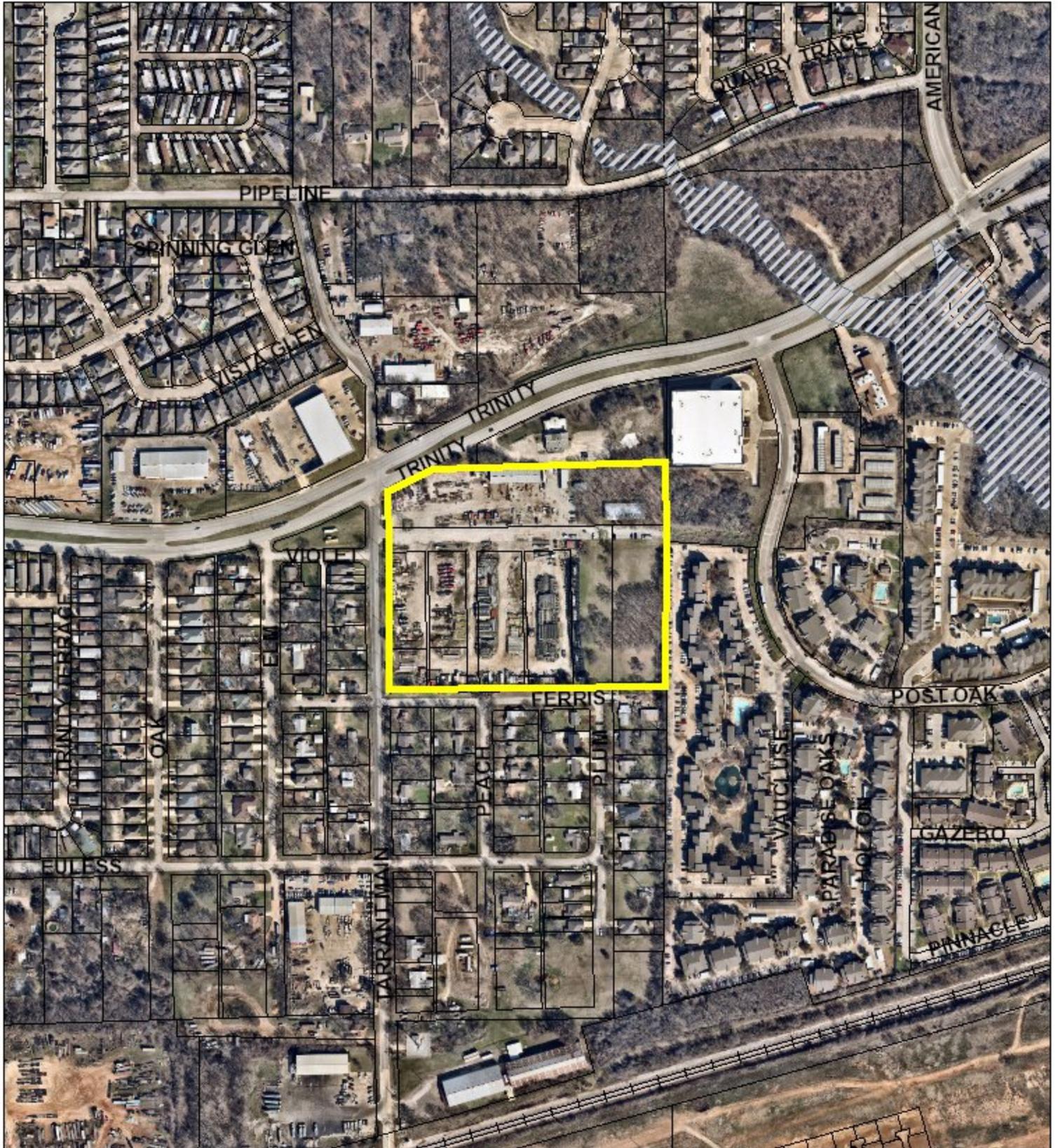
410 205 0 410 Feet



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Aerial Photo Map



0 260 520 1,040 Feet





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-148

Council District: 5

Zoning Map Amendment

Case Manager: [Beth Knight](#)

Owner / Applicant: City of Fort Worth / Development Services

Site Location: 2104 R. W. Bivens Lane

Acreage: 0.18 acres

Request

Proposed Use: Residential Development

Request: From: "A-5/SS" One-Family with Stop Six Overlay

To: "UR/SS" Urban Residential with Stop Six Overlay

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change is **consistent**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Urban Residential

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- [3. Recent Zoning History](#)
- [4. Public Notification](#)
- [5. Development Impact Analysis](#)
 - [a. Land Use Compatibility](#)
 - [b. Comprehensive Plan Consistency](#)
 - [c. Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is currently a vacant lot within the Stop Six Overlay and NEZ Area Six. The City of Fort Worth is present owner and holds the site as surplus property. The current “A-5” One-Family zoning does not match the urban residential future land use designation, and City policies require the site to have zoning matching the future land use designations prior to sale. The proposal to rezone this lot would change the “A-5” One-Family zoning to “UR” Urban Residential zoning, allowing construction of a wide variety of residential uses by right, instead of only single family. Urban residential zoning has requirements to buffer the building if adjacent to a single family structure. The lot is approximately 7,600 square feet. The proposed “UR” Urban Residential zoning does not obligate the purchaser to build the maximum of units, but could be developed for any uses allowed by right. The lot size plus the buffering requirements would limit most intensive uses.

Surrounding Zoning and Land Uses

North “A-5” One-Family / single family
East “A-5” One-Family /duplexes
South “A-5” One-Family / single family
West “A-5” One-Family / single family and vacant land

Recent Zoning History

- ZC-08-128, subject site and surrounding area, Council-initiated zoning, approved September 16, 2008.
- ZC-19-116, subject site and surrounding area, add Stop Six Design Overlay, approved September 10, 2019.

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were notified: (emailed August 24, 2022)

Organizations Notified	
Historic Stop Six NA*	Streams and Valleys Inc
Historic Rosedale Park NA	Trinity Habitat for Humanity
Parkside NA	Southeast Fort Worth Inc
Stop Six Sunrise Edition NA	East Fort Worth Business Association
Stop 6/Poly Oversight	Fort Worth ISD
East Fort Worth, Inc	Neighborhoods of East Fort Worth

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The proposed zoning of “UR” Urban Residential would allow construction of different types of residential uses by right, which aligns with both the Stop Six Neighborhood Empowerment Zone Plan and the Cavile Place Neighborhood Transformation Plan. The 2001 Stop Six NEZ Plan is designed to promote affordable housing and economic development in areas of high unemployment, poverty, and other factors. The Cavile Place Neighborhood Transformation Plan was adopted in 2014 to replace the 300-unit Cavile Place apartments, built in 1954, with mixed-income housing by increasing the density of certain parts of the Stop Six community. The Cavile Plan was anticipated to be phased in over a fifteen year period.

The site and surrounding neighborhood were approved for the Stop Six Residential Overlay in 2019. New design guidelines were adopted for single family development, and the “UR” Urban Residential contains compatible design guidelines for other types of residential uses. The size of the lot would encourage higher density uses such as a duplex. The site appears to be conducive to residential infill development and compatible with the Stop Six Neighborhood Empowerment Zone Plan as adopted. As such, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as Urban Residential. The proposed zoning of “UR” Urban Residential is compatible with the future land use designation of the adopted Comprehensive Plan.

- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.
- Promote traditional neighborhood and other pedestrian-oriented developments, which encourage human interaction, walking, bicycling, mixed uses, slower traffic, public places, and attractive streetscapes.

Additionally, the proposed zoning would be in alignment with the following policies of the Comprehensive Plan for the Southeast Planning Sector:

6. Encourage urban residential development in appropriate locations to create more walkable, pedestrian-oriented neighborhoods.
14. Encourage marketable infill houses, particularly in the Polytechnic and Stop Six neighborhoods.

The proposed zoning is **consistent** with the Comprehensive Plan future land use designation.

Economic Development Plan

The 2021 Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:

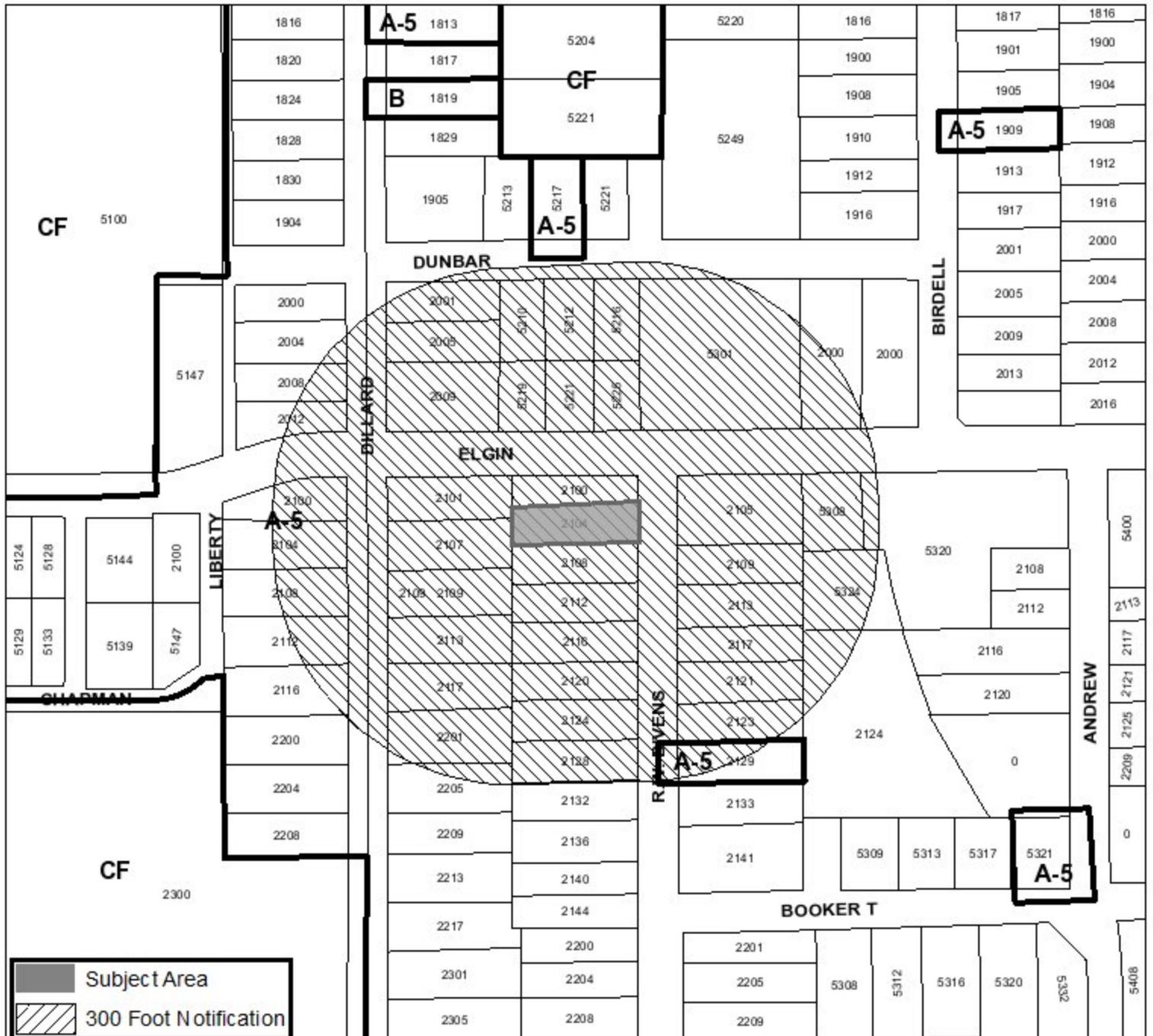
1. High-wage job growth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
4. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

This zoning request may not assist in high-wage job growth, is not a targeted high-growth industry, but would contribute to a more sustainable tax base and the quality of place.

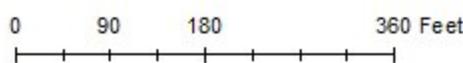


Area Zoning Map

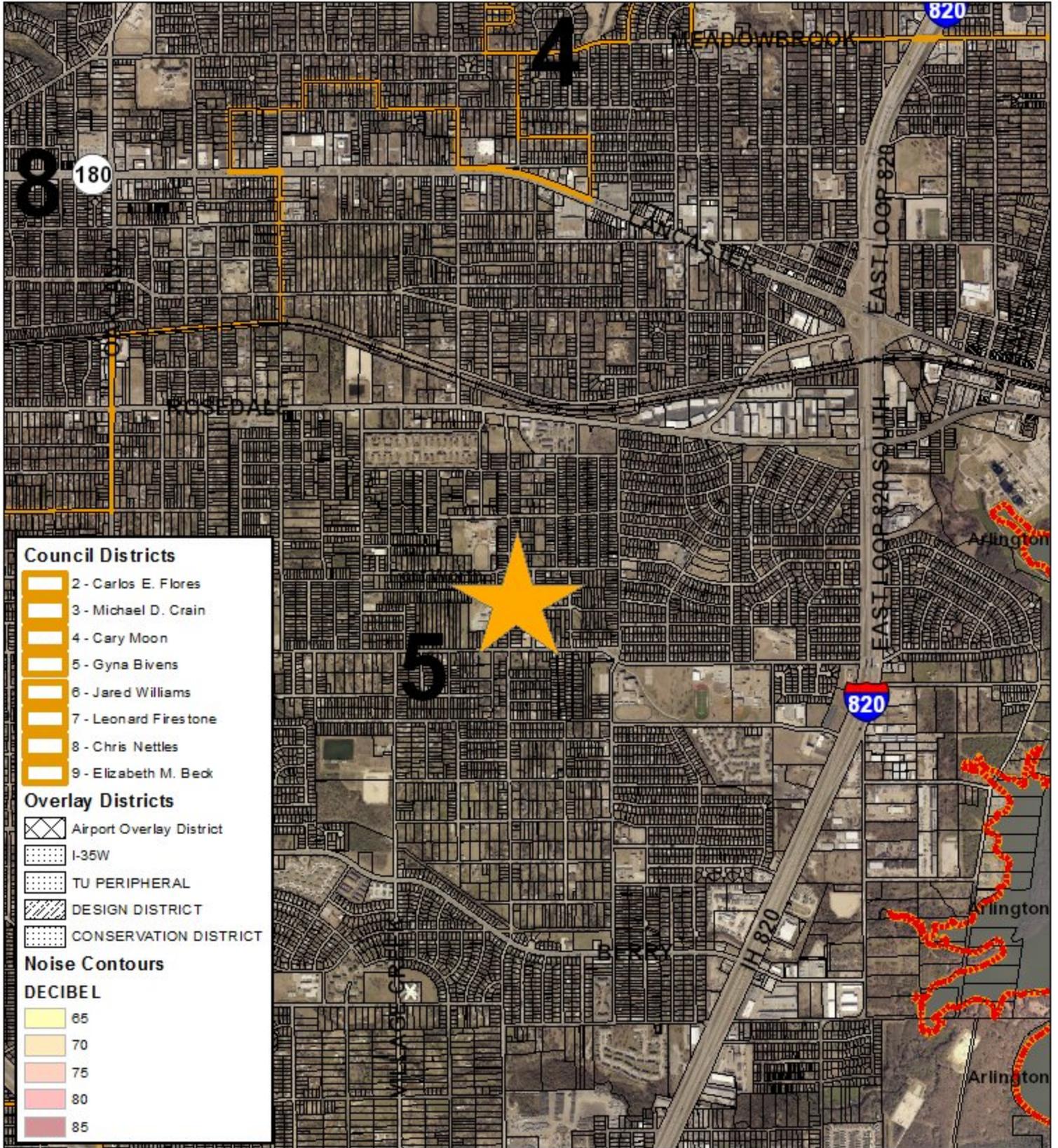
Applicant: City of Fort Worth - Development Services
 Address: 2104 R. W. Bivens Lane
 Zoning From: A-5 in the Stop Six Overlay
 Zoning To: UR in the Stop Six Overlay
 Acres: 0.17569088
 Mapsco: 79P
 Sector/District: Southeast
 Commission Date: 9/14/2022
 Contact: 817-392-8190



Subject Area
 300 Foot Notification



Area Map

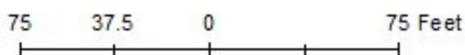
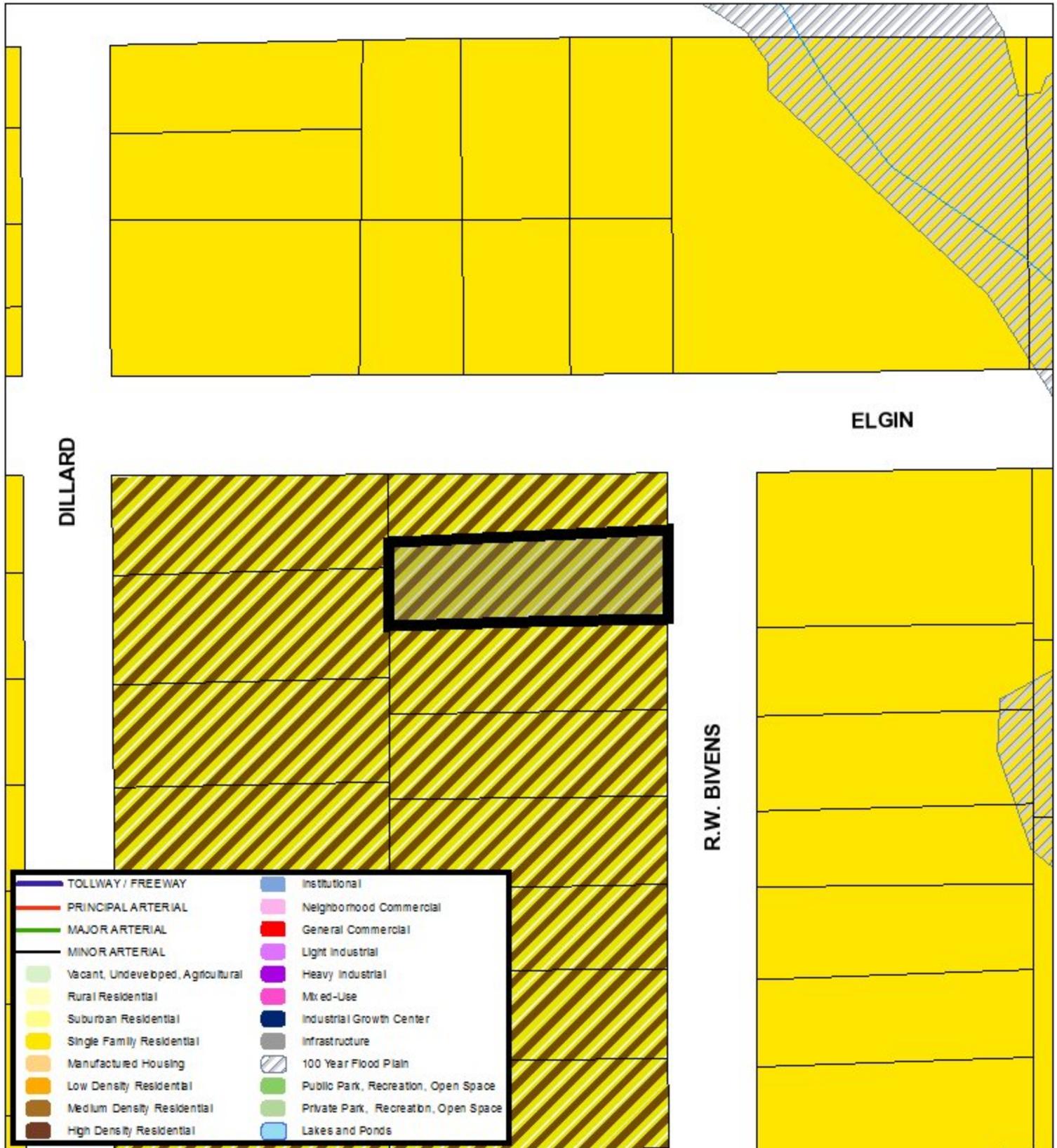


0 1,000 2,000 4,000 Feet



ZC-22-148

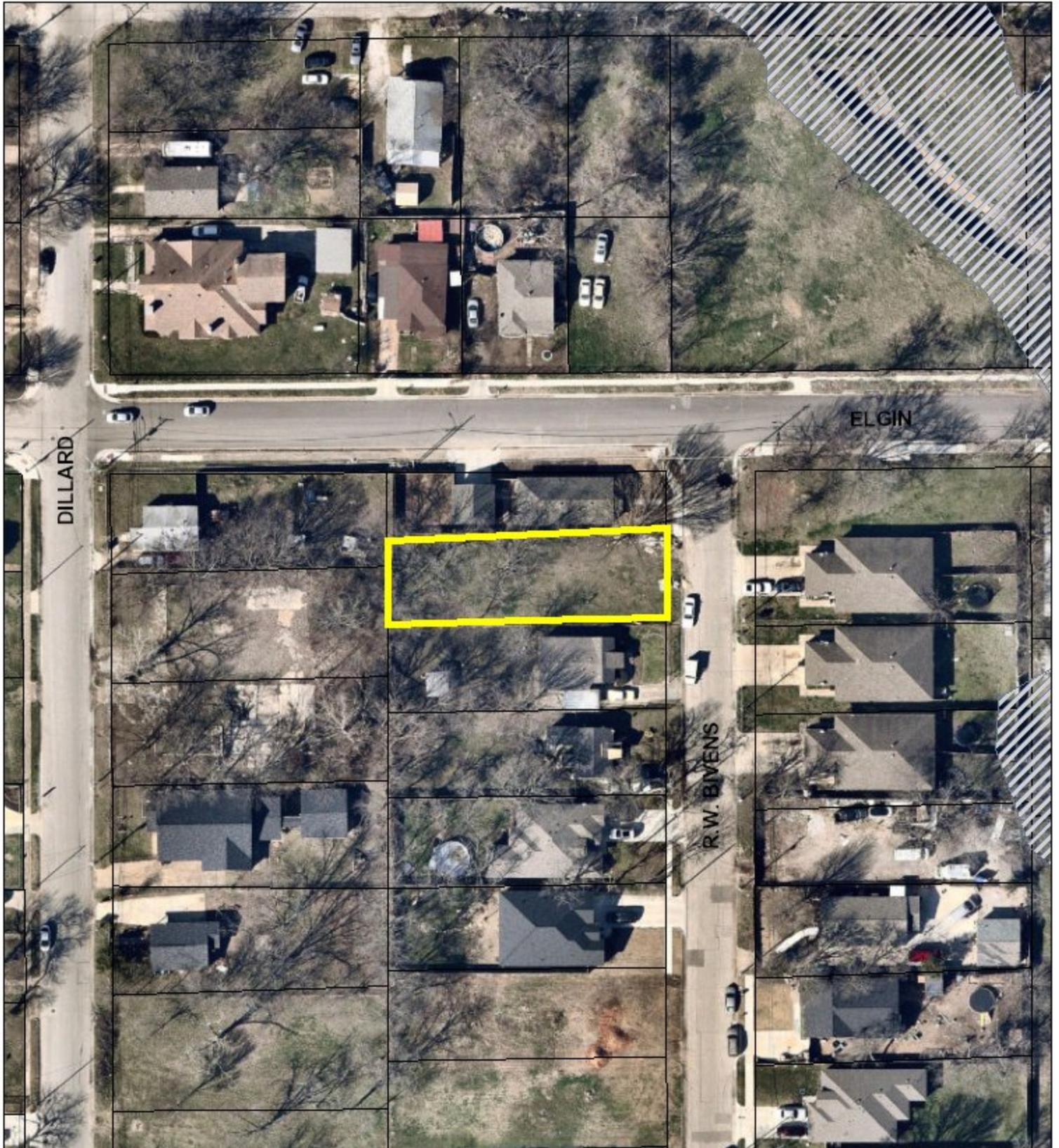
Future Land Use



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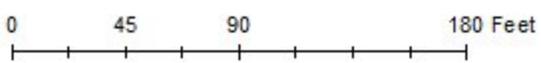
Aerial Photo Map



DILLARD

ELGIN

R.W. BIVENS





Zoning Staff Report

Date: September 14, 2022

Case Number: ZC-22-149

Council District: 8

Zoning Map Amendment

Case Manager: [Beth Knight](#)

Owner / Applicant: City of Fort Worth / Development Services

Site Location: 3626 Meadowbrook Drive

Acreage: 0.61 acres

Request

Proposed Use: Residential Development

Request: From: "ER" Neighborhood Commercial Restricted

To: "A-5" One-Family

Recommendation

Land Use Compatibility: Requested change is **compatible**

Comprehensive Plan Consistency: Requested change is **consistent (Minor Boundary Adjustment)**

Staff Recommendation: **Approval**

Future Land Use Designation: Future Neighborhood Commercial

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 - b. [Comprehensive Plan Consistency](#)
 - c. [Economic Development Plan](#)
6. Zoning Map with 300 ft. Notification Area
7. Area Map
8. Future Land Use Map
9. Aerial Photograph

Project Description and Background

The property is currently a vacant commercial site within the West Meadowbrook Neighborhood Association and the Oakland NEZ Plan. The City of Fort Worth is present owner and holds the site as surplus property. While the current “ER” Neighborhood Commercial Restricted zoning does match the neighborhood commercial future land use designation, the buildings have been vacant for a number of years and have reached the end of their useful lifespan. The neighborhood association and the Council Member’s office have been in discussion regarding the most appropriate land use going forward. Given the large amount of residential zoning in the area and the broader commercial area on E. Lancaster Street three blocks to the south, single family zoning to match the surrounding land uses is preferred. City policies require the site to have appropriate zoning prior to sale. The proposal to rezone this lot would change the “ER” Neighborhood Commercial Restricted zoning to “A-5” One-Family zoning, allowing construction of single family residential uses by right.

Surrounding Zoning and Land Uses

North “A-7.5” One-Family, “ER” Neighborhood Commercial Restricted / single family and vacant commercial building
East “A-5” One-Family / single family and one duplex
South “A-5” One-Family / single family
West “A-7.5” One-Family / single family

Recent Zoning History

- ZC-09-115, subject site and surrounding area, Council-initiated zoning, approved November 3, 2009.

Public Notification

300-foot Legal Notifications were mailed on September 1, 2022.
The following organizations were notified: (emailed August 24, 2022)

Organizations Notified	
West Meadowbrook NA *	Streams and Valleys Inc
East Fort Worth, Inc.	Trinity Habitat for Humanity
East Fort Worth Business Association	Southeast Fort Worth Inc
Neighborhoods of East Fort Worth	Fort Worth ISD

* Located within this registered Neighborhood Association

Development Impact Analysis

Land Use Compatibility

The surrounding neighborhood is developed as single family uses with public parks between the neighborhood and the East Freeway (I-30) to the north. With the exception of a vacant commercial site to the north, the rezoning site is surrounded by single family uses and one duplex. The parcel was developed as a small shopping center but has been vacant of commercial uses for over 10 years, when the City of Fort Worth obtained ownership for non-payment of taxes. This portion of the Meadowbrook neighborhoods has bus service only along E. Lancaster Avenue, which is approximately three blocks to the south and a main retail corridor for the area.

The site falls within the boundaries of the 2009 Oakland Corners Empowerment Zone Plan that is designed to rebuild neighborhoods with compatible quality infill housing and appropriate mixed-use development in commercial areas. The proposed zoning of “A-5” One-Family would allow redevelopment of the site into single family residential uses by right, which aligns with the NEZ Plan as adopted. The lack of direct bus service and homogenous single family development lends this site to redevelopment as infill single family uses. As such, the proposed zoning is **compatible** with surrounding land uses.

Comprehensive Plan Consistency – Southeast

The 2022 Comprehensive Plan currently designates the subject property as Neighborhood Commercial, but surrounded by Single Family designations. A minor boundary adjustment to Single Family allows the proposed zoning of “A-5” One-Family to be compatible with the future land use designation of the adopted Comprehensive Plan.

- Promote appropriate infill development of vacant lots, old commercial centers (greyfields), and contaminated sites (brownfields) within developed areas, particularly in the central city
- Promote appropriate infill development of vacant lots within developed areas, which will efficiently utilize existing infrastructure, particularly in the central city
- Encourage new development in character with the existing neighborhood scale, architecture, and platting pattern, while working to improve pedestrian, bicycle, and transit access between adjacent neighborhoods and nearby destinations.
- Promote traditional neighborhood and other pedestrian-oriented developments, which encourage human interaction, walking, bicycling, mixed uses, slower traffic, public places, and attractive streetscapes.

Additionally, the proposed zoning would be in alignment with the following policies of the Comprehensive Plan for the Southeast Planning Sector:

2. Promote a desirable combination of compatible residential, office, retail, and commercial uses in the mixed-use zoning districts of the Oakland Corners Urban Village, Historic Handley Urban Village, and the Trinity Lakes form-based code district.

3. Encourage redevelopment of the Oakland Corners Urban Village consistent with its urban village and neighborhood empowerment zone plans.
10. Encourage demolition of buildings that cannot be economically rehabilitated.

The proposed zoning **is consistent** with a minor boundary adjustment to the Comprehensive Plan future land use designation.

Economic Development Plan

The 2021 Economic Development Strategic Plan identified four different results to facilitate the success and growth of Fort Worth:

1. High-wage job growth.
2. A more sustainable tax base, driven less by residential property valuation and more by commercial and industrial investment.
3. An economy that capitalizes on high-growth businesses and the creative individuals who fuel them, targeting specific industry classifications.
4. A commitment to “quality of place” throughout the community, including rising home values, new business startups, reduction of blighted areas, and the emergence of walkable corridors with a mixture of residential and commercial developments and related amenities.

This zoning request may not assist in high-wage job growth, is not a targeted high-growth industry, but would contribute to a more sustainable tax base and the quality of place.

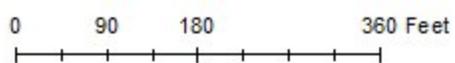


Area Zoning Map

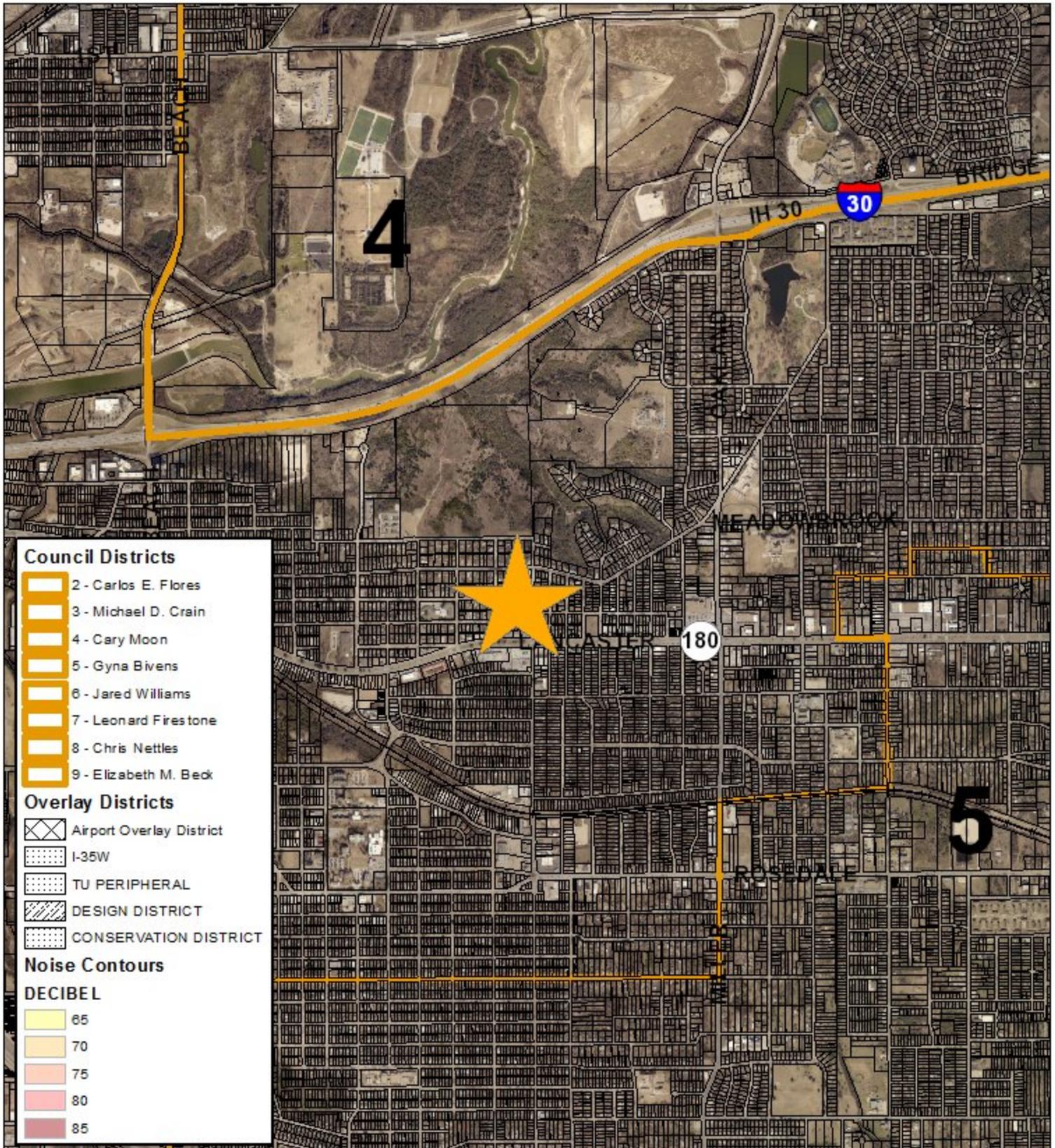
Applicant: City of Fort Worth - Development Services
 Address: 3626 Meadowbrook Drive
 Zoning From: ER
 Zoning To: A-5
 Acres: 0.61251079
 Mapsco: 78G
 Sector/District: Eastside
 Commission Date: 9/14/2022
 Contact: 817-392-8190



 Subject Area
 300 Foot Notification



Area Map



Council Districts

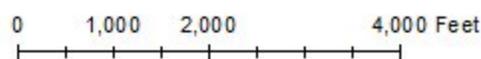
- 2 - Carlos E. Flores
- 3 - Michael D. Crain
- 4 - Cary Moon
- 5 - Gyna Bivens
- 6 - Jared Williams
- 7 - Leonard Firestone
- 8 - Chris Nettles
- 9 - Elizabeth M. Beck

Overlay Districts

- Airport Overlay District
- I-35W
- TU PERIPHERAL
- DESIGN DISTRICT
- CONSERVATION DISTRICT

Noise Contours

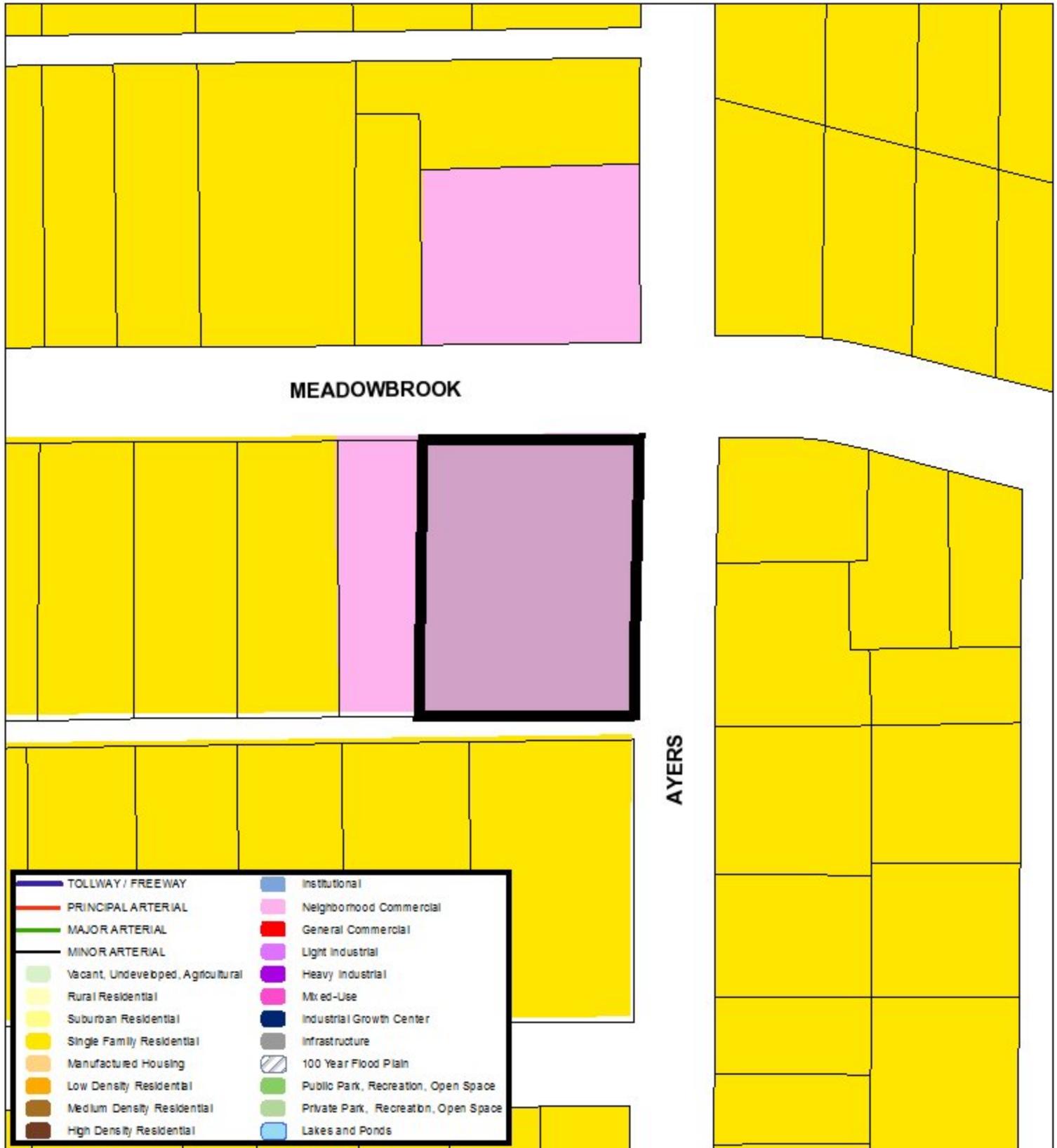
- DECIBEL**
- 65
 - 70
 - 75
 - 80
 - 85





ZC-22-149

Future Land Use



TOLLWAY / FREEWAY	Institutional
PRINCIPAL ARTERIAL	Neighborhood Commercial
MAJOR ARTERIAL	General Commercial
MINOR ARTERIAL	Light Industrial
Vacant, Undeveloped, Agricultural	Heavy Industrial
Rural Residential	Mixed-Use
Suburban Residential	Industrial Growth Center
Single Family Residential	Infrastructure
Manufactured Housing	100 Year Flood Plain
Low Density Residential	Public Park, Recreation, Open Space
Medium Density Residential	Private Park, Recreation, Open Space
High Density Residential	Lakes and Ponds

90 45 0 90 Feet

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ZC-22-149

Aerial Photo Map



0 55 110 220 Feet

